

**LANDMARK COMMISSION****APRIL 6, 2026**

FILE NUMBER: COA-26-000077
LOCATION: 2626 Thomas Ave.
STRUCTURE: Noncontributing
COUNCIL DISTRICT: 14
ZONING: PD-225

PLANNER: Marcus Watson
DATE FILED: March 19, 2026
DISTRICT: State-Thomas (H-25)
MAPSCO: 45-F, 45-G
CENSUS TRACT: 0017.02

APPLICANT: Reavis, Ben

REPRESENTATIVE: N/A

OWNER: Aurora International

REQUEST(S):

A Certificate of Appropriateness to construct a new 2.5-story mixed-used main structure with underground parking and rear parking on a vacant lot.

STAFF RECOMMENDATION:

That the Certificate of Appropriateness to construct a new 2.5-story mixed-used main structure with underground parking and rear parking on a vacant lot be approved in accordance with drawings and specifications dated 2/19/26 and 2/23/26. The proposed work is consistent with designation criteria 51P-225.109(a)(3), (a)(5), (a)(6), (a)(7)(A)(i), (a)(9), (a)(10), (a)(11), (a)(12), (a)(14), (a)(16), and (b)(8); meets the standards in City Code Section 51A-4.501(g)(6)(C)(ii) for noncontributing properties; and the Secretary of the Interior's Standards for Setting (Neighborhood/District).

TASK FORCE RECOMMENDATION:

That the Certificate of Appropriateness to construct a new 2.5-story mixed-used main structure with underground parking and rear parking on a vacant lot be approved.

BACKGROUND / HISTORY:

2626 Thomas St. is a vacant lot identified as noncontributing to the State-Thomas historic overlay district. The applicant is proposing to construct a new 2.5-story mixed use main structure. The Landmark Commission conducted two previous Courtesy Reviews in September and November 2025, and reviewed a full Certificate of Appropriateness in February 2026. Previous comments are below.

Previous applications for Certificates of Appropriateness (or Demolition) filed for this property that are pertinent to this CA include:

<u>CASE NUMBER</u>	<u>REVIEW TYPE</u>	<u>DATE</u>	<u>OWNER</u>	<u>DECISION</u>
COA-25-000601	CA	2/2/26	Aurora	Denied w/o Prej.
Construction of new 2.5-story mixed-use main structure on vacant lot.				
COA-25-000383	Courtesy Review	11/3/25	Aurora	Comments only
COA-25-000245	Courtesy Review	9/6/25	Aurora	Comments only
CA223-230(RD)	CA	3/13/23	Minna	Approved w/ Cond.
Construct new main commercial building (on a vacant lot).				
CA190-464(LC)	CA	7/7/20	Faruqui	Approved
Construct a 2.5-story duplex.				
CA190-345(LC)	CA	6/8/20	Faruqui	Denied w/o Prej.
Construct a 2.5-story duplex.				

PREVIOUS COMMISSION COMMENTS

February 2026

- While a metal roof may be allowed in the district, the standing seam style is unusual. Consider a style more in keeping with the district.
- There are too many cantilevers, and they look too contemporary
- Door configuration is too contemporary.
- There are excessive windows in the cantilevers, and they are too contemporary in form.
- Could the roof overhang more?
- Of the issues mentioned above, consider altering the majority of them to collectively make the building less modern.

November 2025

- Avoid a monochromatic appearance – more contrast
- Wider contract and trim
- Columns and balustrades should be painted, not natural
- Second floor cantilevered sections too large
- Third floor gables out of scale and context
- Are the gable treatments vents or siding change details? If vents, they should be rectangular or circular, not triangular
- There should be more windows on the sides of the first floor
- Mullions of ganged windows should be at least 4 inches
- Asymmetrical door with one side light is too contemporary
- Following staff research, the standing seam metal roof, while not typical in the district on original buildings, is allowed by the preservation criteria and typical of the period for late Victorian/Edwardian era buildings
- While contemporary buildings should not stand out, details should be repeated
- Two different colors on the doors is odd. Consider other options

September 2025

- The massing seems top heavy
- The porch is over scaled with the second floor
- The cantilever adds to the top heaviness and is not compatible
- The window design is not appropriate
- The trellis trim is not typical
- The porch should be projecting in front façade, not engaged
- There should not be a half story above a two-story porch
- This doesn't have to be a replica, but it should be compatible; this design is too different and far from the traditional buildings in the district
- The eaves are not wide enough
- The LMC determination of compatibility trumps individual interpretation of the Secretary of the Interior's Standards
- The building should be less noticeable than historic buildings, not stand out as different

RELEVANT PRESERVATION CRITERIA

1. State-Thomas Historic District (H-72); Ordinance Nos. 10962, 10984, 19382, 20429, 21018, and 25711
2. Secretary of the Interior's Standards/Guidelines for Setting (District / Neighborhood)
 - **Recommended:** *Identifying, retaining, and preserving building and landscape features that are important in defining the overall historic character of the setting. Such features can include circulation systems, such as roads and streets; furnishings and fixtures, such as light posts or benches; vegetation, gardens and yards; adjacent open space, such as fields, parks, commons, or woodlands; and important views or visual relationships.*
 - **Not Recommended:** *Removing or substantially changing those building and landscape features in the setting which are important in defining the historic character so that, as a result, the character is diminished.*
 - **Not Recommended:** *Introducing a new building or landscape feature that is visually or otherwise incompatible with the setting's historic character (e.g., replacing low metal fencing with a high wood fence).*
 - **Not Recommended:** *Removing a character-defining feature of the building or landscape from the setting that is unrepairable and not replacing it or replacing it with a new feature the does not match.*
3. City Code Section 51A-4.501(g)(6)(C)(ii):

*The landmark commission must grant the application if it determines that:
(ii) for noncontributing structures, the proposed work is compatible with
the historic overlay district.*

ANALYSIS

Sec. 51P-225.109(a)(7)(A): The proposed construction is more than 25 feet and is less than 80% of the width of lot width.

Sec. 51P-225.109(a)(9): If the proposed condition is met, the color scheme is acceptable and will be compatible with the district.

Sec. 51P-225.109(a)(10): The wood columns are appropriate to the district.

Sec. 51P-225.109(a)(11): Façade materials are compatible with the district.

Sec. 51P-225.109(a)(12): The porch meets the requirements of the preservation criteria.

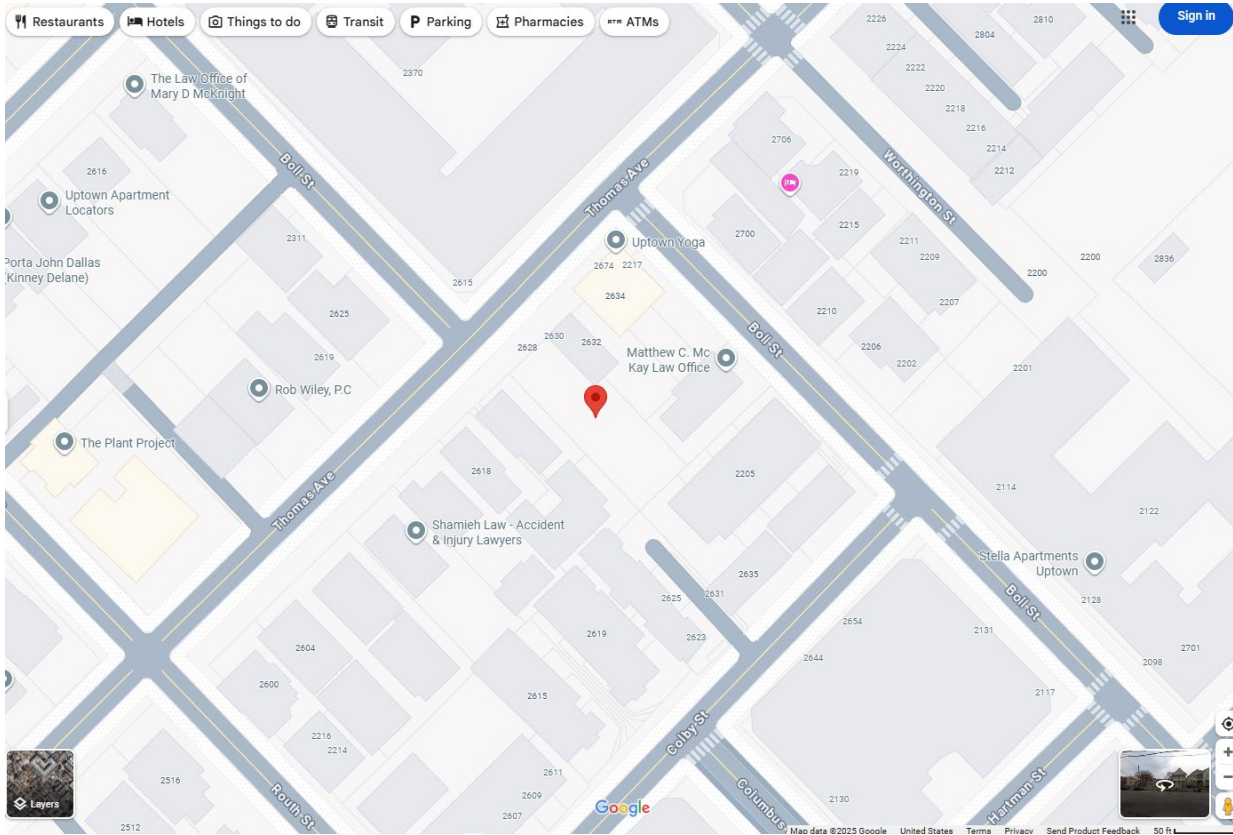
Sec. 51P-225.109(a)(14): The roof form, while large, is typical of the district.

Sec. 51P-225.109(a)(16): Windows and doors are compatible with the district.

Sec. 51P-225.109(b)(8): Sidewalks, drives and curbing is compatible with the district.

The applicant has addressed and adjusted the elements discussed in previous comments. Staff and the Task Force are in agreement that the project has been greatly improved and is ready for approval.

LOCATION MAPS
2626 Thomas Ave.
Source: Google Earth



CURRENT PHOTOS

2626 Thomas Ave.





CONTEXT PHOTOS
2626 Thomas Ave.





ATTACHMENTS:

- **Task Force Recommendation Form**
- **Current Revised Drawings (April 2026)**
- **Previously-reviewed Drawings (February 2026)**
- **Previously-reviewed Drawings (November 2025)**
- **Previously-reviewed Drawings (September 2025)**

TASK FORCE RECOMMENDATION REPORT
State-Thomas Historic District

DATE: 3/12/26
TIME: 4:00 p.m.
LOCATION: Hybrid Virtual/2922 Swiss Ave

Applicant Name: Reavis, Ben
Address: 2626 Thomas
Request Type: CA

Request: Construction of a new 2.5-story mixed used main structure with underground and rear parking.

Recommendation:

Approve Approve with conditions Deny w/o prejudice Deny

Comments:

No comments.

Task force members present:

James Adams T.J. Edmond
 Karen Eubank Judy Hearst (Chair)

Ex Officio staff members present: Marcus Watson and Raeesa Parvez Patel

Quorum: Yes No (three makes a quorum)

Maker: Eubank 2nd: Adams
FOR: 4 AGAINST: 0

Basis for opposition:

[Click or tap here to enter text.](#)

CURRENT DRAWINGS
APRIL 2026



PROPERTY DESCRIPTION

BEING a tract of land situated in the John Grigely Survey, Abstract No. 489, and being part of Lots 1, 2 and 3 in Block F/564 of Simpson and Clark's Addition, an addition in the City of Dallas, Dallas County, Texas, according to the map thereof recorded in Volume 85, Page 426, Deed Records, Dallas County, Texas, same being described in General Warranty Deed to John D. Minna and Lynn Minna Revocable Trust, recorded in Instrument Number 200600051937, Official Public Records, Dallas County, Texas, and being more particularly described by metes and bounds as follows:

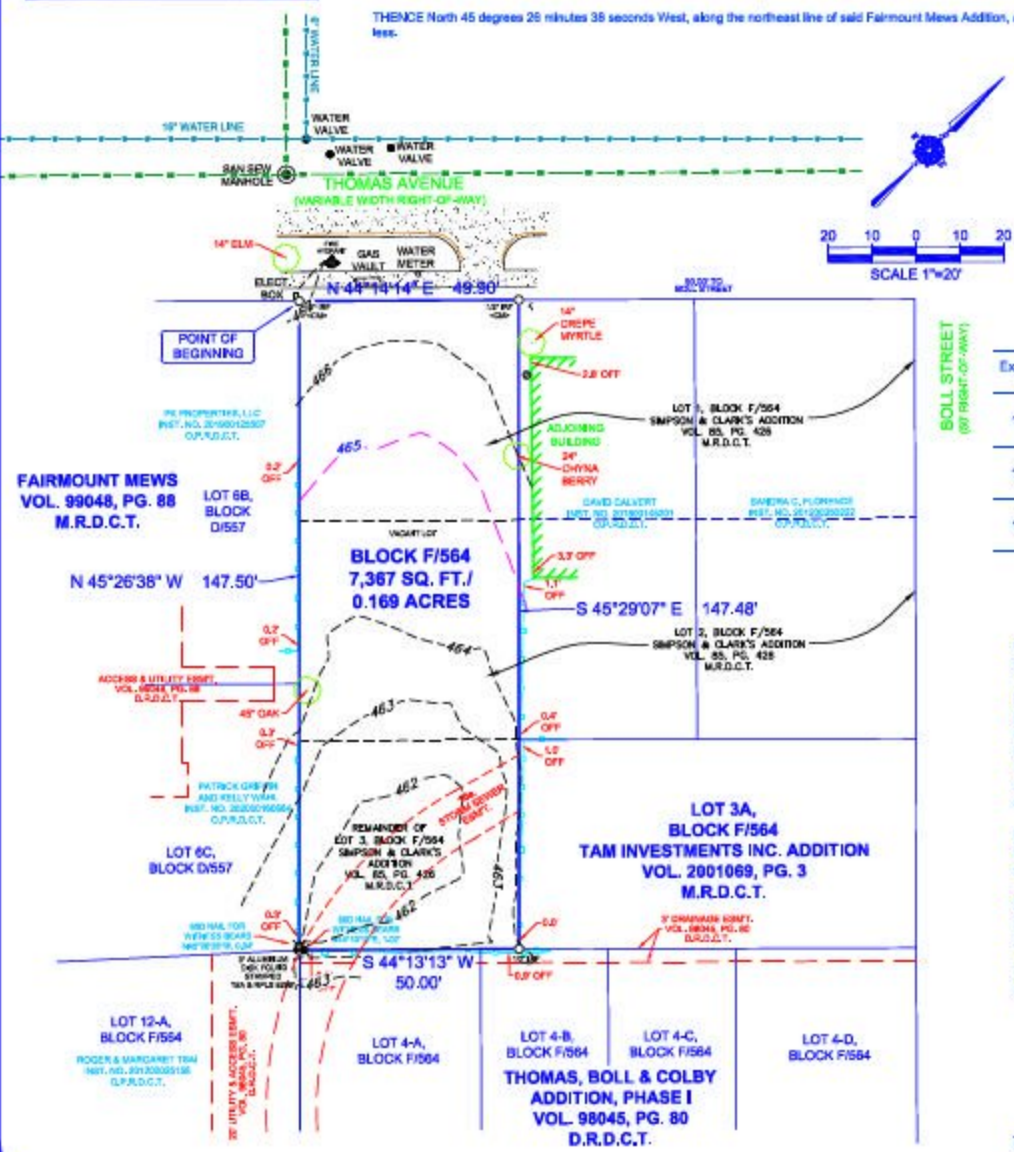
BEGINNING at a 1/2 inch iron rod found for corner at the most western corner of said Lot 1, Block F/564 and lying in the southeast right-of-way line of Thomas Avenue (60 foot right-of-way), said corner also being the north corner of Lot 6B, Block D/557 of Fairmount Mews, an addition to the City of Dallas, Dallas County, Texas, according to the map or plat thereof recorded in Volume 99048, Page 88, Deed Records, Dallas County, Texas;

THENCE North 44 degrees 14 minutes 14 seconds East, along said southeast right-of-way line of Thomas Avenue, a distance of 49.90 feet to a 1/2 inch iron rod found for corner at the north corner of herein described tract and the west corner of a tract of land described in General Warranty Deed with vendor's lien to David Calvert, recorded in Instrument Number 201800145201, Official Public Records, Dallas County, Texas;

THENCE South 45 degrees 29 minutes 07 seconds East, departing said southeast right-of-way line of Thomas Avenue, a distance of 147.50 feet to a 1/2 inch iron rod found for corner at the south corner of Lot 3A, Block F/564 of TAM Investments Inc. Addition, an addition to the City of Dallas, Dallas County, Texas, according to the map or plat thereof recorded in Volume 2001068, Page 3, Deed Records, Dallas County, Texas and lying in the northeast line of Lot 4-B, Block F/564 of Thomas, Boll & Colby Addition, Phase I, an addition to the City of Dallas, Dallas County, Texas, according to the map or plat thereof recorded in Volume 98045, Page 80, Deed Records, Dallas County, Texas;

THENCE South 44 degrees 13 minutes 13 seconds West, along the northwest line of said Thomas, Boll & Colby Addition, Phase I, a distance of 90.00 feet to a 3/8 inch aluminum disk stamped "MA & RPLS 5299" found on a 1/2 inch iron rod at the west corner of Lot 4-A, Block F/564 of said Thomas, Boll & Colby Addition, Phase I, and the common east corner of Lot 6C, Block D/557 of said Fairmount Mews Addition;

THENCE North 45 degrees 28 minutes 38 seconds West, along the northeast line of said Fairmount Mews Addition, a distance of 147.50 feet to the POINT OF BEGINNING and containing 7,367 square feet or 0.169 acres of land more or less.



EXCEPTIONS TO THE TITLE COMMITMENT

As relied upon and provided by Republic Title of Texas, Inc. and First American Title Insurance Company G.F. No. 1002-347715-RTT with an effective date of August 26, 2021 and an issued date of September 9, 2021.

Exception No.	DESCRIPTION OF EASEMENT	Applies to Subject Tract	Shown Graphically on Attached Survey Plat
1.	Restrictive Covenants of Record itemized in Volume 91030, Page 569, R.P.R.D.C.T.	YES	NO (NOT SURVEY RELATED)
10 e.	Easement granted by Mrs. E. B. DeMar to City of Dallas, filed 09/21/1951, recorded in Volume 3594, Page 456, R.P.R.D.C.T.	YES	YES
10 f.	Terms, provisions and conditions of Ordinance No. 19084, filed 02/13/1991, recorded in Volume 91030, Page 569, R.P.R.D.C.T.	YES	NO (NOT SURVEY RELATED)

SURVEYOR'S CERTIFICATE

Certify To: David E Griffin, James E Ferrera, Republic Title of Texas, Inc. and First American Title Insurance Company, in connection with the transaction referenced in GF No. 1002-347715-RTT.

I hereby certify that on the 29th day of September 2021, this survey was made on the ground as per the field notes shown on this survey and is true, correct, and accurate as to the boundaries and areas of the subject property and the size, location, and type of buildings and improvements thereon, if any, and as to the other matters shown hereon, and correctly shows the location of all visible easements and rights-of-way and of all rights-of-way, easements, and any other matters of record, or of which I have knowledge or have been advised, whether or not of record, affecting the subject property, and the location of all curb cuts and driveways, if any.

Except as shown on the survey, there are no encroachments upon the subject property by improvements on adjacent property, there are no encroachments on adjacent property, streets, or alleys by any improvements on the subject property, and there are no conflicts or discrepancies.

Both vehicular and pedestrian ingress to and egress from the subject property is provided by Thomas Avenue, same being a paved, dedicated public right-of-way maintained by The City of Dallas, which abuts the subject property, and is physically open and being used.

This survey complies with the current Texas Society of Professional Surveyors Standards and Specifications for a Category 1A, Condition II Survey.



Registered Professional Land Surveyor No. 5299

REVISIONS		
No.	Revision/Issue	Date

LEGEND	
○ 1/2" IRON ROD FOUND	○ LIGHT POLE
○ IRON ROD FOUND	○ FORMER POLE
○ IRON ROD SET "TEXT"	○ BRICK COLUMN
○ IRON PIPE FOUND	○ AIR CONDITIONING
○ TIRE IMPRINT	○ TIRE IMPRINT
○ 1/2" FOUND / SET	○ SELECTING METER
○ CONCRETE ENCROACHMENT	○ GAS METER
○ IRRIGATION CONTROL VALVE	○ WELLD
○ CLEAN-OUT	○ ASPHALT FINISH
○ WATER METER	○ CHAIN LINK FENCE
○ WATER VALVE	○ WOOD FENCE
○ DRAIN TRAP	○ WIRE FENCE
○ MANHOLE	○ IRON FENCE
○ STORM SEWER	○ PIPE FENCE
○ SANITARY SEWER	○ SANITARY SEWER LINE
○ COLORED FENCE	○ OVERHEAD ELECTRICAL
○ SOIL OR COMPACT	○ SURFACE
○ CONCRETE FINISH	○ OVERHEAD ELECTRICAL
○ NO FINISH	○ SURFACE
○ CRAWLSPACE	○ OVERHEAD ELECTRICAL
○ IRON OR STEEL	○ FORMER POLE

GENERAL NOTES

- According to the F.L.R.S. No. 4811002064, the subject property lies in Zone 3, and does not lie within a Special Flood Hazard Area.
- All bearings, assessments and building lines are by recorded plat and as furnished in referenced commitment for the Insurance unless otherwise noted.
- Bearings are based upon the Texas State Plane Coordinate System, North Central Zone, North American datum of 1983, (G211).
- City of Dallas GPS Benchmarks used:
#1483 / #1350 450-L-1 City of Dallas benchmark set on top of a concrete curb 20' from the centerline of Harwood Street and 15' from the centerline of Live Oak Street, at the southeast corner of the intersection. Elevation = 610.00'

TEXAS HERITAGE SURVEYING LLC

10610 Metric Drive, Suite 124, Dallas, TX 75243
Office: 214-340-9700 Fax: 214-340-9795
tcherritage.com Firm No. 10165300

CATEGORY 1A CONDITION II
2528 THOMAS AVENUE
PART OF LOTS 1-3, BLOCK F/564
SIMPSON & CLARK'S ADDITION
DALLAS, DALLAS COUNTY, TEXAS

Plot No.	2102422-1
Issue By	KD
Date	10/01/2021
Scale	1"=20'



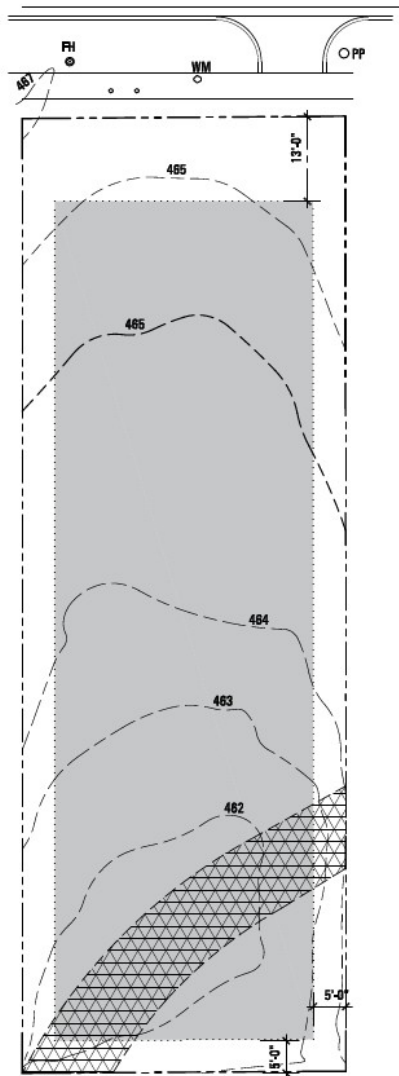
2626 THOMAS AVE

Landmark CA Application
03.12.2026



OGLESBY GREENE ARCHITECTURE

THOMAS AVENUE



	Allowed	Proposed
FAR	1 : 1.25	1 : 1.06
Lot Coverage	60%	47%

Lot area = 7366 sf
Allowable coverage - 60% = 4,420 sf
Buildable area (less setbacks & easement) = 4,190 sf

Zoning Analysis

PD 225 State-Thomas Special Purpose District – Original Ordinance March 1986

FAR– 1.25 : 1 for Core District (7530 lot area x 1.25 = **9,412 sf allowable floor area**)

Dwelling Units (Core District)

- 6 units per lot for residential only development (3 per level)
- 4 units per lot for "commercial" or mixed-use development (2 per level)

Lot Coverage (Core District)

- 60% if residential use included
- 50% without residential use

Height (Core District)

- 36 ft for main building
- 14 ft for accessory buildings
- 2.5 stories max – half story is a level above the roof eave

Setbacks (Core District) – All buildings and structures

- Front yard
 - Within 5% of the average of all main buildings on the block face
- Side yard
 - 5 ft
- Rear yard
 - 5 ft

Off-street Parking – Minimums

- Residential – 1 space per dwelling unit
- Nonresidential – 1 per 500

Off-street Parking Design Standards

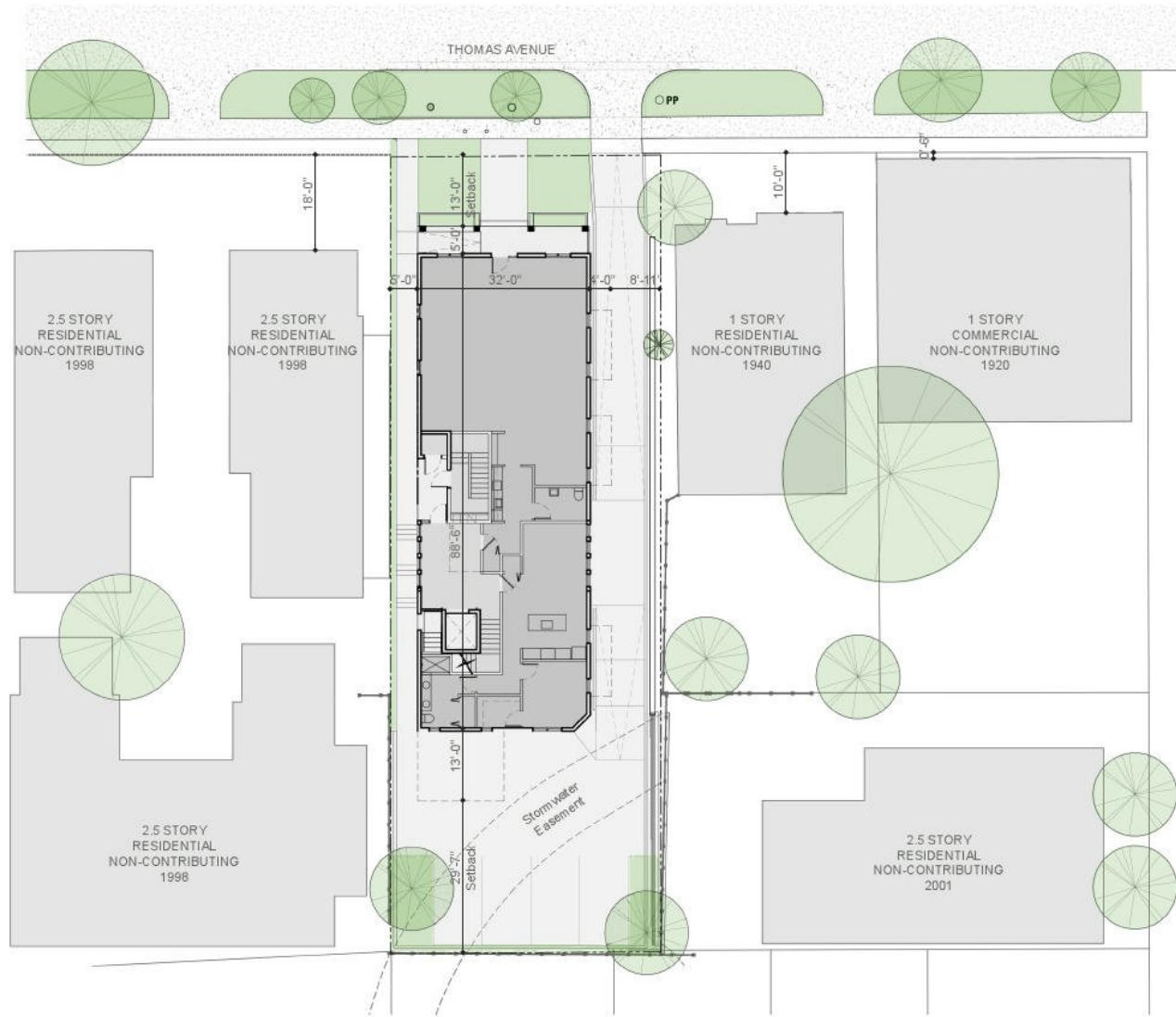
- Location – no parking allowed in front yard
- Driveway width – 8 ft minimum
- Screening – all parking to be screened from street and adjacent residential uses
 - Street screening - 3.5 ft min ht
 - Adjacent lot screening – 6 ft min ht.
 - Materials
 - Landscape hedge
 - 48% open area max for screen elements



BLOCK MASSING AND SETBACKS



BLOCK FACE ROOF HEIGHTS - 34 ft average



Site Plan | scale 3/64" = 1'-0"



Context Elevation | NTS

Dallas Landmark CA Application
 2626 Thomas Avenue - Mixed Use
 03.12.2026

PRELIMINARY
 NOT TO BE USED FOR
 PERMITTING, CONSTRUCTION,
 OR REGULATORY APPROVAL



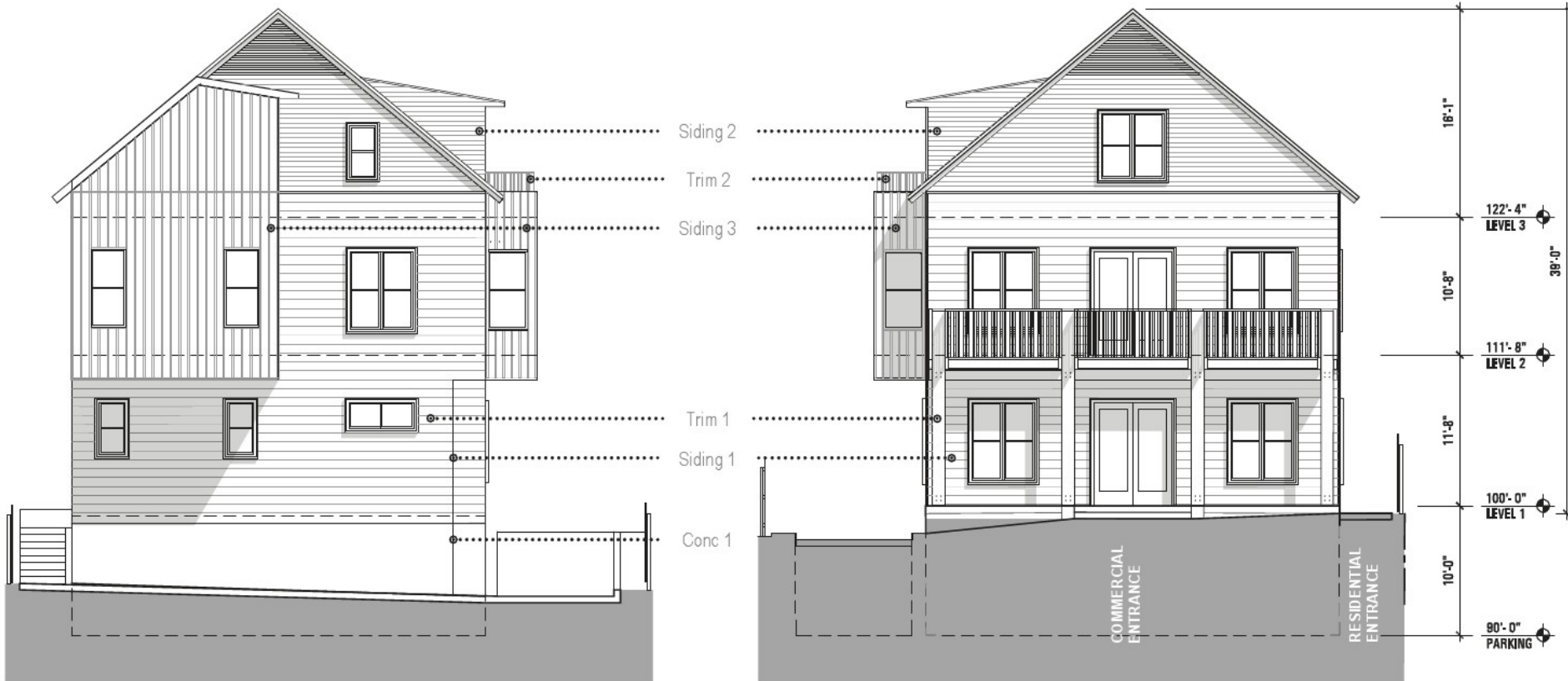


EAST ELEVATION | scale 3/32" = 1'-0"

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NORTH/SOUTH ELEVATIONS | scale 3/32" = 1'-0"



WEST ELEVATION | scale 3/32" = 1'-0"



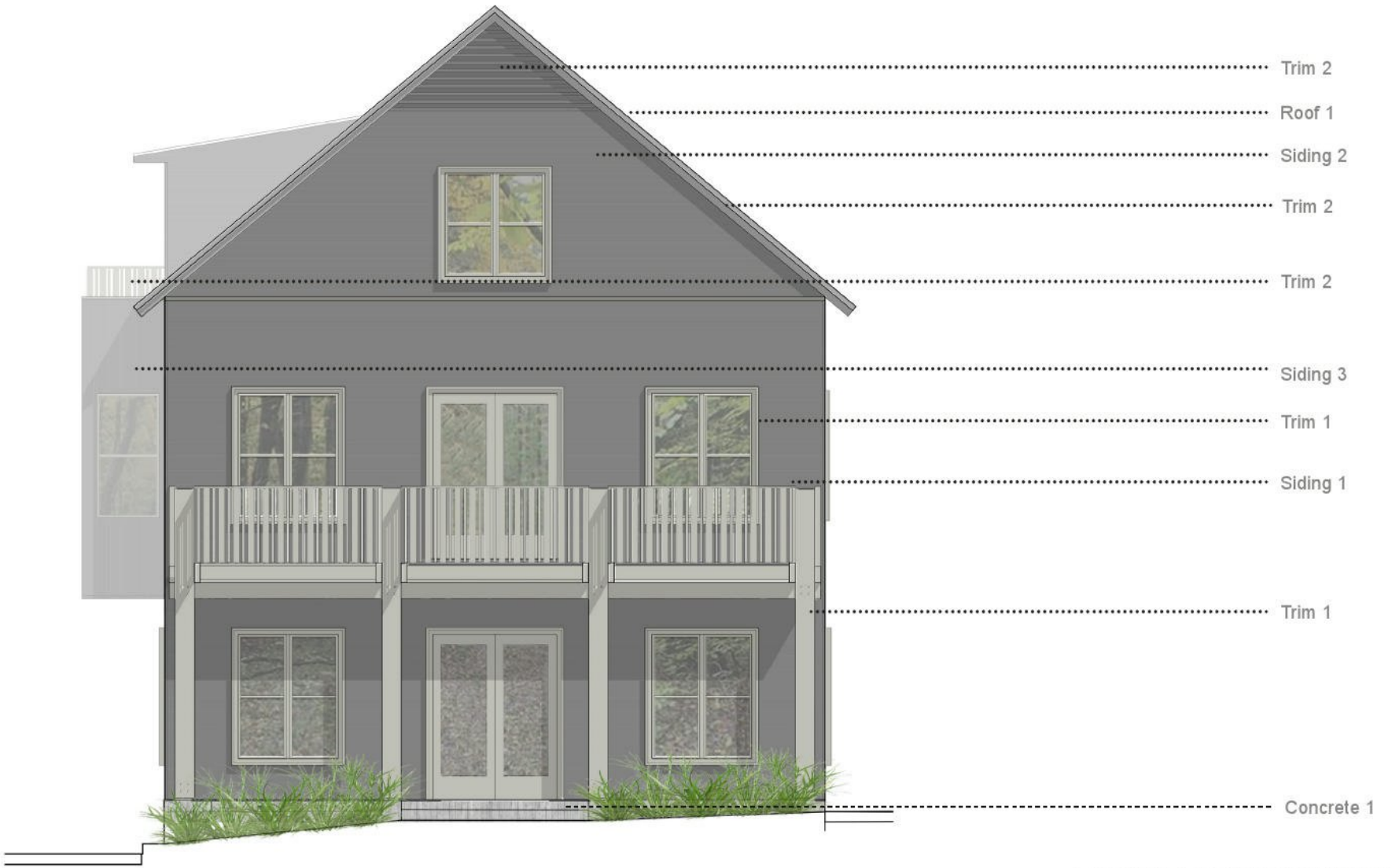
Porch Precedent
2205 Routh St



Secretary of the Interior's Standards for New Construction

- There is no formula or prescription for designing a compatible new addition or related new construction on a site, nor is there generally only one possible design approach that will meet the Standards.
- New additions and related new construction that meet the Standards can be any architectural style—traditional, contemporary, or a simplified version of the historic building.
- There must be a balance between differentiation and compatibility to maintain the historic character and the identity of the building being enlarged.
- New additions and related new construction that are either identical to the historic building or in extreme contrast to it are not compatible.
- New construction should be appropriately scaled and located far enough away from the historic building to maintain its character and that of the site and setting.
- In urban or other built-up areas, new construction that appears as infill within the existing pattern of development can also preserve the historic character of the building, its site, and setting.

Precedent Images & Preservation Criteria

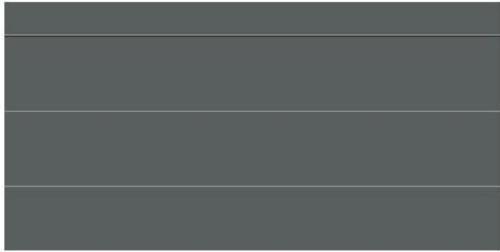


FRONT ELEVATION MATERIALS

Dallas Landmark CA Application
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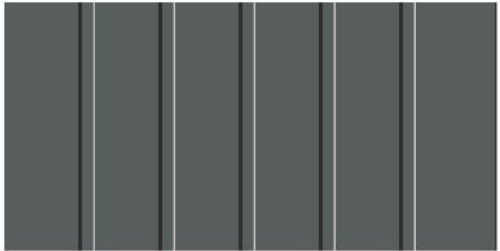




Siding 1
Horizontal nickel gap (flat)
Acre by Modern Mill - 8.25 in wide
Paint color: Roycroft Pewter - SW 2848



Siding 2
Horizontal nickel gap (flat)
Acre by Modern Mill - 4.5 in wide
Paint color: Roycroft Pewter - SW 2848



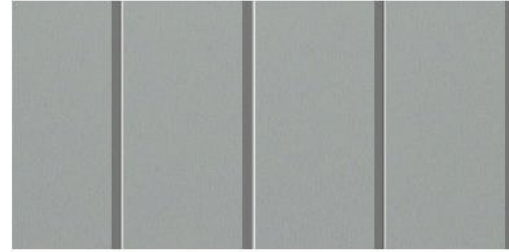
Siding 3
Board and Batten - Flat panel w/ vertical trim
Hardie Panel - Smooth
Paint color: Roycroft Pewter - SW 2848



Concrete 1
Horizontal board formed



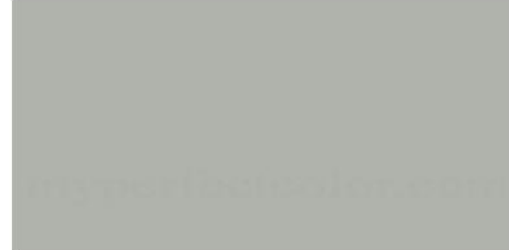
Roof 1
Milan - Interlocking Metal Shingle Panels
McElroy Metal - Keystone Grey



Roof 2
Standing Seam Metal
McElroy Metal - Slate Grey



Trim 1
Paint
SW 7658 Grey Clouds

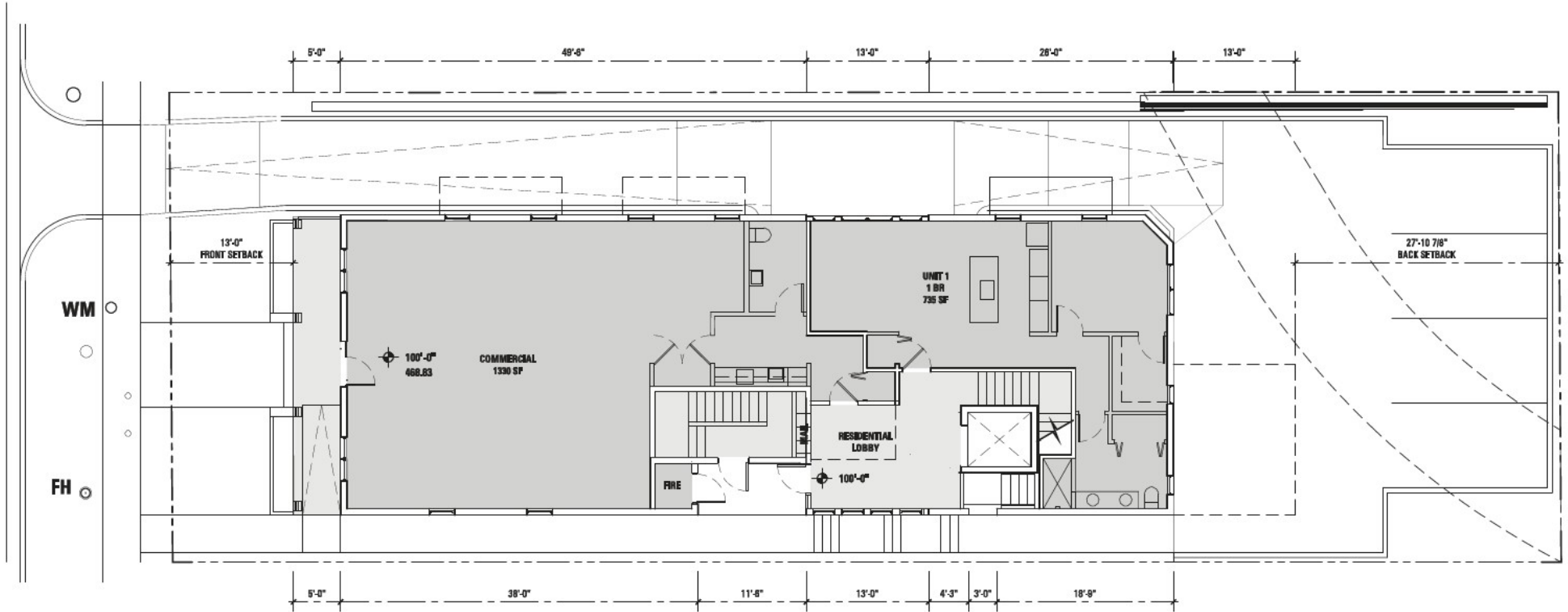


Trim 2
Paint
SW 2848 Roycroft Pewter

Wood Windows & Doors
Anderson 200 or 400 Series
Color Dove Grey

Exterior Materials

THOMAS AVENUE

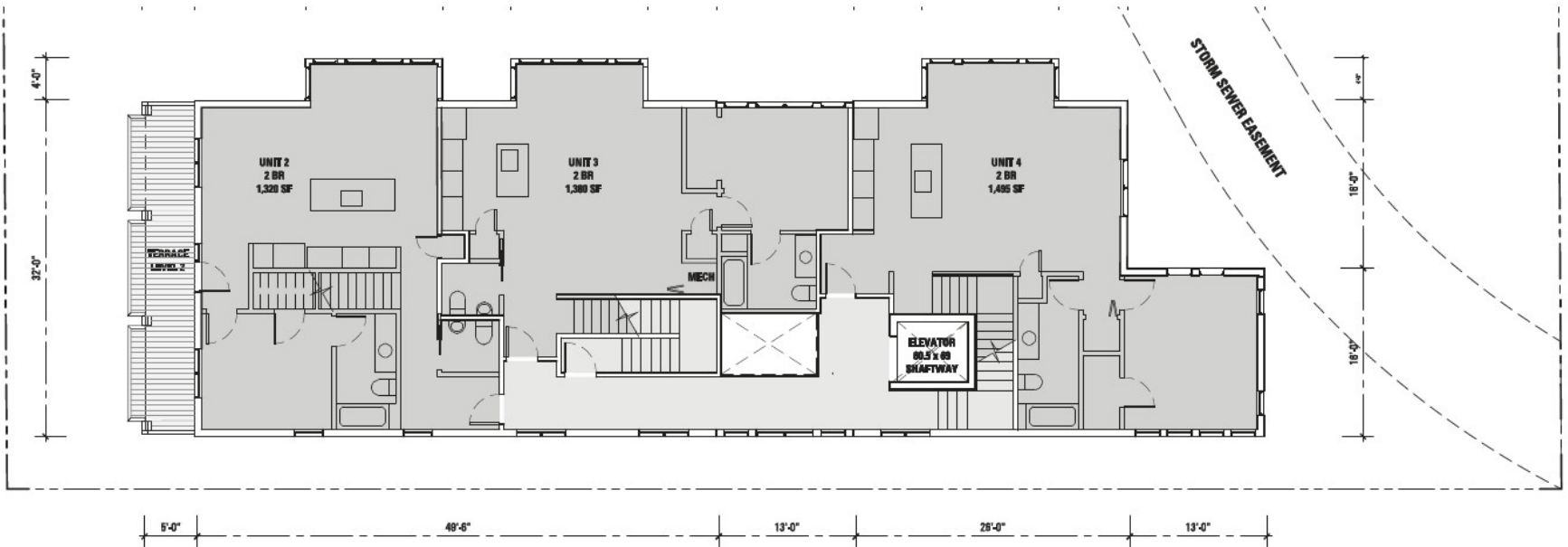


GROUND LEVEL | scale 3/32" = 1'-0"

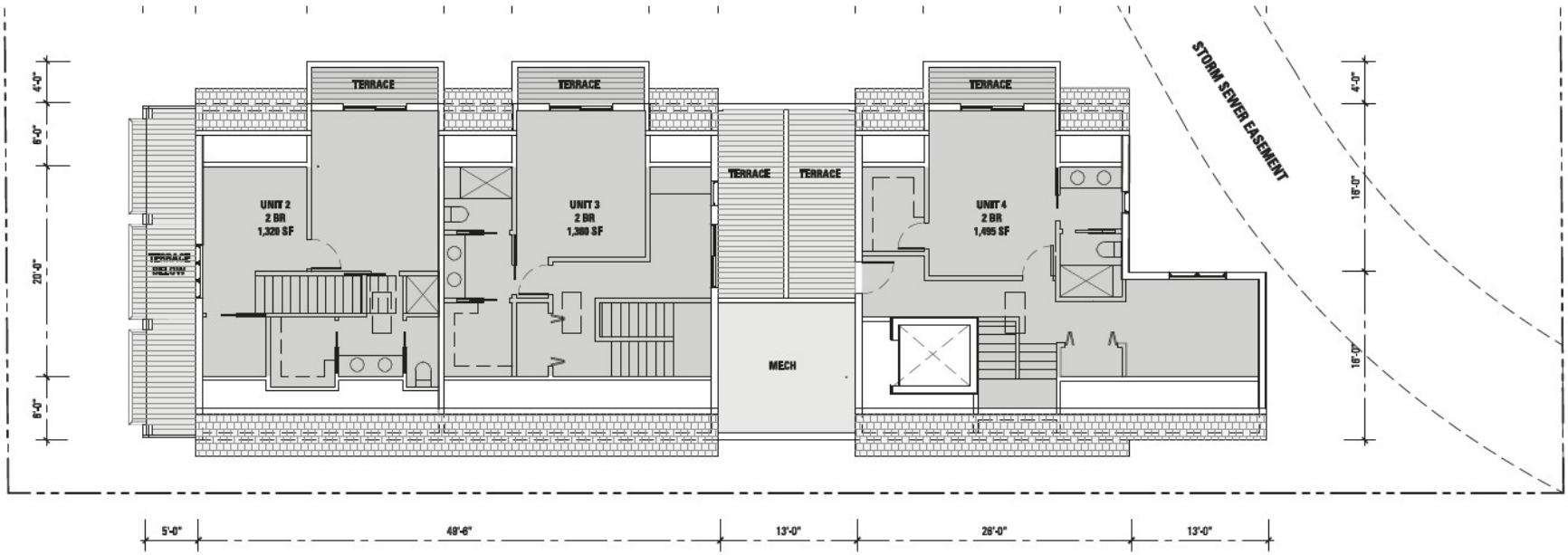
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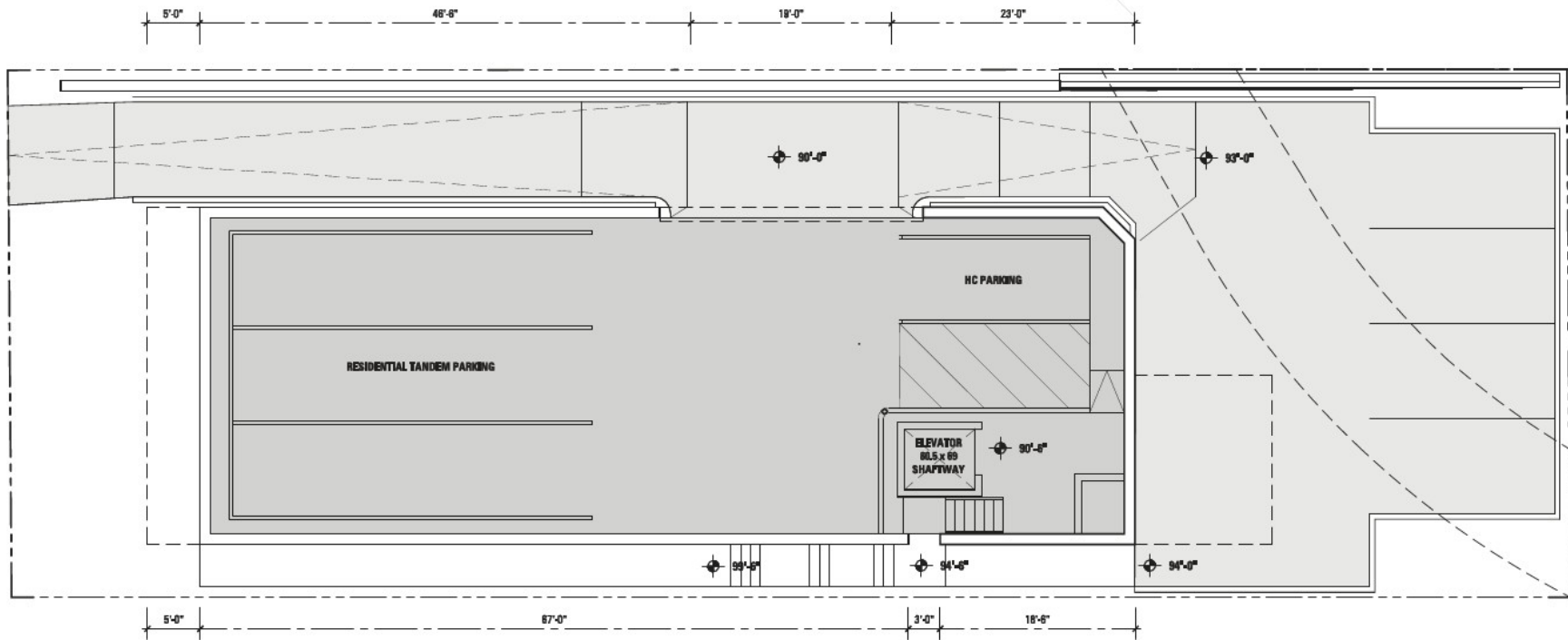




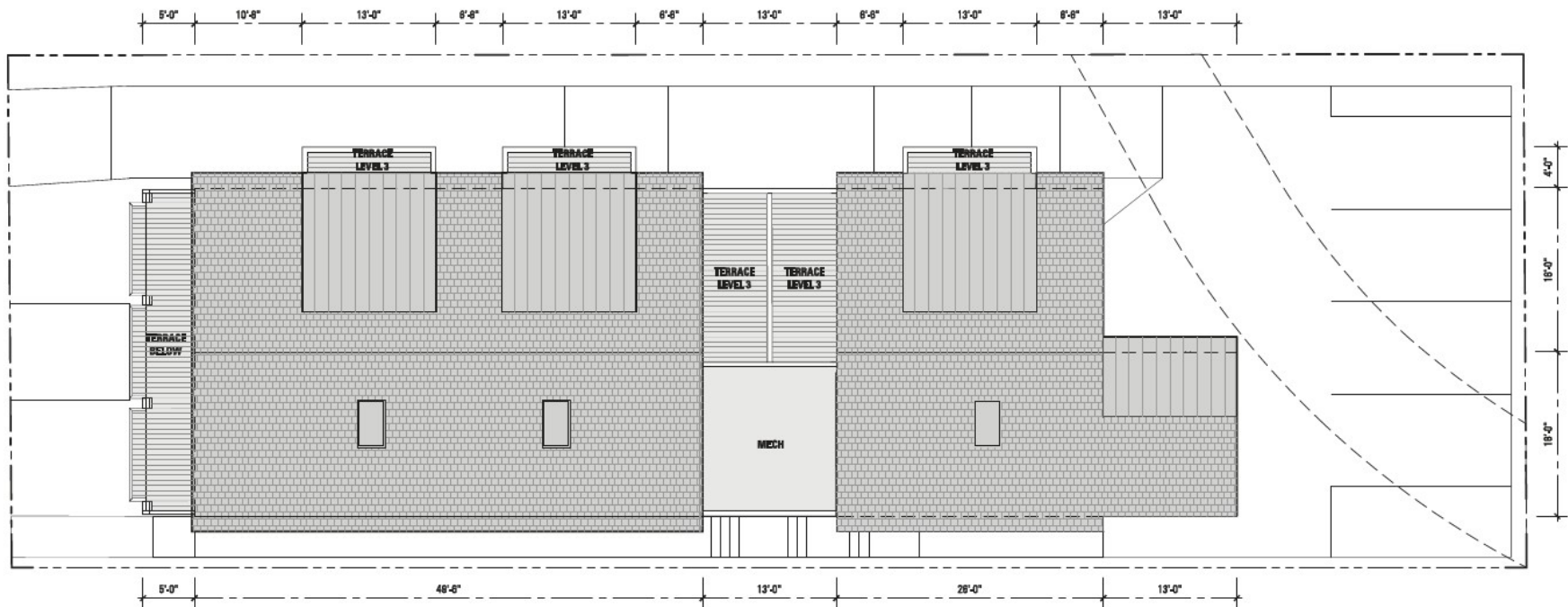
LEVEL 2 PLAN | scale 3/32" = 1'-0"



LEVEL 3 PLAN | scale 3/32" = 1'-0"



BASEMENT PLAN | scale 3/32" = 1'-0"



ROOF PLAN | scale 3/32" = 1'-0"

TILT-WASH DOUBLE-HUNG WINDOWS

FEATURES

FRAME

A Exterior frame members are treated with water-repellent preservative and covered with a Perma-Shield® rigid vinyl cladding that maintains an attractive appearance while minimizing maintenance.

B Interior surfaces are unfinished pine. Low-maintenance prefinished white interiors are available.

C A full-perimeter installation flange makes installation easy and fast with little or no adjustment. It's fixed, seamless and integrated with the exterior frame.

D Flexible weatherstrip around all four sides is factory installed, and provides a tight seal between the sash and frame.

SASH

An in-sash balancer minimizes the view of the jamb liner, maximizing the amount of wood in the frame. The window can be secured through the side jamba to stud walls without hitting the balancer.

E A polyester stabilized coat with a Flexacron® finish is electrostatically applied to penetrate all exterior surfaces for maximum protection and a lustrous finish.

F Wood sash members are treated with a water-repellent wood preservative for long-lasting protection and performance.

G Sash interior surfaces are unfinished pine. Prefinished white interiors are also available.

The convenient tilt-wash design makes it easy to clean the window from the inside.



CAUTION: Painting and staining may cause damage to rigid vinyl. Andersen does not warrant the adhesion or performance of homeowner-applied paint over vinyl or other factory-coated surfaces. For vinyl painting instructions and preparation, contact your Andersen supplier. Do not paint weatherstrip. Creosote-based stains should not come in contact with Andersen products. Abrasive cleaners or solutions containing corrosive solvents should not be used on Andersen products.

*Visit andersenwindows.com/warranty for details.

**Hardware is sold separately.

†Oil rubbed bronze is a "living finish" that will change with time and use, see limited warranty for details.

††TruScene insect screens let in over 25% more fresh air than standard Andersen fiberglass insect screens.

*Flexacron® is a registered trademark of PPG Industries, Inc.

Naturally occurring variations in grain, color and texture of wood make each window one of a kind. All wood interiors are unfinished unless a finish is specified.

Printing limitations prevent exact replication of colors and finishes. See your Andersen supplier for actual color and finish samples.

Dimensions in parentheses are in millimeters.



TWO-TONE OPTION

Available with a two-tone color configuration, featuring a prefinished white interior and a Sandtone exterior. Some exterior components are visible from the interior. Corresponding picture and transom windows, as well as grilles, are available to match.

GLASS

H A rigid vinyl glazing bead combined with a high-grade silicone glazing bed keep the glass bonded firmly to the sash, and help minimize water and air infiltration.

I Glass options include:

- Low-E glass
- Low-E HeatLock® glass
- Low-E SmartSun® glass
- Low-E SmartSun HeatLock glass
- Clear dual-pane glass

Tempered and other glass options are available. Contact your Andersen supplier.

A removable translucent film helps shield the glass from damage during delivery and construction, and simplifies finishing at the job site.

EXTERIORS & INTERIORS

EXTERIOR COLORS



INTERIOR OPTIONS



HARDWARE



Lock & Keeper
Stone | **White**



Optional Classic Series™ Lift**
Stone | **White**

Optional finishes:**
Antique Brass | Black | Bright Brass
Oil Rubbed Bronze | Satin Nickel

Stone finish is standard for pine interiors, and white finish is standard for white interiors. Bold name denotes finish shown.

HARDWARE FINISHES



ACCESSORIES Sold Separately

FRAME

Extension Jamba

Standard jamb depth is 3 1/4" (83). Extension jamba are available in unfinished pine or prefinished white. Some sizes may be veneered. Factory-applied and non-applied interior extension jamba are available in 1/16" (1.5) increments between 4 9/16" (114) and 7 1/4" (181). Extension jamba can be factory applied to either three sides (stool and apron) or four sides (picture frame casing).

Drywall Return

Available with a 3" (76) jamb depth with a flat interior surface for easy drywall return application. Available in unfinished pine or prefinished white.

HARDWARE

Window Opening Control Device

A recessed window opening control device is available factory applied. It limits the sash travel to less than 4" (102) when the window is first opened. Available in stone or white. A field-applied window opening control device is also available.



INSECT SCREENS

Choose full insect screen or half insect screen. Half insect screen allows ventilation without affecting the view through the upper sash. Frames are available in colors to match product exteriors.

TruScene® Insect Screens

Our TruScene insect screens let in over 25% more fresh air† and provide 50% greater clarity than conventional Andersen® insect screens, all while keeping out unwanted small insects.

Conventional Insect Screens

Conventional insect screens have charcoal gray powder-coated aluminum screen mesh.

GRILLES

Grilles are available in a variety of configurations and widths. See page 15 for details.

EXTERIOR TRIM

Available with Andersen exterior trim. See the Exterior Trim section starting on page 51.

Table of Tilt-Wash Double-Hung and Transom Window Sizes

Scale 1/8" (3) - 1'-0" (305) - 1:96









Window Dimension	1'-7 1/2"	1'-11 1/2"	2'-3 1/2"	2'-7 1/2"	2'-11 1/2"	3'-3 1/2"
Minimum Rough Opening	1'-8" (508)	2'-0" (610)	2'-4" (711)	2'-8" (813)	3'-0" (914)	3'-4" (1016)
Unobstructed Glass (lower sash only)	13 1/2" (343)	17 1/2" (445)	21 1/2" (546)	25 1/2" (648)	29 1/2" (749)	33 1/2" (851)
See Half Circle chart						
11 1/2"	244CT18 244FX1810	244CT20 244FX2010	244CT24 244FX2410	244CT28 244FX2810	244CT30 244FX3010	244CT34 244FX3410
1'-5 1/2"	244FX1816	244FX2016	244FX2416	244FX2816	244FX3016	244FX3416
1'-11 1/2"	244FX1820	244FX2020	244FX2420	244FX2820	244FX3020	244FX3420
2'-11 1/2"	244DH1830	244DH2030	244DH2430	244DH2830	244DH3030	244DH3430
3'-5 1/2"	244DH1836	244DH2036	244DH2436	244DH2836	244DH3036	244DH3436
3'-11 1/2"	244DH1840	244DH2040	244DH2440	244DH2840	244DH3040	244DH3440
4'-5 1/2"	244DH1846	244DH2046	244DH2446	244DH2846	244DH3046	244DH3446
4'-8 1/2"	244DH1849	244DH2049	244DH2449	244DH2849	244DH3049*	244DH3449*
4'-11 1/2"	244DH1850	244DH2050	244DH2450	244DH2850	244DH3050*	244DH3450*
5'-5 1/2"	244DH1856	244DH2056	244DH2456	244DH2856*	244DH3056*	244DH3456*
5'-11 1/2"	244DH1860	244DH2060	244DH2460	244DH2860*	244DH3060*	244DH3460*

Table of Tilt-Wash Half Circle Window Sizes

Scale 1/8" (3) - 1'-0" (305) - 1:96

Window Dimension	1'-7 1/2"	1'-11 1/2"
Minimum Rough Opening	1'-8" (508)	2'-0" (610)
Unobstructed Glass	13 1/2" (343)	17 1/2" (445)
1'-0 5/8"		
1'-2 5/8"	244CT18	244CT20
2'-3 1/2"	244CT24	244CT28
2'-11 1/2"	244CT30	244CT34

*Window Dimension always refers to outside frame-to-frame dimension.
 *Minimum Rough Opening dimensions may need to be increased to allow for use of building wraps, flashing, sill panning, brackets, fasteners or other items. See page 74 for more details.
 *Dimensions in parentheses are in millimeters.
 *Meets or exceeds clear opening area of 5.7 sq. ft. or 0.53 m², clear opening width of 20" (508) and clear opening height of 24" (610). See table on page 21.

Grille patterns shown on page 21.
 Details shown on page 22.

Table of Gliding Window Sizes

Scale 1/8" (3) - 1'-0" (305) - 1:96

Window Dimension	2'-11 1/2" (902)	3'-11 1/2" (1207)	4'-11 1/2" (1511)	5'-11 1/2" (1816)
Minimum Rough Opening	3'-0" (914)	4'-0" (1219)	5'-0" (1524)	6'-0" (1829)
Unobstructed Glass (single sash only)	13 11/16" (348)	19 11/16" (500)	25 11/16" (652)	31 11/16" (805)

1'-5 1/2" (445)	1'-6" (457)	1'-11 1/2" (597)	2'-0" (610)	2'-11 1/2" (902)	3'-0" (914)	3'-5 1/2" (1064)	3'-11 1/2" (1207)	4'-5 1/2" (1359)	4'-11 1/2" (1511)
1'-6" (457)	1'-11 1/2" (597)	2'-0" (610)	2'-11 1/2" (902)	3'-0" (914)	3'-5 1/2" (1064)	3'-11 1/2" (1207)	4'-5 1/2" (1359)	4'-11 1/2" (1511)	5'-0" (1524)
1'-11 1/2" (597)	2'-0" (610)	2'-11 1/2" (902)	3'-0" (914)	3'-5 1/2" (1064)	3'-11 1/2" (1207)	4'-5 1/2" (1359)	4'-11 1/2" (1511)	5'-0" (1524)	5'-11 1/2" (1816)
2'-0" (610)	2'-11 1/2" (902)	3'-0" (914)	3'-5 1/2" (1064)	3'-11 1/2" (1207)	4'-5 1/2" (1359)	4'-11 1/2" (1511)	5'-0" (1524)	5'-11 1/2" (1816)	6'-0" (1829)
2'-11 1/2" (902)	3'-0" (914)	3'-5 1/2" (1064)	3'-11 1/2" (1207)	4'-5 1/2" (1359)	4'-11 1/2" (1511)	5'-0" (1524)	5'-11 1/2" (1816)	6'-0" (1829)	6'-11 1/2" (2134)
3'-0" (914)	3'-5 1/2" (1064)	3'-11 1/2" (1207)	4'-5 1/2" (1359)	4'-11 1/2" (1511)	5'-0" (1524)	5'-11 1/2" (1816)	6'-0" (1829)	6'-11 1/2" (2134)	7'-0" (2160)
3'-5 1/2" (1064)	3'-11 1/2" (1207)	4'-5 1/2" (1359)	4'-11 1/2" (1511)	5'-0" (1524)	5'-11 1/2" (1816)	6'-0" (1829)	6'-11 1/2" (2134)	7'-0" (2160)	7'-11 1/2" (2466)
3'-11 1/2" (1207)	4'-5 1/2" (1359)	4'-11 1/2" (1511)	5'-0" (1524)	5'-11 1/2" (1816)	6'-0" (1829)	6'-11 1/2" (2134)	7'-0" (2160)	7'-11 1/2" (2466)	8'-0" (2438)
4'-5 1/2" (1359)	4'-11 1/2" (1511)	5'-0" (1524)	5'-11 1/2" (1816)	6'-0" (1829)	6'-11 1/2" (2134)	7'-0" (2160)	7'-11 1/2" (2466)	8'-0" (2438)	8'-11 1/2" (2774)
4'-11 1/2" (1511)	5'-0" (1524)	5'-11 1/2" (1816)	6'-0" (1829)	6'-11 1/2" (2134)	7'-0" (2160)	7'-11 1/2" (2466)	8'-0" (2438)	8'-11 1/2" (2774)	9'-0" (2714)



Active Stationary

Viewed from the exterior.

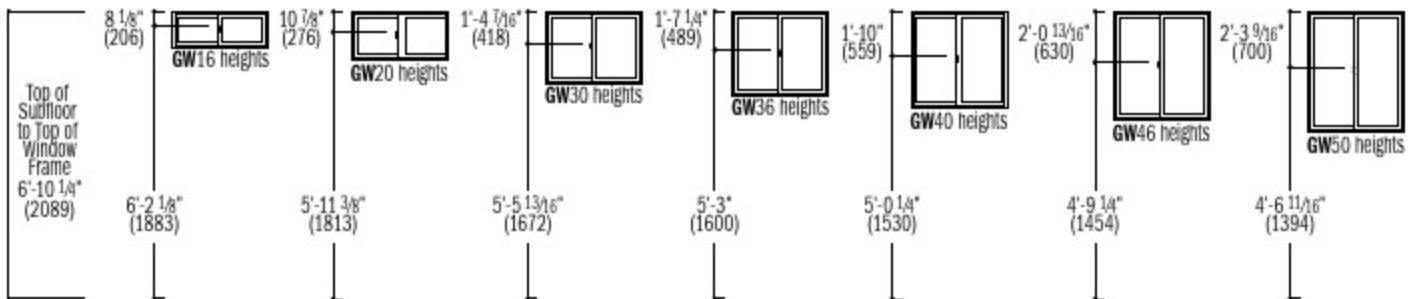
Grille patterns shown on page 26.

Details shown on page 27.

* Window Dimension always refers to outside frame-to-frame dimension.
 * Minimum Rough Opening dimensions may need to be increased to allow for use of building wraps, flashing, sill panning, brackets, fasteners or other items. See page 74 for more details.
 * Dimensions in parentheses are in millimeters.
 † Meets or exceeds clear opening area of 5.7 sq. ft. or 0.53 m², clear opening width of 20" (508) and clear opening height of 24" (610). See table on page 27.

Lock Location

Dimensions shown are from top of lock. Calculations based on installation with bottom of header height at 6'-10 1/2" (2096) from top of subfloor.



* Dimensions in parentheses are in millimeters.

HARDWARE

Reachout Locking Hardware



The unique Andersen® reachout locking hardware pulls the door panel snugly into the jamb for a weather tight seal and enhanced security.

ACCESSORIES Sold Separately

FRAME

Extension Jamb

Standard jamb depth is 4 7/8" (116). Pine, maple and oak veneers or prefinished white interior extension jambs are available in 1/8" (1.5) increments between 5 1/8" (129) and 7 1/8" (181).

Threshold



A maple or oak threshold is available for finishing the interior of the sill.

Ramped Sill Insert



Ramped sills in maple or oak provide a smooth transition from interior to exterior, and can be used with a retractable insect screen but not a gliding insect screen. Check with local and federal officials to determine if product meets accessibility codes. Shown with an Andersen 400 Series Frenchwood® gliding patio door.

Sill Support



An aluminum sill support is designed to lock into a channel under the sill and tie back into the wall. This will offer support to the outermost sill section when needed. Available in a neutral gray finish.

HARDWARE

Exterior Keyed Lock



A six-pin key cylinder lock allows the door to be locked and unlocked from the exterior. Available in finishes that coordinate with the hardware.

Auxiliary Foot Lock



Provides an extra measure of security when the door is in a locked position. The lock can be set so the door is fully closed or partially open to provide a secure venting position. Available in all hardware finishes.

INSECT SCREENS

Screens have a long-lasting fiberglass screen mesh with a charcoal gray finish. Frames are color matched to the exterior of the door.

Gliding Screen



Patented square-corner joint construction adds considerable strength to the frame members. Gliding screens have Delrin® injection-molded bottom rollers with self-contained leveling adjusters, providing smooth operation. Interior and exterior pulls and latch are provided. Available for two- and four-panel doors.

Retractable Screen



Our premium retractable screen for two- and four-panel doors has an integrated design, allowing it to glide side to side across the width of the opening and disappear when not in use. The screen features high-weather and retention performance, tear-resistant screen mesh, and quality metal hardware, along with an owner-to-owner 10-year limited warranty. Available in all exterior colors.

GRILLES

Grilles are available in a variety of configurations and widths. See page 15 for details.

EXTERIOR TRIM

Available with Andersen exterior trim. See the Exterior Trim section starting on page 51.

SIDELIGHTS

Stationary units can be selected for use as sidelights. See the size table on page 32 for size options.

CAUTION: Painting and staining may cause damage to rigid vinyl. Andersen does not warrant the adhesion or performance of homeowner-applied paint over vinyl or other factory-coated surfaces. For vinyl painting instructions and preparation, contact your Andersen supplier. Do not paint weatherstrip. Creosote-based stains should not come in contact with Andersen products. Abrasive cleaners or solutions containing corrosive solvents should not be used on Andersen products.

*Visit andersenwindows.com/warranty for details.

®Delrin is a registered trademark of E.I. du Pont de Nemours and Company.

Andersen patio doors are not intended for use as entry doors.

Dimensions in parentheses are in millimeters.

NARROLINE® GLIDING PATIO DOORS

Patio Door Heights

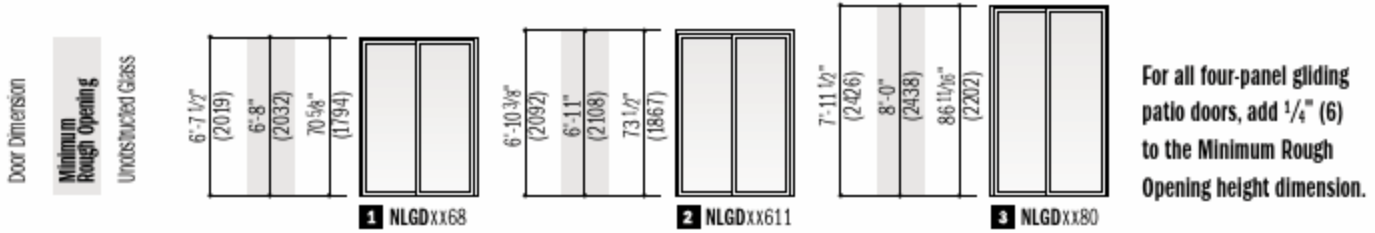


Table of Narroline® Gliding Patio Door Sizes

Scale 1/8" (3) - 1'-0" (305) - 1:96

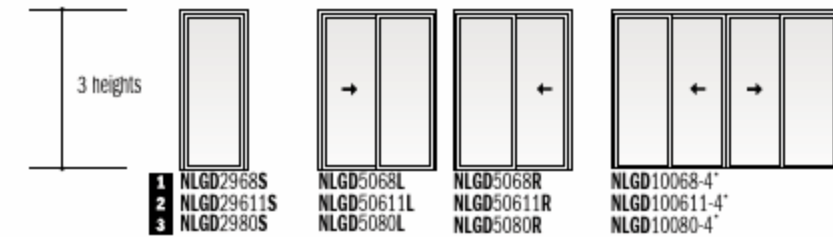
Door Dimension	2'-8"	4'-11 1/4"	4'-11 1/4"	9'-9"
	(813)	(1505)	(1505)	(2972)
Minimum Rough Opening	2'-8 3/4"	5'-0"	5'-0"	9'-9 3/4"
	(832)	(1524)	(1524)	(2991)
Unobstructed Glass (single panel only)	24 1/2"	24 1/2"	24 1/2"	24 1/2"
	(622)	(622)	(622)	(622)



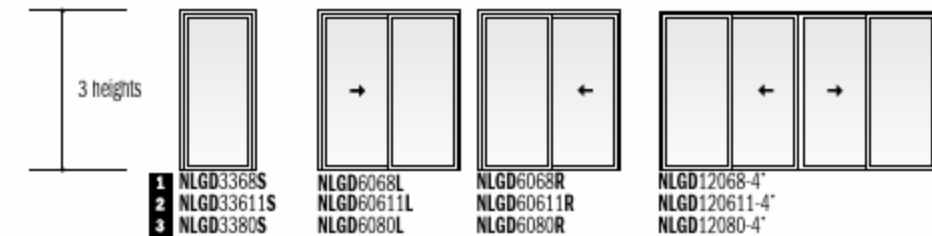
Custom-size doors are available in 1/8" (3) increments. See page 33 for custom sizes and specifications.

Viewed from the exterior. Arrow indicates direction of panel operation. Stationary (S) doors can be used as an individual unit or as a sidelight.

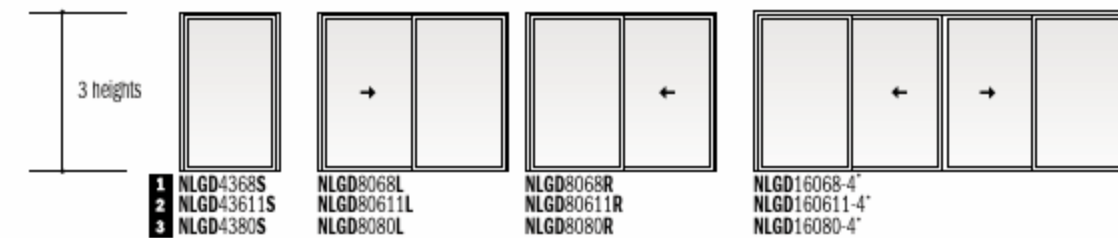
Grille patterns shown on page 34.
Details shown on pages 34-35.



Door Dimension	3'-2"	5'-11 1/4"	5'-11 1/4"	11'-9"
	(965)	(1810)	(1810)	(3581)
Minimum Rough Opening	3'-2 3/4"	6'-0"	6'-0"	11'-9 3/4"
	(984)	(1829)	(1829)	(3600)
Unobstructed Glass (single panel only)	30 1/2"	30 1/2"	30 1/2"	30 1/2"
	(775)	(775)	(775)	(775)



Door Dimension	4'-2"	7'-11 1/4"	7'-11 1/4"	15'-9"
	(1270)	(2419)	(2419)	(4801)
Minimum Rough Opening	4'-2 3/4"	8'-0"	8'-0"	15'-9 3/4"
	(1289)	(2438)	(2438)	(4820)
Unobstructed Glass (single panel only)	42 1/2"	42 1/2"	42 1/2"	42 1/2"
	(1080)	(1080)	(1080)	(1080)



* Door Dimension always refers to outside frame-to-frame dimension.

* Minimum Rough Opening dimensions may need to be increased to allow for use of building wraps, flashing, sill panning, brackets, fasteners or other items. See page 74 for more details.

* Dimensions in parentheses are in millimeters.

* Add 1/4" (6) to the Minimum Rough Opening height dimension for four-panel doors.

PANEL STYLE 102 STRAIGHTLINE GLASS PANEL



Interior



Exterior

Summary

Configuration	Double Door
Interior Color	Vertical Grain Douglas Fir
Glass	Low-E4® Glass
Hardware	Albany, White
Grille Pattern	None
Exterior	Dove Gray



ACRE Nickel Gap Siding is a sustainable, durable alternative with the genuine look and feel of real wood. ACRE is lightweight, strong, water-resistant and guaranteed not to rot or splinter.

ACRE is easy to cut, fasten without pre-drilling, rout, thermoform and accepts paint or stain without primer.

Best of all, ACRE is made without harming a single tree, in a zero-waste environment in the U.S.A. ACRE helps protect your home and our world.

NICKEL GAP PROFILE DETAILS



Nominal Size	Actual Thickness (A)	Actual Width (B)	Reveal (C)	Tongue (D)	Gap (E)	Lengths
1" x 6"	3/4"	5-7/16"	4-1/2"	1-1/16"	1/8"	12', 16', 20'
1" x 8"	3/4"	7-3/16"	6-1/4"	1-1/16"	1/8"	12', 16', 20'
1" x 10"	3/4"	9-3/16"	8-1/4"	1-1/16"	1/8"	12', 16', 20'

AESTHETIC

ACRE Grain



WORKS LIKE WOOD - BUT BETTER!

- Paintable and stainable. No primer necessary
- Easy to rout, cut and sand in the field with regular wood working tools
- Easy on tools. Minimal melting or static-charged dust
- No harmful dust or residue
- Pre-drilling not required. Screws and nails will not mushroom.
- Uniform texture throughout and finish-ready, no need to seal or treat ends

NATURAL BEAUTY

- Genuine warm look and feel of wood
- Natural-looking grain
- Endless finish options with water-based paints or stains. See Coatings Guide for important information
- Thermoform for folded corners, curves and creative shapes
- Digitally print directly on ACRE's surface

UNMATCHED DURABILITY

100% resistant to water, weather, rot and pests - even termites!

Guaranteed not to splinter or crack

Smooth screw application close to edges, and into sides without splitting

Suitable for ground and water contact

Sturdy, resists breakage and job site damage

Debris from cutting will fall and brush off surfaces and clothing (less static cling than traditional PVC)

Easy on tools when routing, cutting and screwing

Strong screw and nail retention. Superior bond with a wide range of glues and construction adhesives

No special maintenance or cleaning methods needed

Virtually no moisture absorption so paint lasts longer than on wood

Less expansion and contraction than competitive PVC products

Lightweight, yet strong and straight

SUSTAINABLE INNOVATION

Made in the U.S.A.

100% tree-free

Upcycled natural fibers from discarded rice hulls, a rapidly renewable resource

Free of phenol, formaldehyde and adhesives

Zero-waste manufacturing

100% recyclable

FIRST TIME USING ACRE PRODUCTS?

Visit our website for important Tech & Training Resources including our Coatings Guide.

ACRE contains PVC and requires coatings with a light reflective value (LRV) of 55 or greater to avoid heat build up or changes to physical properties.

Consult with Modern Mill for more information.



Be aware of excess heat on ACRE surfaces such as but not limited to fire, direct or reflective sunlight, reflective sunlight from energy-efficient window products. Low-emissivity (Low-E) glass can harm ACRE products because Low-E glass products are designed to prevent passive heat gain within a structure and can cause unusual heat build up on exterior surfaces from sunlight reflection. The extreme rise of surface temperatures can create an environment which exceeds normal exposures and may create scenarios which can cause ACRE products to melt, sag, warp, discolor, expand and contract beyond acceptable tolerances or accelerate weathering.

MODERN·MILL

www.modern-mill.com

601-869-5050

2025.04

MILAN

STEEL SHINGLE



MILAN
STEEL SHINGLE

The Roof Your Home Deserves.



THE PROBLEM

Your home's roof is its first line of defense against the elements. And, let's face it, no matter where you live, your roof is subject to a lot of extremes. Hot and cold temperatures, rain, high winds, damaging sunlight, ice, and snow – these things all work together to wreak havoc on most roofing materials. It's due to these factors that most homeowners find themselves having to re-roof years sooner than expected.

THE SOLUTION

The one roofing material that has survived the test of time is steel. You can go into virtually any community and find steel roofs that have been serving their intended purpose for many decades.

With Milan Steel Shingle, McElroy has combined the lasting strength and durability of steel roofing with state of the art coatings and other technologies to provide roofs that are low maintenance and will likely be the last roof you ever install.

100% MADE IN AMERICA

With McElroy Metal's core value of supporting our community and country while providing the highest quality roofing systems, we are committed to manufacturing Milan from steel and coatings that are produced in the USA..

THE SYSTEM

Milan Steel Shingles are part of a complete roofing system. Your roof will be installed using matching factory-formed accessories. Each home and roof is unique. We have drip edges, gable trim, valley flashings, hip and ridge caps, not to mention methods for handling penetrations like chimneys, vents, and pipes. The Milan roofing panels interlock on all sides and the fasteners are completely concealed. The roof system is installed from the bottom of the roof upward and is designed to have the look of dimensional shingles, slate, or cedar shake.

Milan Steel Shingle's unique paint system, colors, and design will preserve, protect, and add to the beauty of any home for a lifetime.



THE BENEFITS

With a decades long service life, Milan may well be the last roof you ever purchase. The interlocking Milan panels resist high winds while the quality G90 galvanized steel provides fire protection for your home. At $\frac{1}{4}$ the weight of conventional roofing shingles, Milan can be installed over most existing roofs, eliminating the added expense of tear-off and disposal of your old roof.

THE ENVIRONMENT

In keeping with the goals of McElroy Metal to offer homeowners products that are environmentally-friendly, Milan is produced from steel that has 35% recycled content, allowing homeowners to close the recycling loop. Additionally, our coatings are Energy Star listed for their ability to reflect radiant heat, keeping your home naturally cooler in warm weather.

AESTHETICS

Milan shingles add beauty and curb appeal to any home or business. Offering eight attractive Kynar 500® (PVDF) colors as well as Slate and Shake Kynar 500 Prints, McElroy Metal's Milan will compliment any exterior design palette. Kynar 500 coatings are proven to provide the greatest resistance against panel chalk and fade, which is your assurance that your new roof investment will look its best year-after-year.



KYNAR 500® (PVDF) COLORS



KYNAR 500® DESIGNER PRINTS



Colors are representative of colors offered and are not intended for matching purposes.
Please request actual color chip from your McElroy Representative.

PRODUCT SPECIFICATIONS

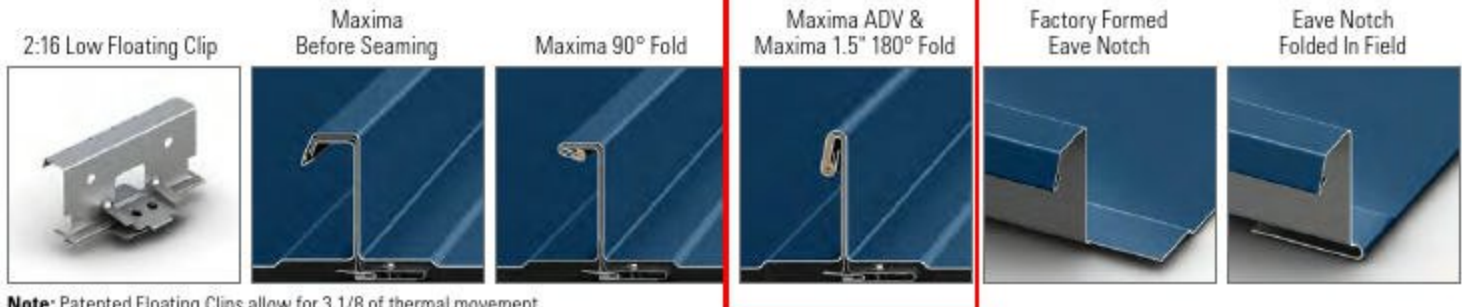


Fastening Detail: Continuous integrated nailing flange.
Four-way interlock panel.

Panel Exposure: 39" x 12"
Panels Per Square: 30.77
Weight Per Square: 76 lbs.
Steel Substrate: 29 Gauge G90 Galvanized Steel
Coating: Kynar 500® Finish



Corporate Office
1500 Hamilton Rd., Bossier City, LA 71111
www.mcelroymetal.com | info@mcelroymetal.com



Note: Patented Floating Clips allow for 3 1/8" of thermal movement

MAXIMA PROFILES	WIDTH	PAN CONDITIONS					FACTORY NOTCHING			SEAM		
	WIDTH IN INCHES	STRIATED	MINOR RIBS	SINGLE PENCIL RIB	DOUBLE PENCIL RIB	FLAT PAN	CURVED	LAP	EAVE	NONE	90 DEGREE SEAM	180 DEGREE SEAM
Maxima 1.5"	12	■		■		■	■			■		■
Maxima 1.5"	16, 18	■			■	■	■			■		■
Maxima 2"	12	■		■		■		■	■	■	■	
Maxima 2"	16, 18	■			■	■		■	■	■	■	
Maxima ADV 2"	12	■		■		■		■	■	■		■
Maxima ADV 2"	16, 18	■			■	■		■	■	■		■
Maxima 3" Minor Rib (Std.) 18" panel only available with one minor rib	18, 24	■	■					■	■	■	■	

Striated panels are recommended as they reduce the appearance of oil canning.

Curving Details

- Only Maxima 1.5 and Maxima ADV can be curved
- Minimum radius: 25' for 2" ADV, 12' for 1.5"
- 180° seam required
- Sealant to be field applied on curved applications
- Maxima ADV and Maxima 1.5 flat panels will curve naturally on a radius of 250 feet or greater

Details

- Mechanically seamed profile
- Factory formed eave notch upon request
- Factory applied sealant (on non-curved panels only)
- Minimum slope: 1:12 for 1.5"
- Minimum slope: 1/2:12 for 2"
- Minimum slope: 1/4:12 for 3"
- Can be installed over solid deck or open framing

- Maxima 2" and ADV also available jobsite formed for long lengths
- Floating clips allow for 3 1/8" thermal movement

Panel Options

- Panel height & width: See panel profile drawings above
- Panel configurations: See chart on left
- Coating: Kynar 500® (PVDF)

- Substrate:
 - Standard 24 gauge Galvalume®
 - Optional 22 gauge Galvalume
 - .032 and .040 aluminum (Aluminum is produced at the Sunnyvale, TX facility only. No testing available on aluminium)

Testing Data

- For any available Test Data, Section Properties or Load Tables, please visit our download section at www.mcelroymetal.com

Oil canning (pan wave) is a natural occurrence in metal panels and is not a cause for panel rejection.

NEW CONSTRUCTION FORM – TO BE FILLED OUT BY APPLICANT

This form must be completed by the applicant and submitted with any Certificate of Appropriateness application for new construction. Incomplete applications will not be docketed for consideration by the Landmark Commission. Please refer to the preservation criteria in the historic district ordinance or contact a City Preservation Planner for further information.

Y N Will the proposed new construction require demolition of any structure(s) on the site?
If yes, you must submit a Certificate of Demolition form with your application.

Y N Have you completed a preliminary review of the drawings with Building Inspection?
NOTE: This step is required for construction of a main structure and strongly recommended for accessory structures. Preliminary review does not guarantee final approval of a permit.

Preliminary review: DATE 03 / 19 / 2025 NAME OF PLANS EXAMINER: Brandon Potter - Q-Team
Pre-development meeting # DEV25022504 Project Coordinator

LOT COVERAGE

Existing lot coverage 0 % (lot coverage includes all structures with a permanent roof, including porches and patios)

Proposed lot coverage 50 %

SETBACKS AND BUILDING HEIGHT

Proposed main structure (skip if no new main structure is proposed):

Front yard setback 15 ft

Average front yard setback on blockface _____ ft

Side yard setbacks LEFT SIDE 5 ft RIGHT SIDE 5.9 ft

Rear yard setback 29.5 ft OR distance to accessory structure _____ ft

Roof height 39 ft Average roof height on blockface 34 ft blockface range 18-44 ft to primary roof ridge/peak

Proposed accessory structure (skip if no new accessory structure is proposed):

Distance from main structure _____ ft

Side yard setbacks LEFT SIDE _____ ft RIGHT SIDE _____ ft

Rear yard setback _____ ft

Roof height of proposed accessory _____ ft Main structure roof height _____ ft

**PREVIOUSLY-REVIEWED DRAWINGS
FEBRUARY 2026**



BOLL STREET

THOMAS AVENUE

ROUTH STREET

BOLL STREET

2626 THOMAS AVE

Landmark CA Application

01.22.2026



OGLESBY GREENE ARCHITECTURE

THOMAS AVENUE



	Allowed	Proposed
FAR	1 : 1.25	1 : 1.06
Lot Coverage	60%	47%

Lot area = 7366 sf
Allowable coverage - 60% = 4,420 sf
Buildable area (less setbacks & easement) = 4,190 sf

Zoning Analysis

PD 225 State-Thomas Special Purpose District – Original Ordinance March 1986

FAR– 1.25 : 1 for Core District (7530 lot area x 1.25 = **9,412 sf allowable floor area**)

Dwelling Units (Core District)

- 6 units per lot for residential only development (3 per level)
- 4 units per lot for “commercial” or mixed-use development (2 per level)

Lot Coverage (Core District)

- 60% if residential use included
- 50% without residential use

Height (Core District)

- 36 ft for main building
- 14 ft for accessory buildings
- 2.5 stories max – half story is a level above the roof eave

Setbacks (Core District) – All buildings and structures

- Front yard
 - Within 5% of the average of all main buildings on the block face
- Side yard
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 - Materials
 - Landscape hedge
 - 48% open area max for screen elements



THOMAS AVENUE

BOLL STREET

1.5 STORY
19 ft SETBACK

2.5 STORY
17.5 ft SETBACK

2.5 STORY
17.5 ft SETBACK

2.5 STORY
13 ft SETBACK

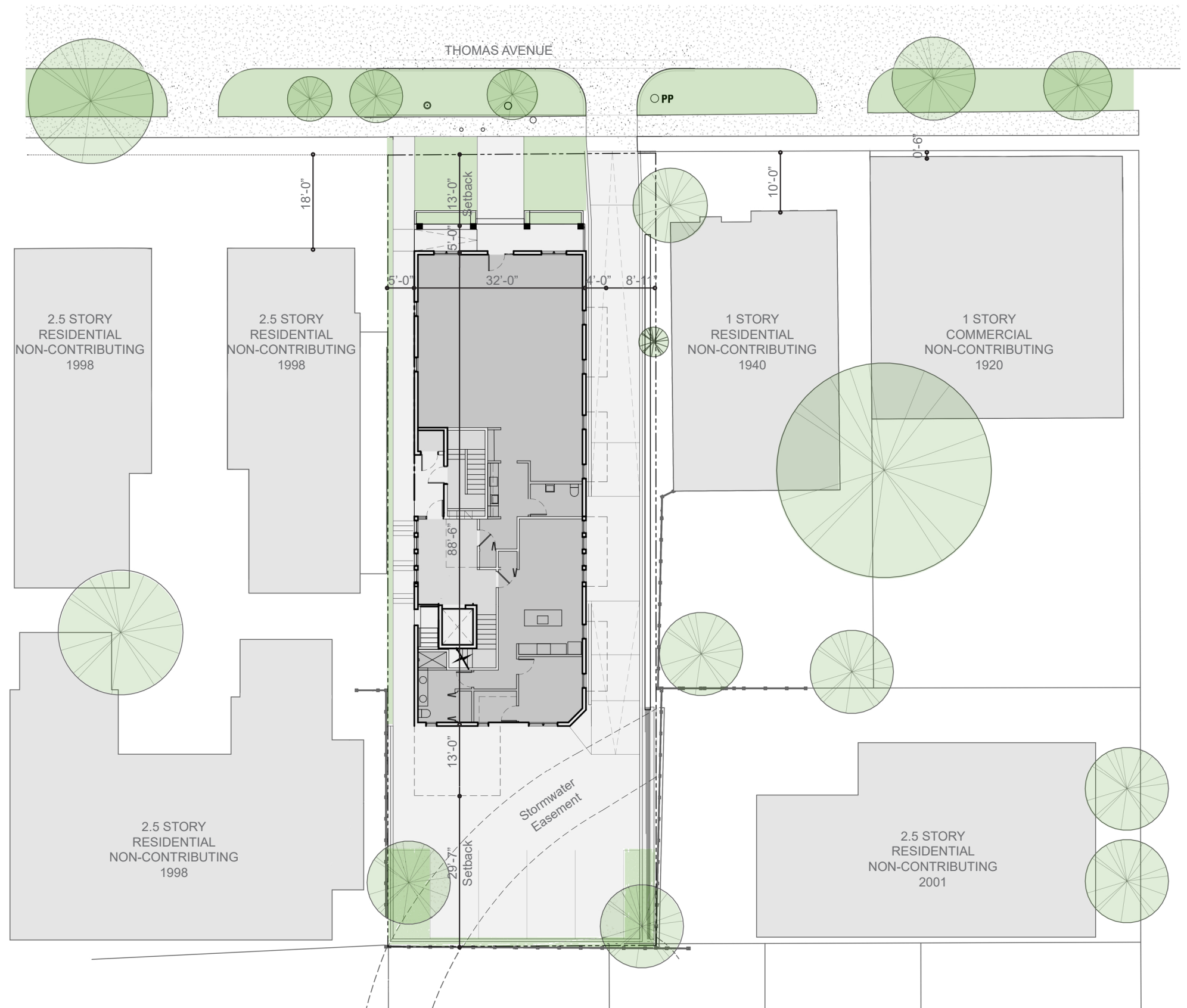
1 STORY
11 ft SETBACK

1 STORY
0.5 ft SETBACK

BLOCK MASSING AND SETBACKS



BLOCK FACE ROOF HEIGHTS - 34 ft average



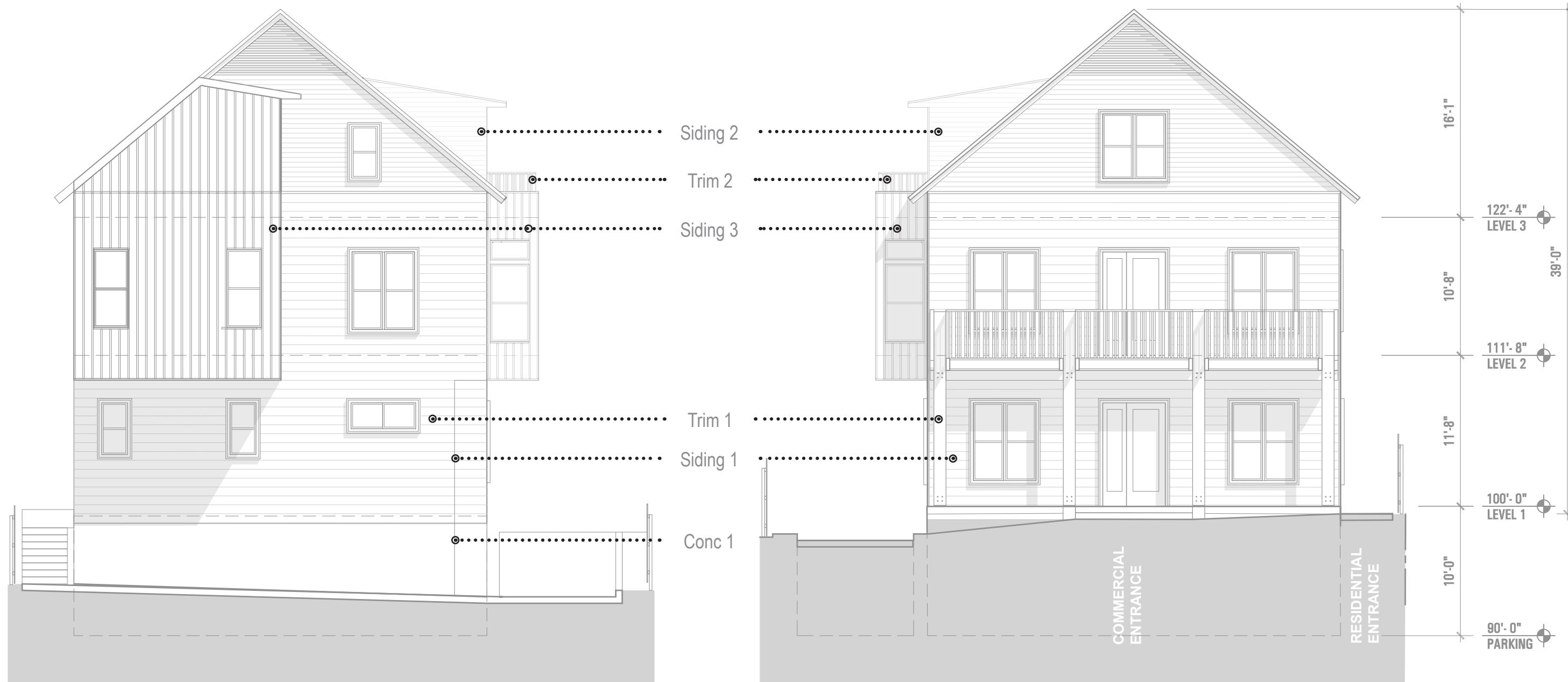
Site Plan | scale 3/64" = 1'-0"



Context Elevation | NTS



EAST ELEVATION | scale 3/32" = 1'-0"



NORTH/SOUTH ELEVATIONS | scale 3/32" = 1'-0"



WEST ELEVATION | scale 3/32" = 1'-0"



Porch Precedent
2205 Routh St



Secretary of the Interior's Standards for New Construction

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- In urban or other built-up areas, new construction that appears as infill within the existing pattern of development can also preserve the historic character of the building, its site, and setting.

Precedent Images & Preservation Criteria



FRONT ELEVATION MATERIALS



Siding 1
Horizontal nickel gap (flat)
Acre by Modern Mill - 8.25 in wide
Paint color: Roycroft Pewter - SW 2848



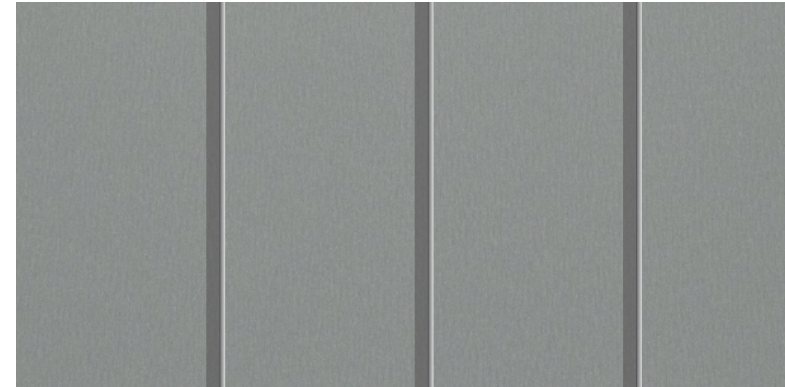
Siding 2
Horizontal nickel gap (flat)
Acre by Modern Mill - 4.5 in wide
Paint color: Roycroft Pewter - SW 2848



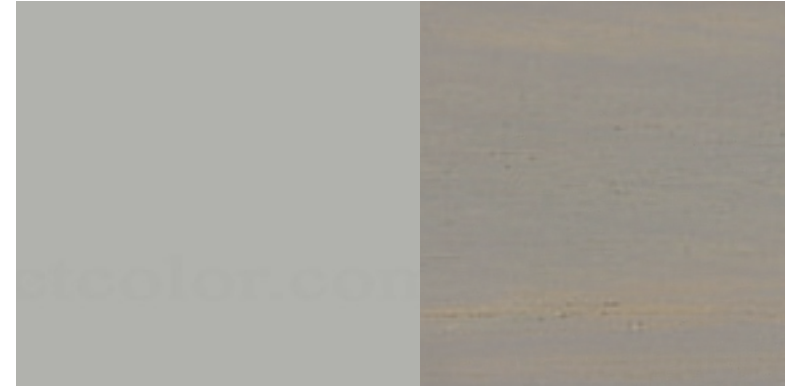
Siding 3
Board and Batten - Flat panel w// vertical trim
Hardie Panel - Smooth
Paint color: Roycroft Pewter - SW 2848



Concrete 1
Horizontal board formed



Roof 1
Standing Seam
Western States Metal - 16 in
Color: Matte Zinc Metallic



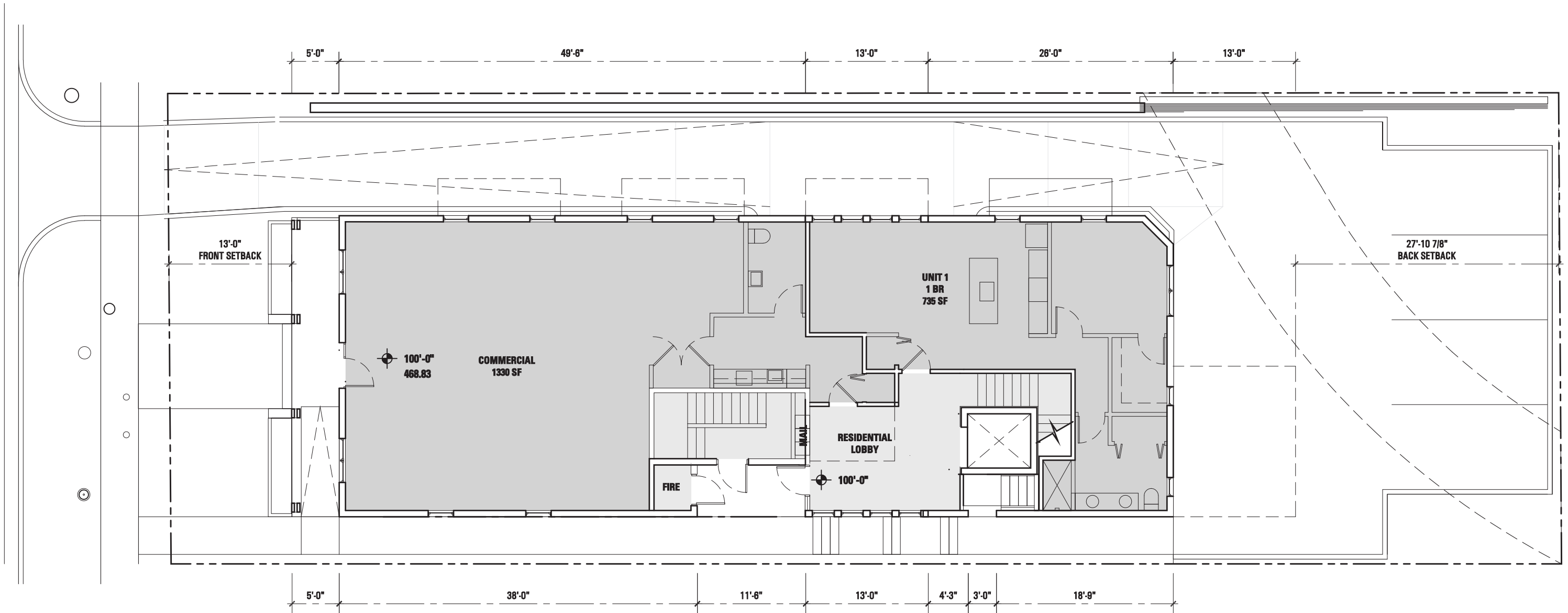
Trim 1
Cedar
SW DB 2119 - Semi-translucent Stain (Cedar)
SW 7658 Grey Clouds



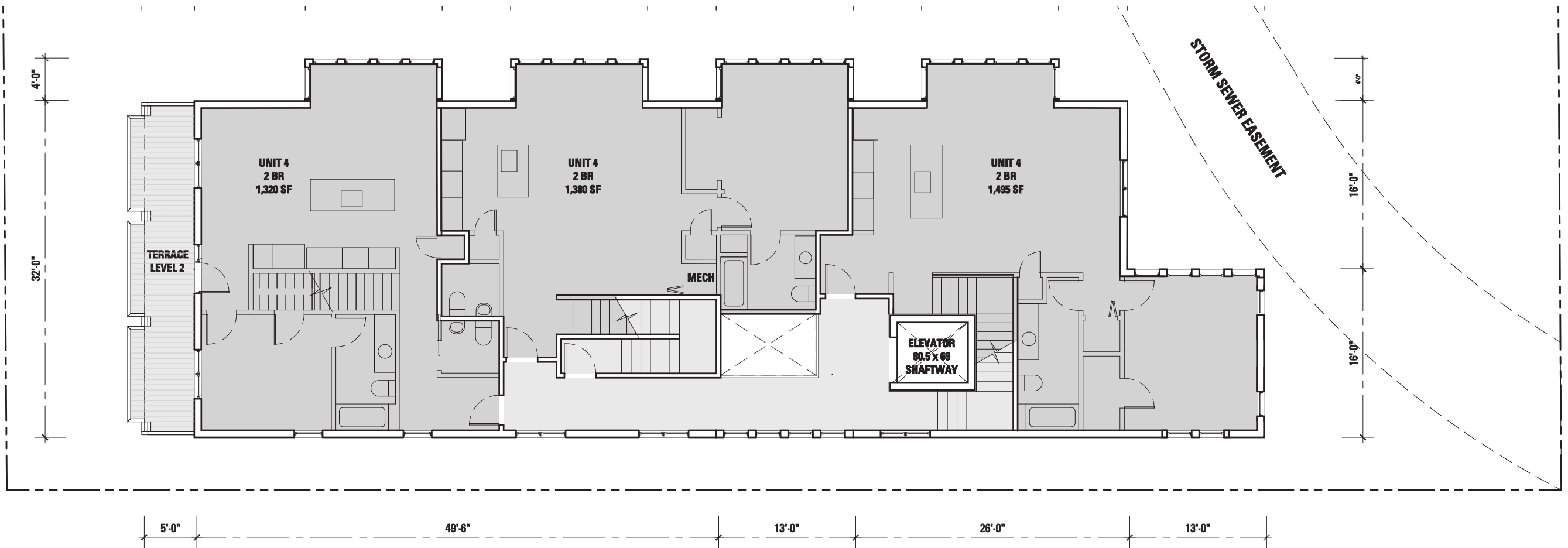
Trim 2
Paint
SW 2848 Roycroft Pewter



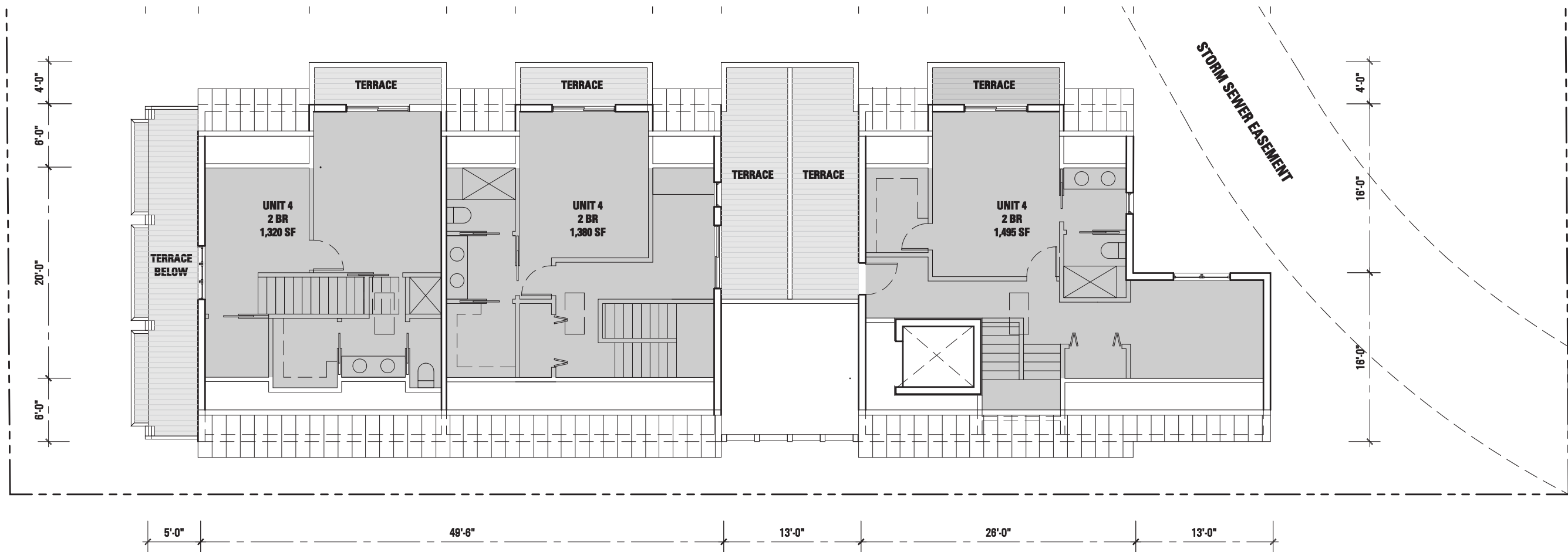
Wood Windows & Doors
Anderson 200 or 400 Series
Color Dove Grey



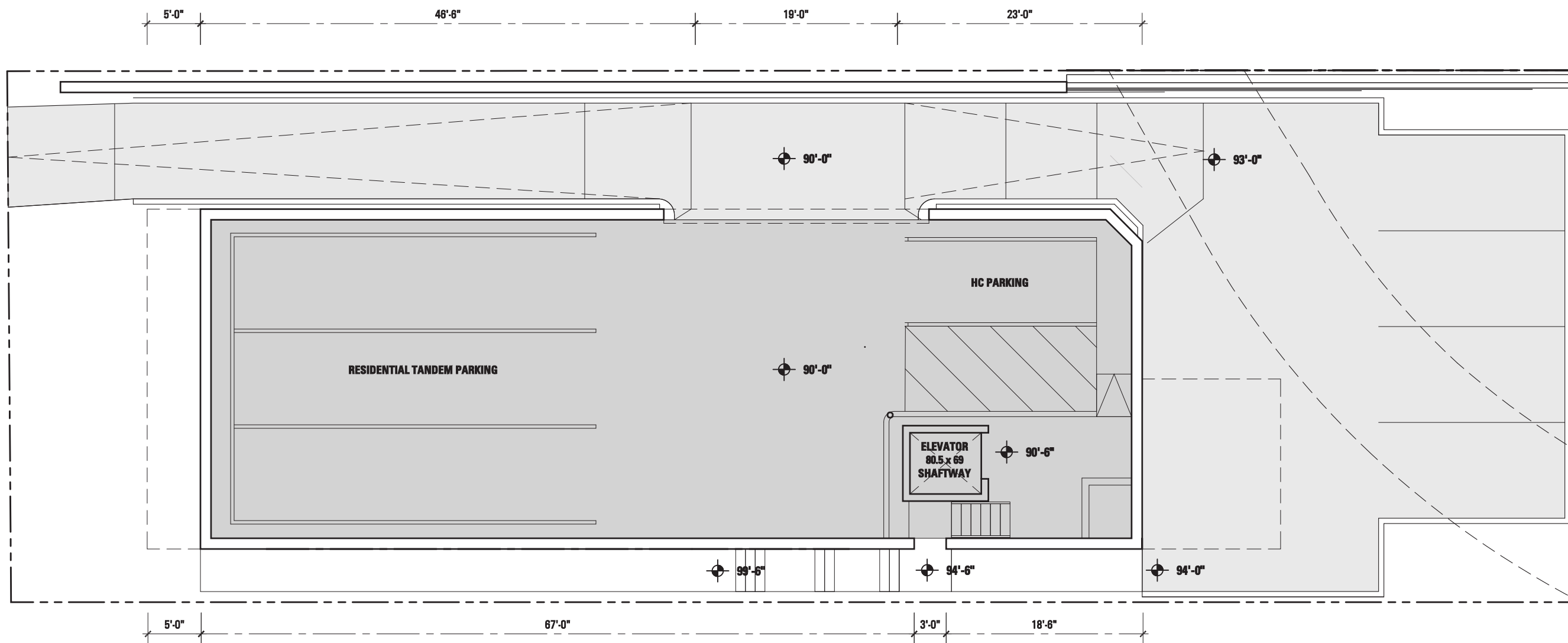
GROUND LEVEL | scale 3/32" = 1'-0"



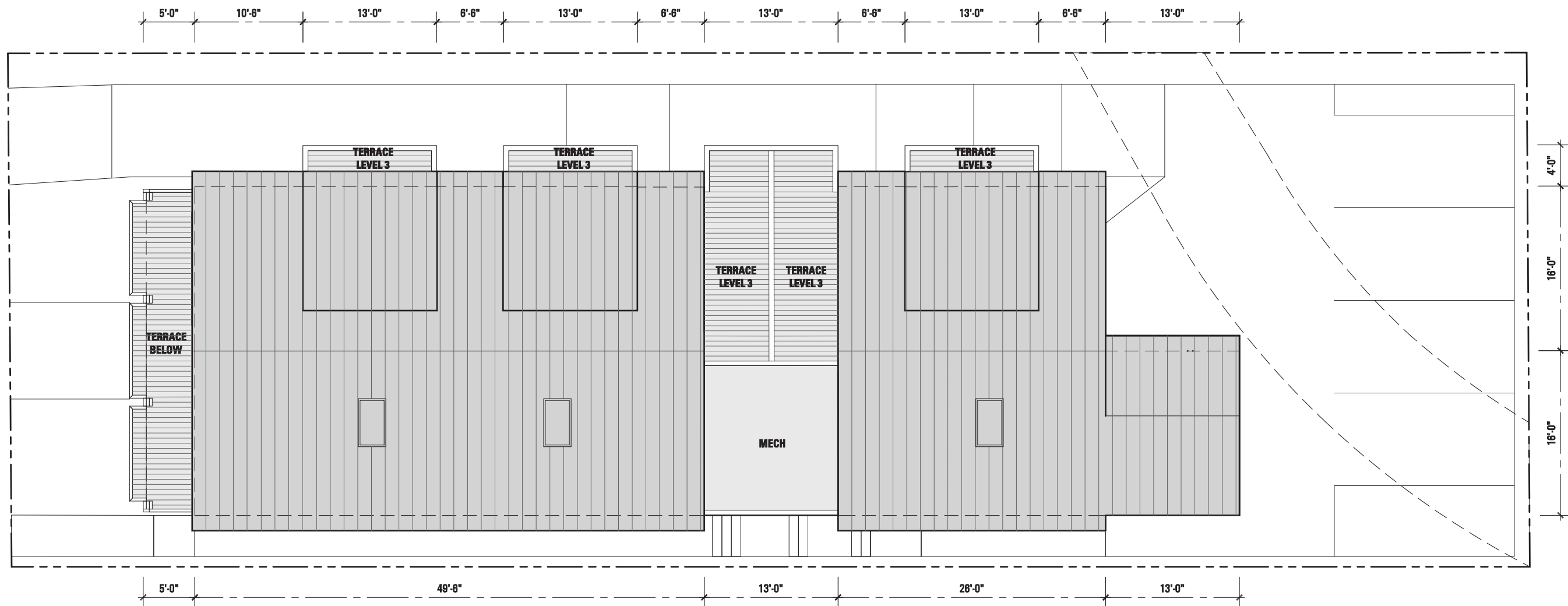
LEVEL 2 PLAN | scale 3/32" = 1'-0"



LEVEL 3 PLAN | scale 3/32" = 1'-0"



BASEMENT PLAN | scale 3/32" = 1'-0"



ROOF PLAN | scale 3/32" = 1'-0"

PREVIOUSLY-REVIEWED DRAWINGS

**COURTESY REVIEW
NOVEMBER 2025**



PREVIOUSLY REVIEWED PLANS

NOVEMBER 2025

2626 THOMAS AVE

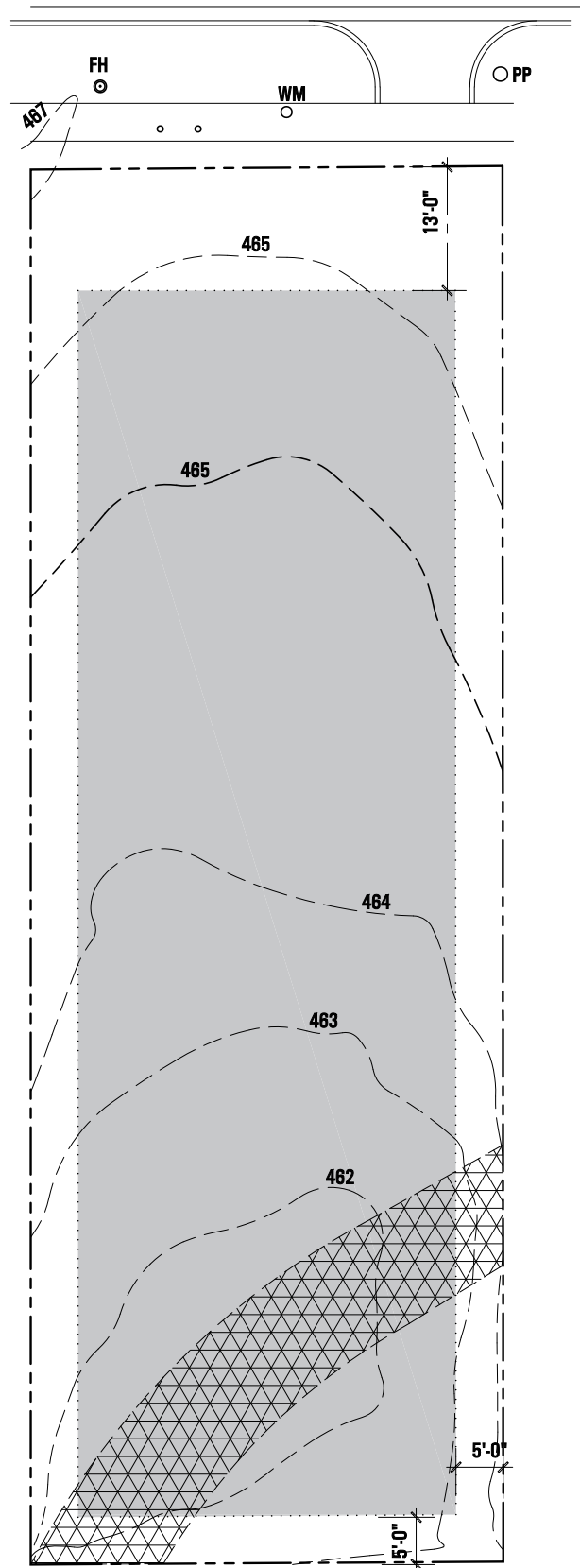
Landmark Courtesy Review

10.02.2025



OGLESBY GREENE ARCHITECTURE

THOMAS AVENUE



	Allowed	Proposed
FAR	1 : 1.25	1 : 1.06
Lot Coverage	60%	47%

PREVIOUSLY REVIEWED PLANS

NOVEMBER 2025

Lot area = 7366 sf
Allowable coverage - 60% = 4,420 sf
Buildable area (less setbacks & easement) = 4,190 sf

Zoning Analysis

PD 225 State-Thomas Special Purpose District – Original Ordinance March 1986

FAR– 1.25 : 1 for Core District (7530 lot area x 1.25 = **9,412 sf allowable floor area**)

Dwelling Units (Core District)

- 6 units per lot for residential only development (3 per level)
- 4 units per lot for “commercial” or mixed-use development (2 per level)

Lot Coverage (Core District)

- 60% if residential use included
- 50% without residential use

Height (Core District)

- 36 ft for main building
- 14 ft for accessory buildings
- 2.5 stories max – half story is a level above the roof eave

Setbacks (Core District) – All buildings and structures

- Front yard
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THOMAS AVENUE

BOLL STREET

1.5 STORY
19 ft SETBACK

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11 ft SETBACK

1 STORY
0.5 ft SETBACK

PREVIOUSLY REVIEWED PLANS

NOVEMBER 2025

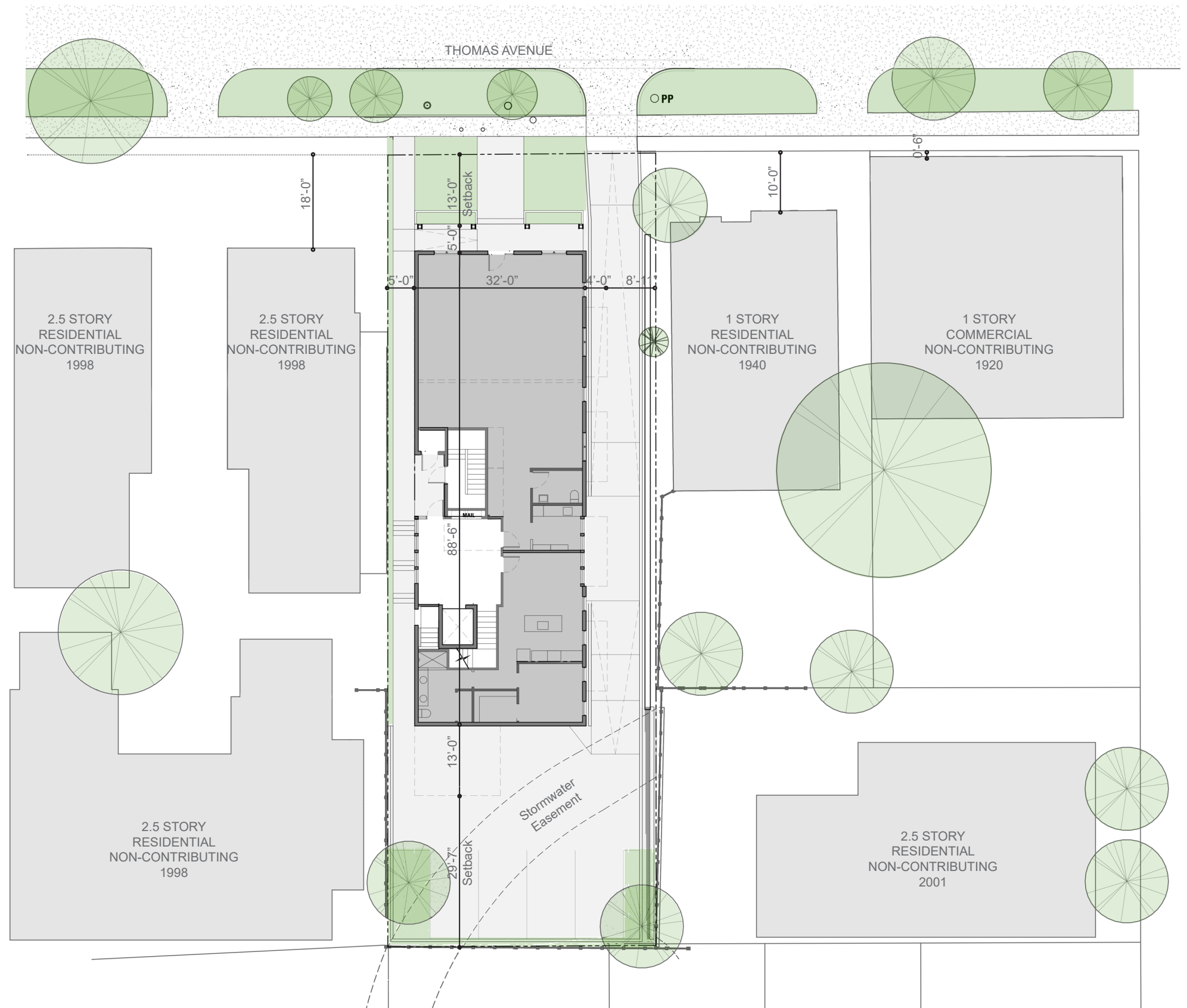
BLOCK MASSING AND SETBACKS



PREVIOUSLY REVIEWED PLANS

NOVEMBER 2025

BLOCK FACE ROOF HEIGHTS - 34 ft average



PREVIOUSLY REVIEWED PLANS

NOVEMBER 2025

Site Plan | scale 3/64" = 1'-0"



PREVIOUSLY REVIEWED PLANS

NOVEMBER 2025

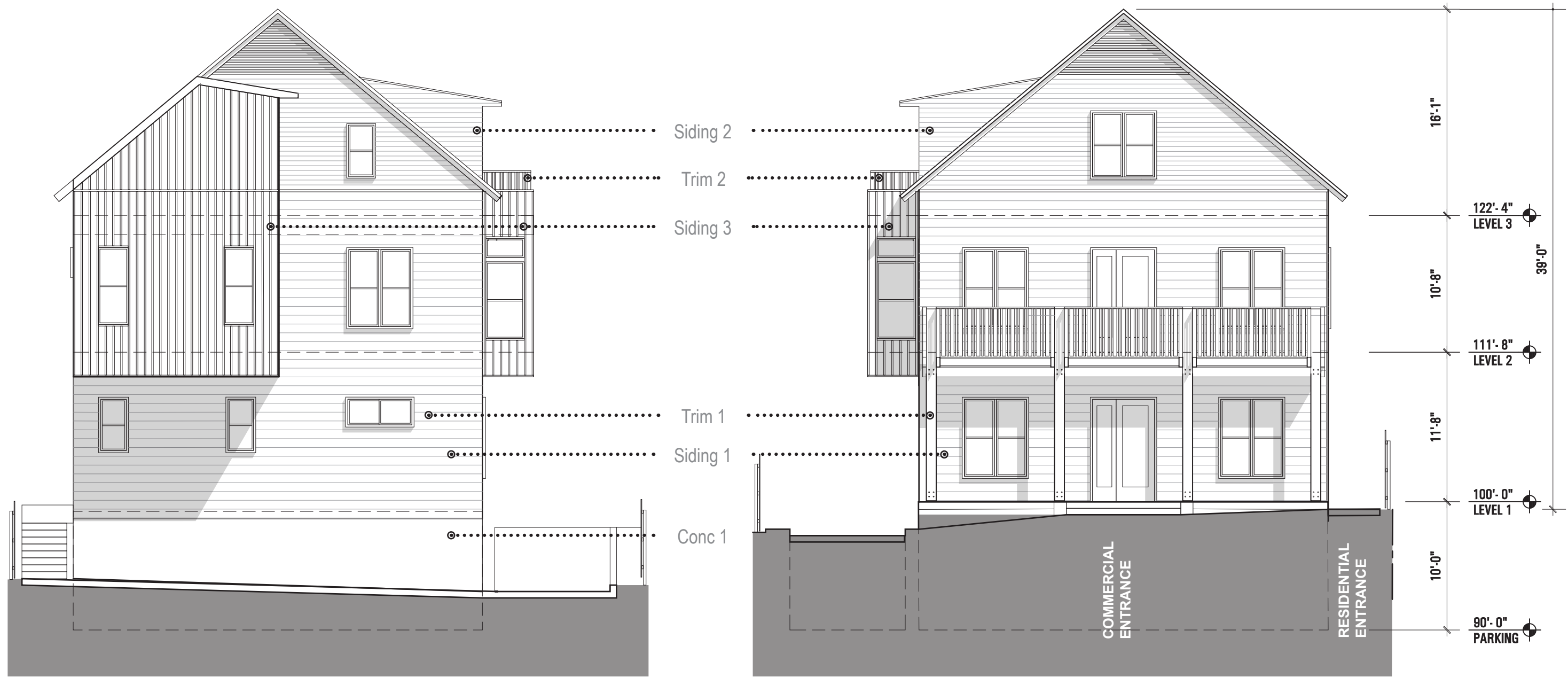
Context Elevation | NTS



PREVIOUSLY REVIEWED PLANS

NOVEMBER 2025

EAST ELEVATION | scale 3/32" = 1'-0"



PREVIOUSLY REVIEWED PLANS

NOVEMBER 2025

NORTH/SOUTH ELEVATIONS | scale 3/32" = 1'-0"



PREVIOUSLY REVIEWED PLANS

NOVEMBER 2025

WEST ELEVATION | scale 3/32" = 1'-0"



Porch Precedent
2205 Routh St



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PREVIOUSLY REVIEWED PLANS

NOVEMBER 2025



PREVIOUSLY REVIEWED PLANS
 NOVEMBER 2025

FRONT ELEVATION MATERIALS



Siding 1
Horizontal nickel gap (flat)
Acre by Modern Mill - 8.25 in wide
Paint color: Roycroft Pewter - SW 2848



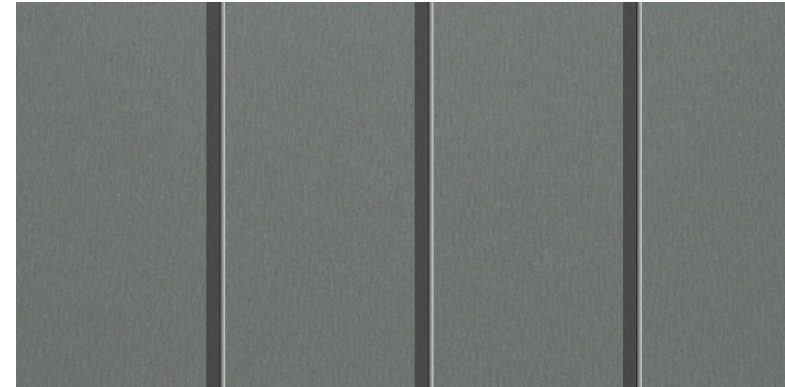
Siding 2
Horizontal nickel gap (flat)
Acre by Modern Mill - 4.5 in wide
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Siding 3
Board and Batten - Flat panel w// vertical trim
Hardie Panel - Smooth
Paint color: Roycroft Pewter - SW 2848



Concrete 1
Horizontal board formed



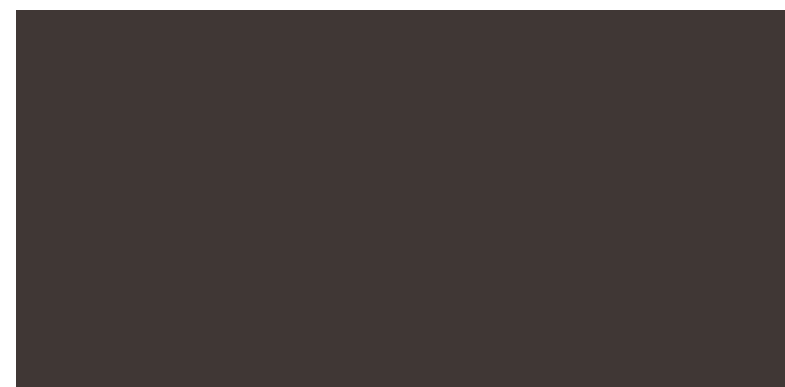
Roof 1
Standing Seam
Western States Metal - 16 in
Color: Matte Zinc Metallic



Trim 1
Cedar
SW 3511 Cedar Bark (semi-transparent)



Trim 2
Paint
SW 2848 Roycroft Pewter

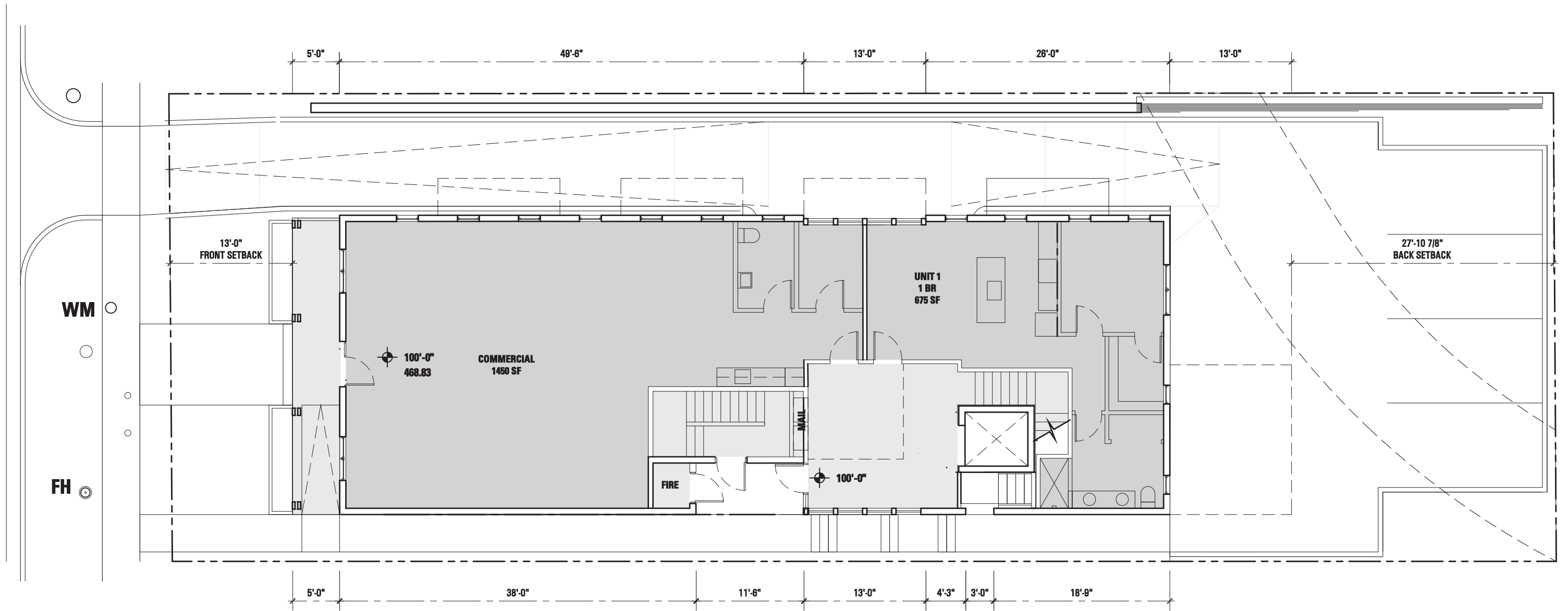


Wood Windows
Anderson 200 or 400 Series
Color TBD

PREVIOUSLY REVIEWED PLANS

NOVEMBER 2025

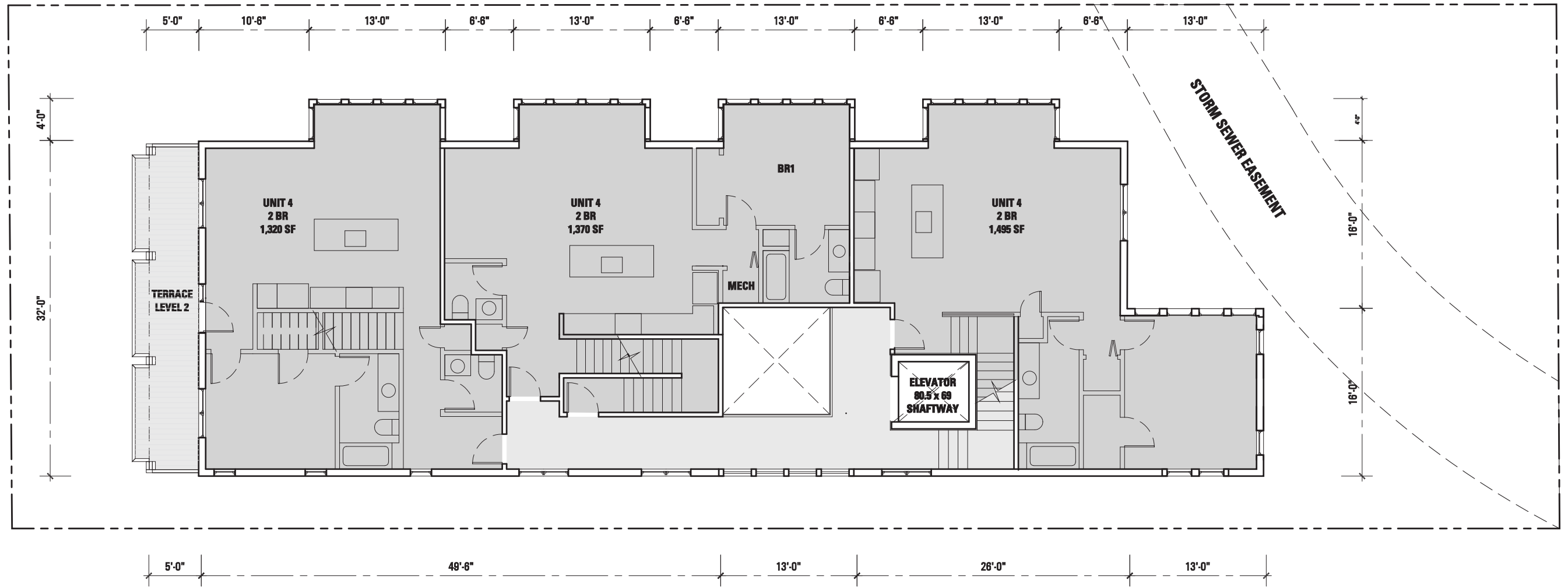
THOMAS AVENUE



PREVIOUSLY REVIEWED PLANS

NOVEMBER 2025

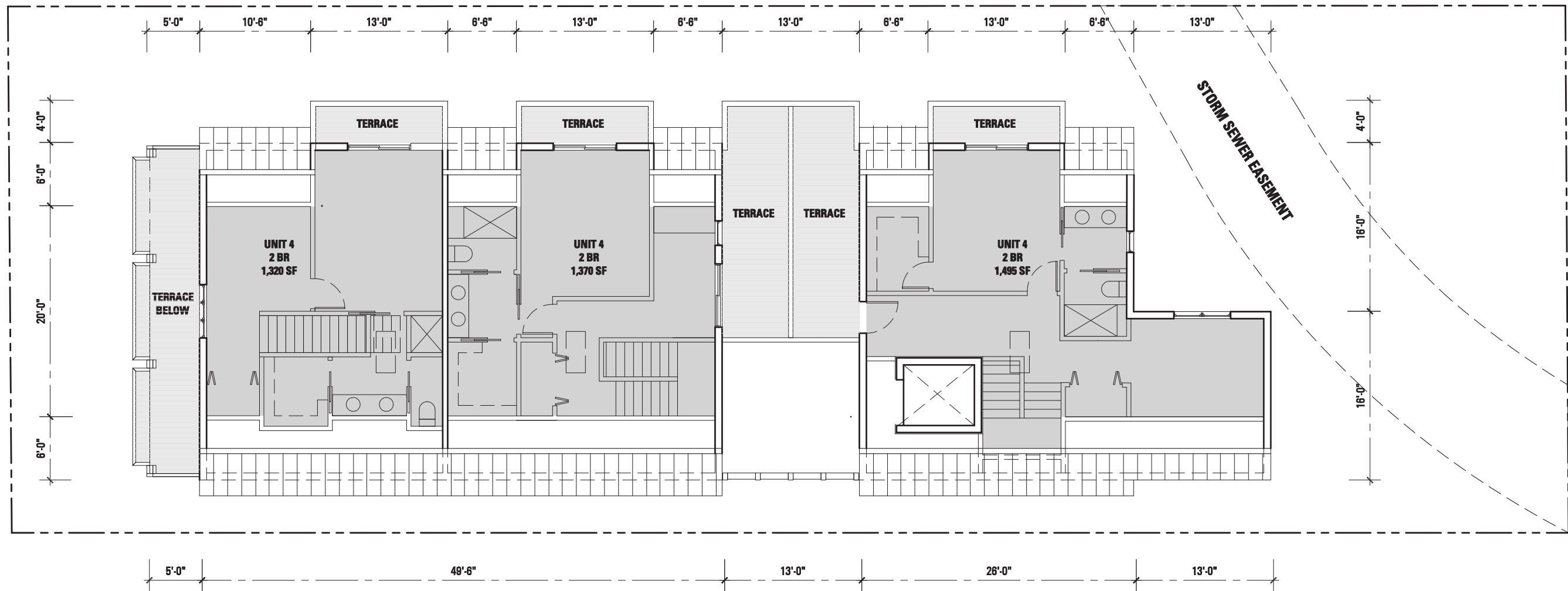
GROUND LEVEL | scale 3/32" = 1'-0"



PREVIOUSLY REVIEWED PLANS

NOVEMBER 2025

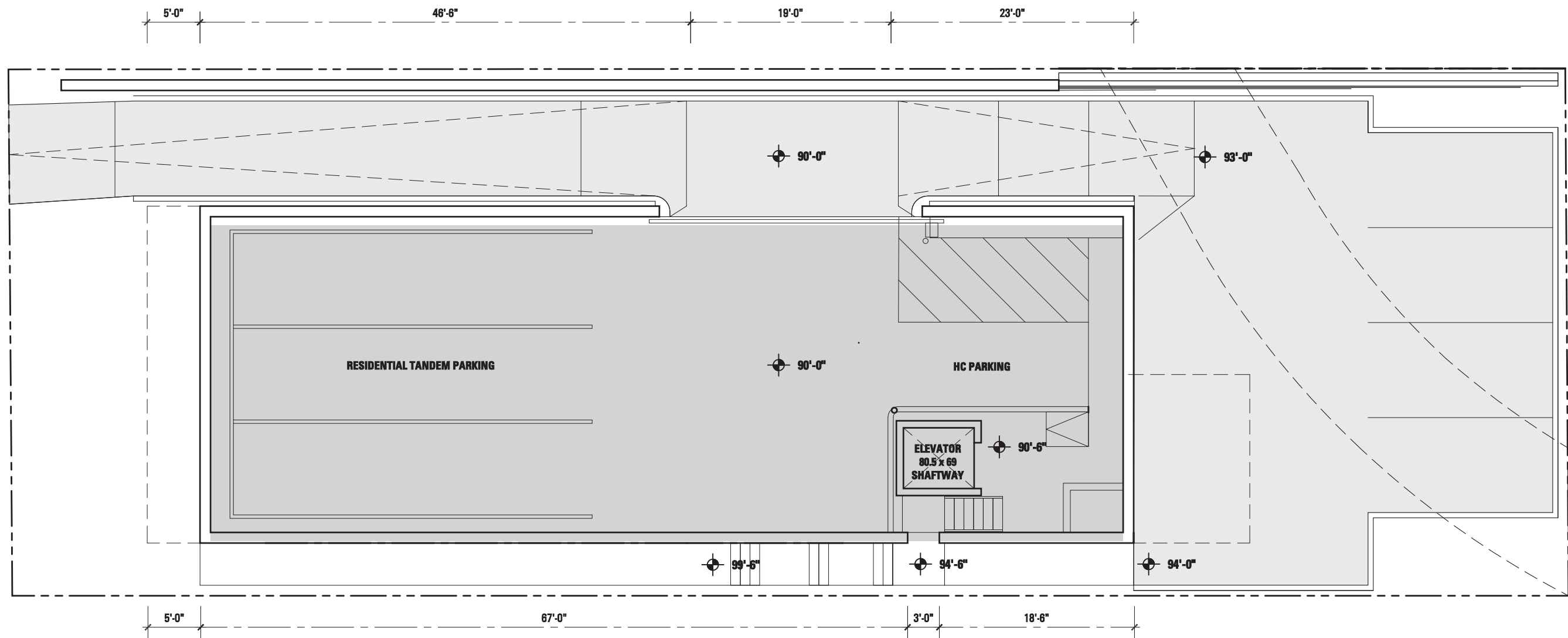
LEVEL 2 PLAN | scale 3/32" = 1'-0"



PREVIOUSLY REVIEWED PLANS

NOVEMBER 2025

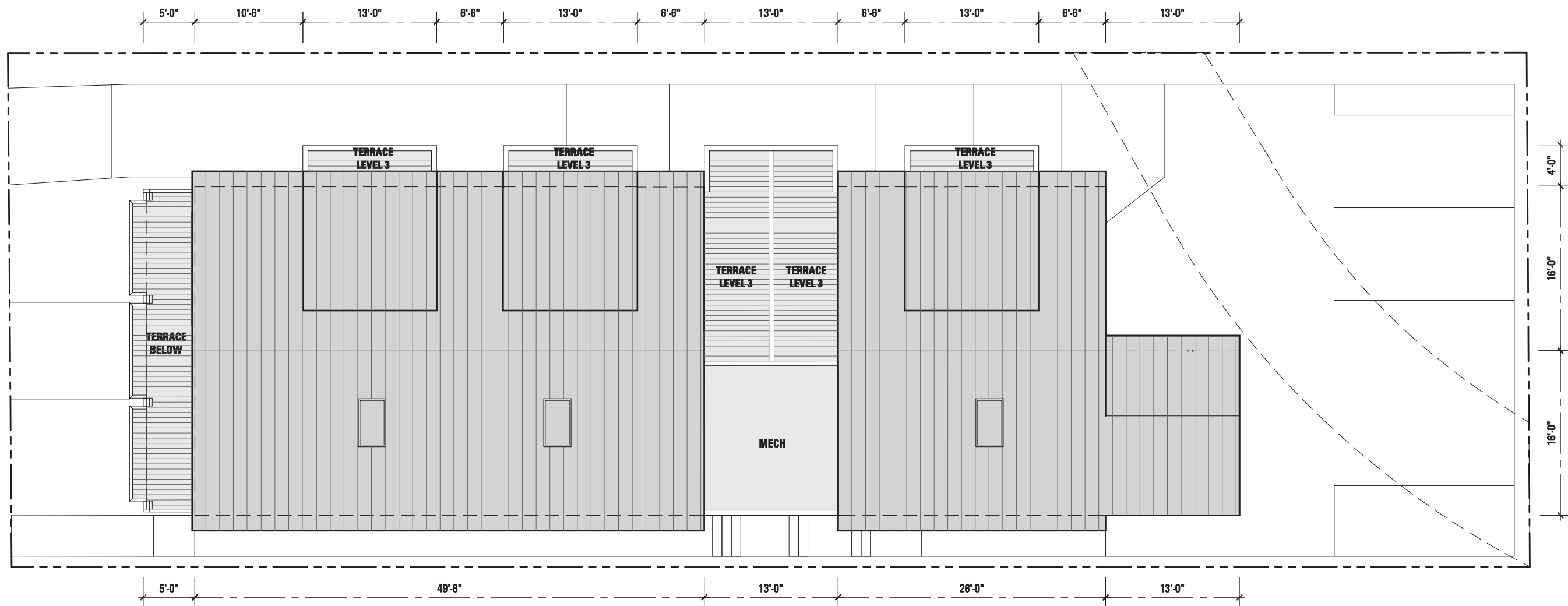
LEVEL 3 PLAN | scale 3/32" = 1'-0"



PREVIOUSLY REVIEWED PLANS

NOVEMBER 2025

BASEMENT PLAN | scale 3/32" = 1'-0"



PREVIOUSLY REVIEWED PLANS

NOVEMBER 2025

ROOF PLAN | scale 3/32" = 1'-0"

PREVIOUSLY-REVIEWED DRAWINGS

**COURTESY REVIEW
SEPTEMBER 2025**



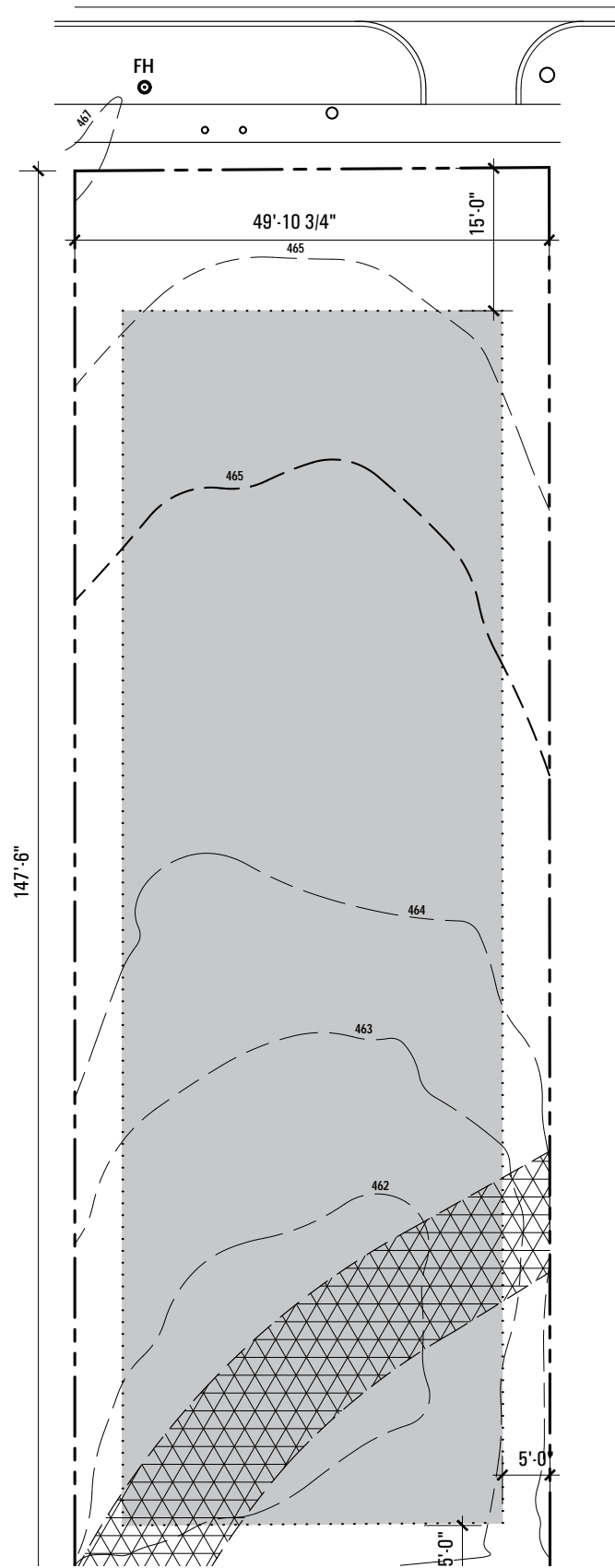
**PREVIOUS
DRAWINGS
SEPTEMBER 2025**

2626 THOMAS
Landmark Courtesy Review
08.20.2025



OGLESBY GREENE ARCHITECTURE

THOMAS AVENUE



	Allowed	Proposed
FAR	1 : 1.25	1 : 1
Lot Coverage	60%	49%

**PREVIOUS
DRAWINGS
SEPTEMBER 2025**

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PREVIOUS

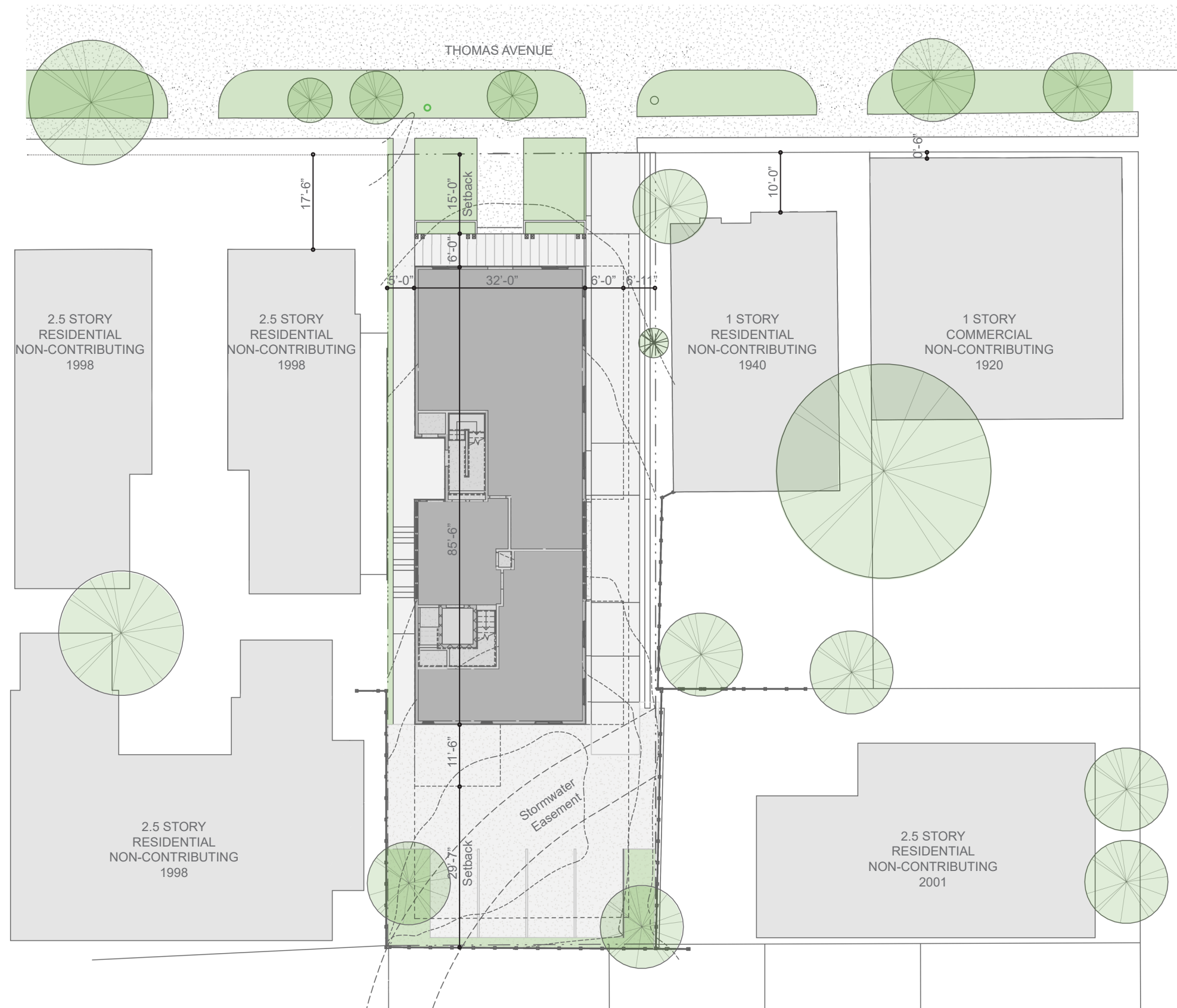
BLOCK MASSING AND SETBACKS



**PREVIOUS
DRAWINGS
SEPTEMBER 2025**

BLOCK FACE ROOF HEIGHTS - 34 ft average

**PREVIOUS
DRAWINGS
SEPTEMBER 2025**



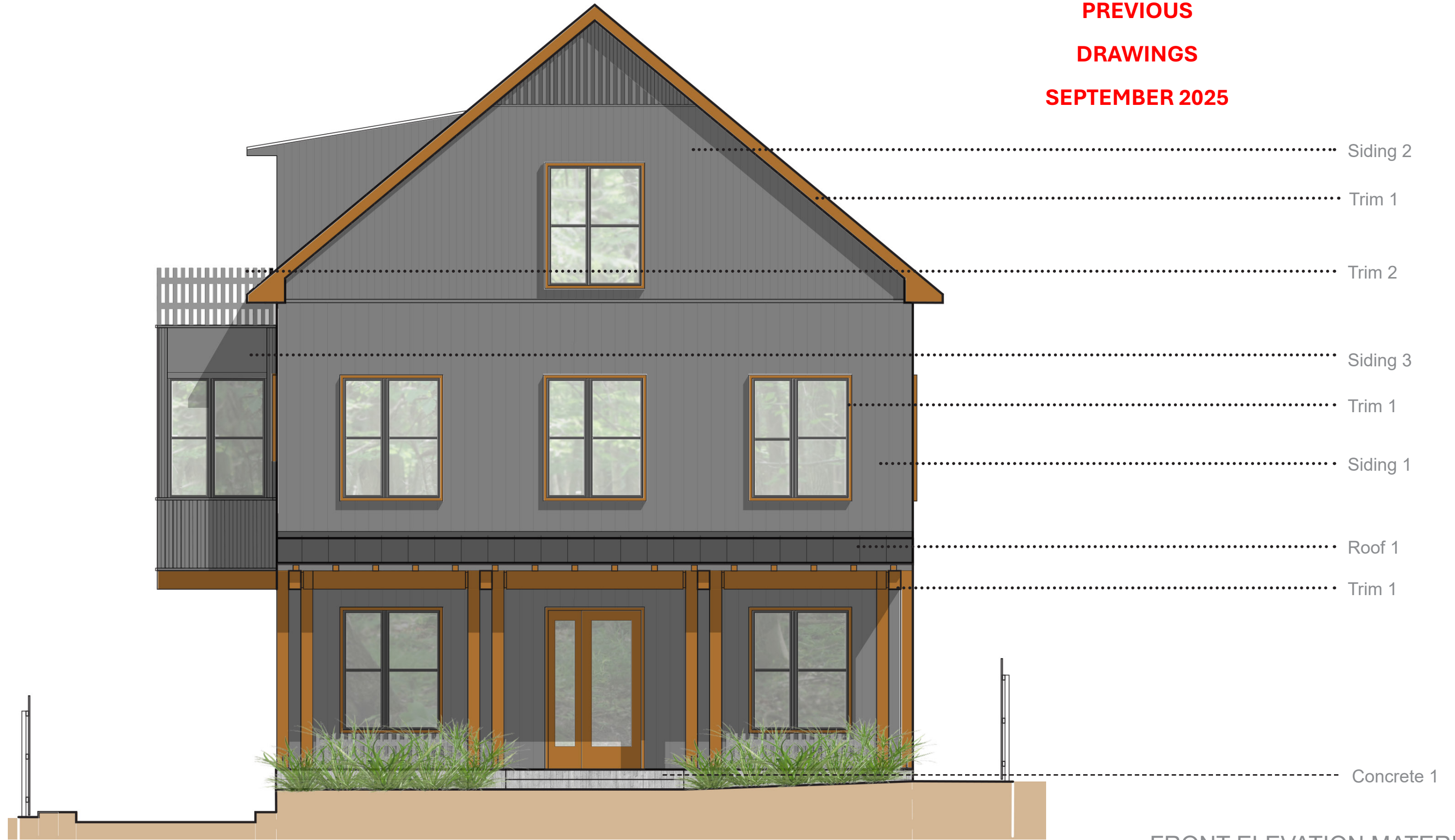
Site Plan | scale 3/64" = 1'-0"

**PREVIOUS
DRAWINGS
SEPTEMBER 2025**



Context Elevation | NTS

**PREVIOUS
DRAWINGS
SEPTEMBER 2025**



FRONT ELEVATION MATERIALS

**PREVIOUS
DRAWINGS
SEPTEMBER 2025**



Siding 1
Vertical nickel gap
Acre by Modern Mill - 8.25 in wide
Paint color: Roycroft Pewter - SW 2848



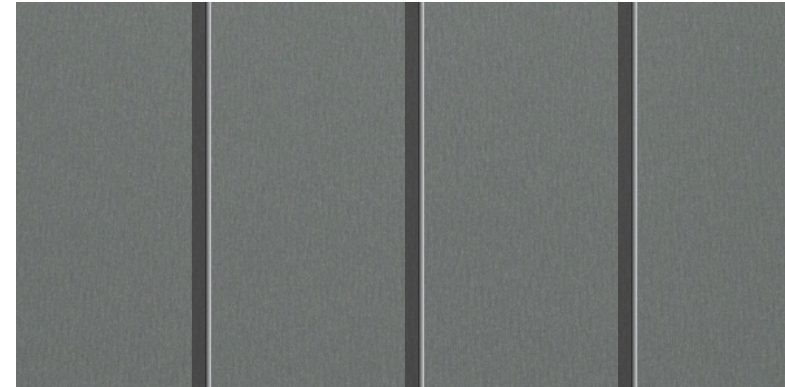
Siding 2
Vertical nickel gap
Acre by Modern Mill - 4.5 in wide
Paint color: Roycroft Pewter - SW 2848



Siding 3
Flat panel w// vertical trim
Hardie Panel - Smooth
Paint color: Roycroft Pewter - SW 2848



Concrete 1
Vertical board formed



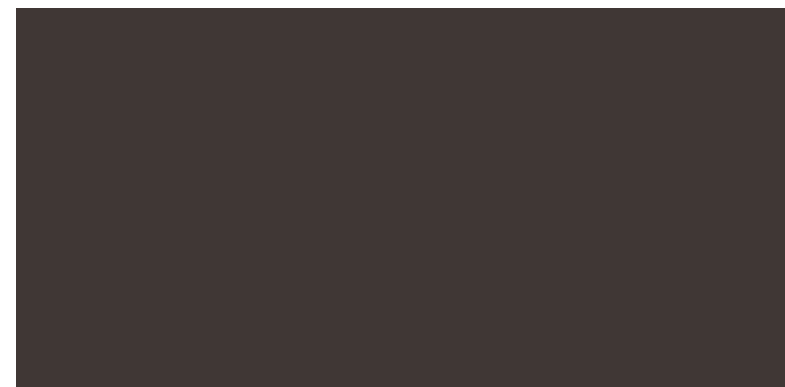
Roof 1
Standing Seam
Western States Metal - 16 in
Color: Matte Zinc Metallic



Trim 1
Cedar
SW 3511 Cedar Bark (semi-transparent)



Trim 2
Paint
SW 2848 Roycroft Pewter



Wood Windows
Anderson 200 or 400 Series
Color TBD

**PREVIOUS
DRAWINGS
SEPTEMBER 2025**



NORTH/SOUTH ELEVATIONS | scale 3/32" = 1'-0"



**PREVIOUS
DRAWINGS
SEPTEMBER 2025**

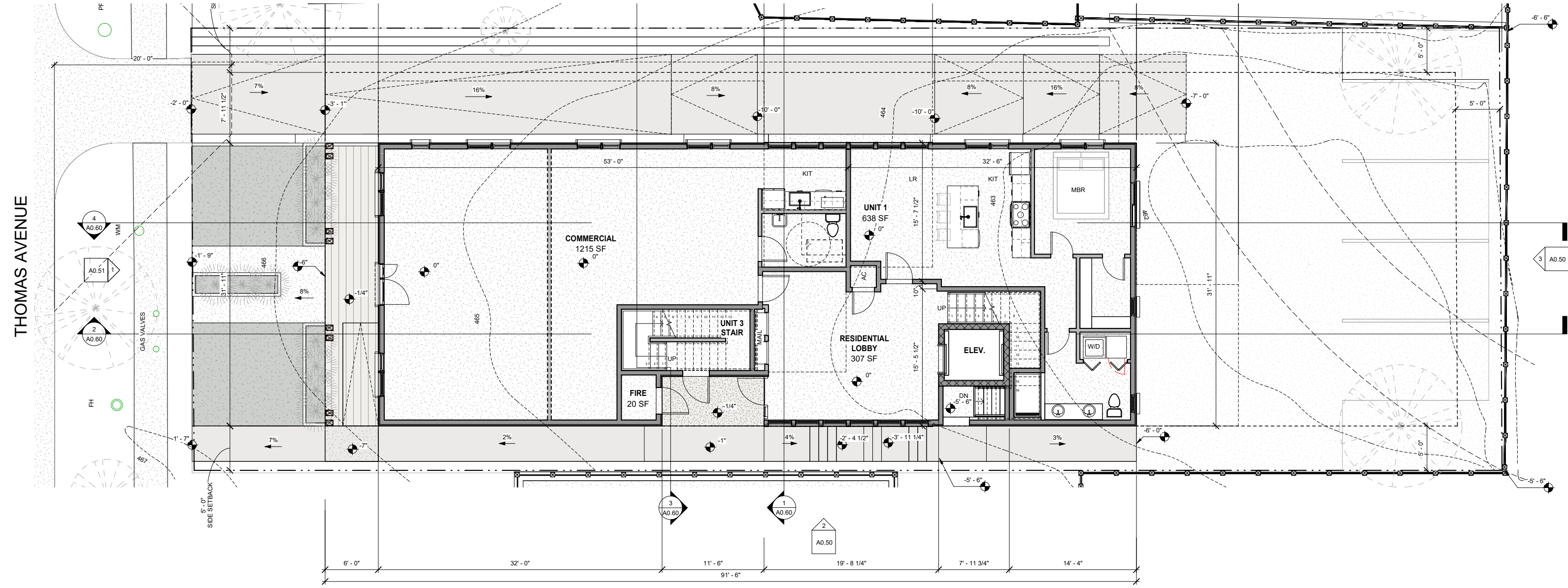
WEST ELEVATION | scale 3/32" = 1'-0"



**PREVIOUS
DRAWINGS
SEPTEMBER 2025**

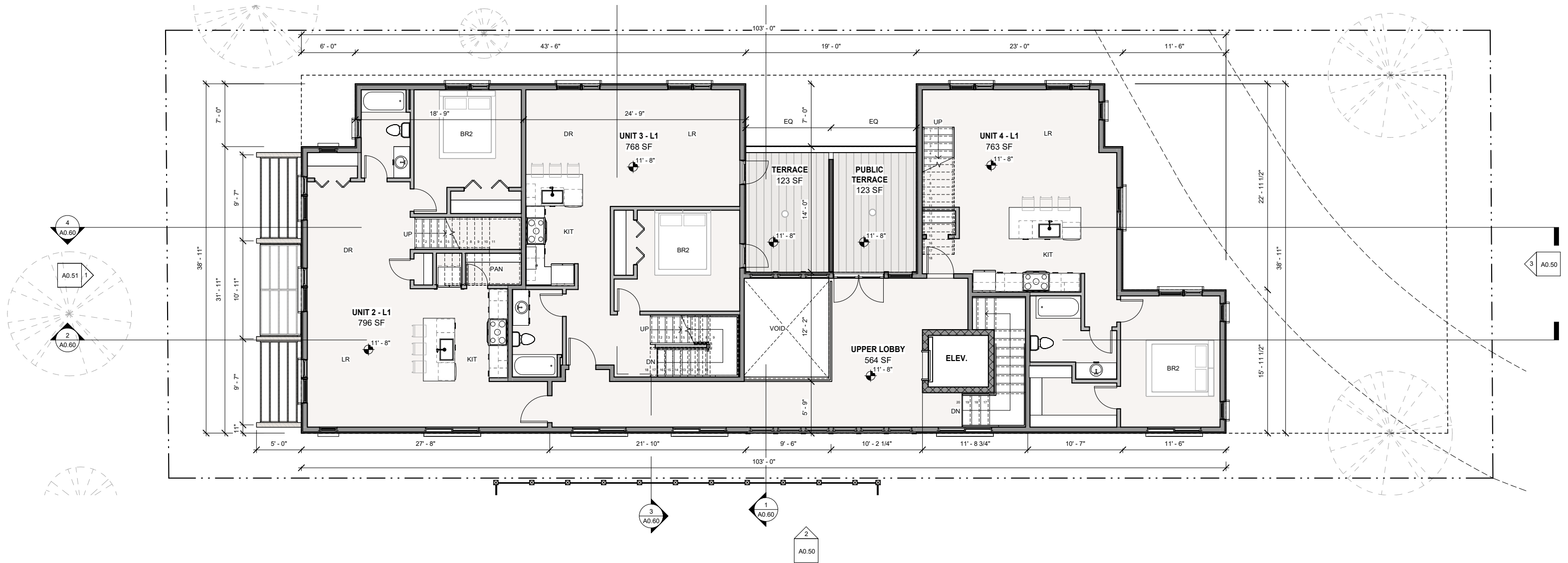
EAST ELEVATION | scale 3/32" = 1'-0"

PREVIOUS
DRAWINGS
SEPTEMBER 2025



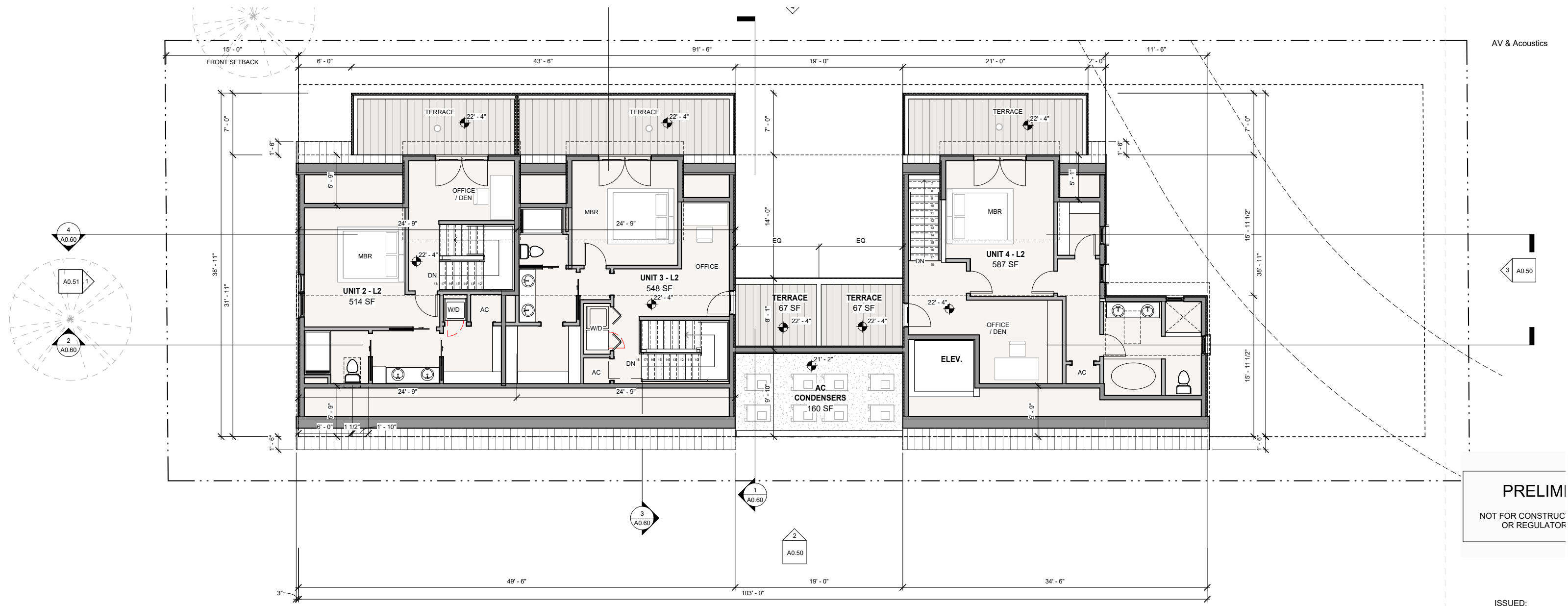
GROUND LEVEL | scale 3/32" = 1'-0"

**PREVIOUS
DRAWINGS
SEPTEMBER 2025**



LEVEL 2 PLAN | scale 3/32" = 1'-0"

**PREVIOUS
DRAWINGS
SEPTEMBER 2025**



AV & Acoustics

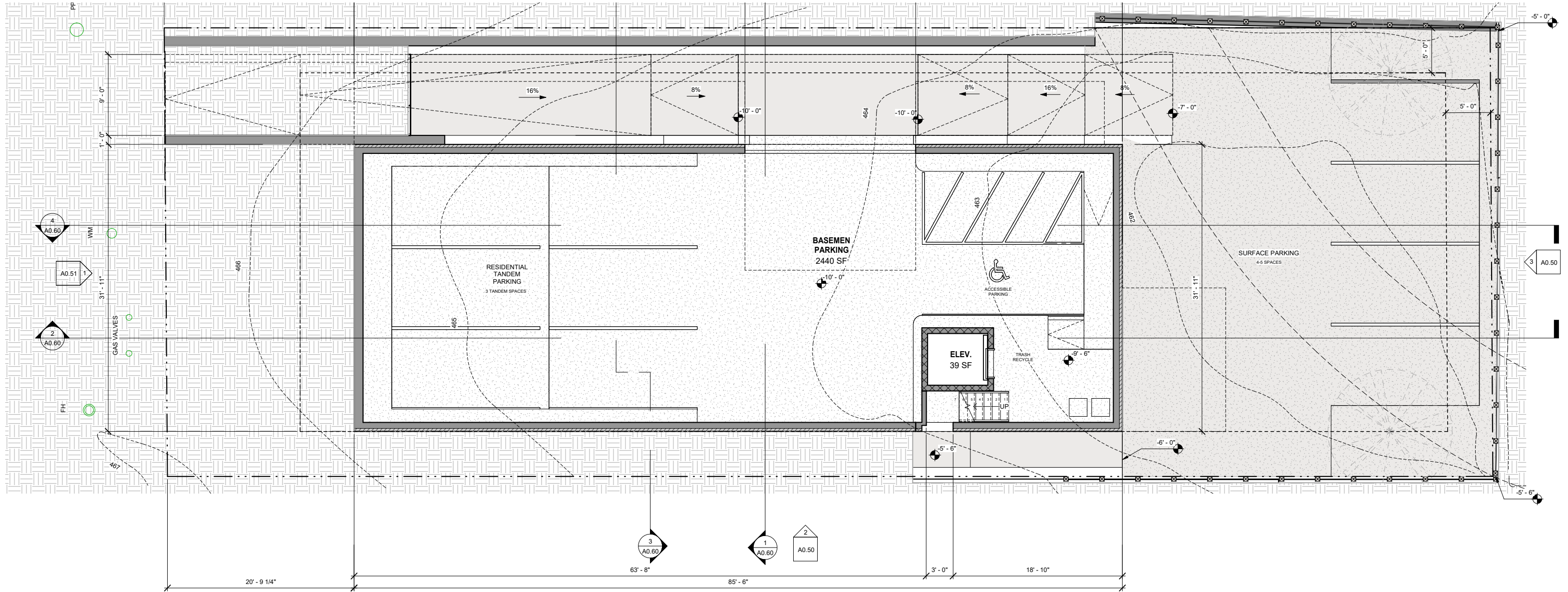
PRELIM
NOT FOR CONSTRUCTION
OR REGULATORY APPROVAL

ISSUED:
SD

① LEVEL 3 - 3/16"
3/16" = 1'-0"

LEVEL 3 PLAN | scale 3/32" = 1'-0"

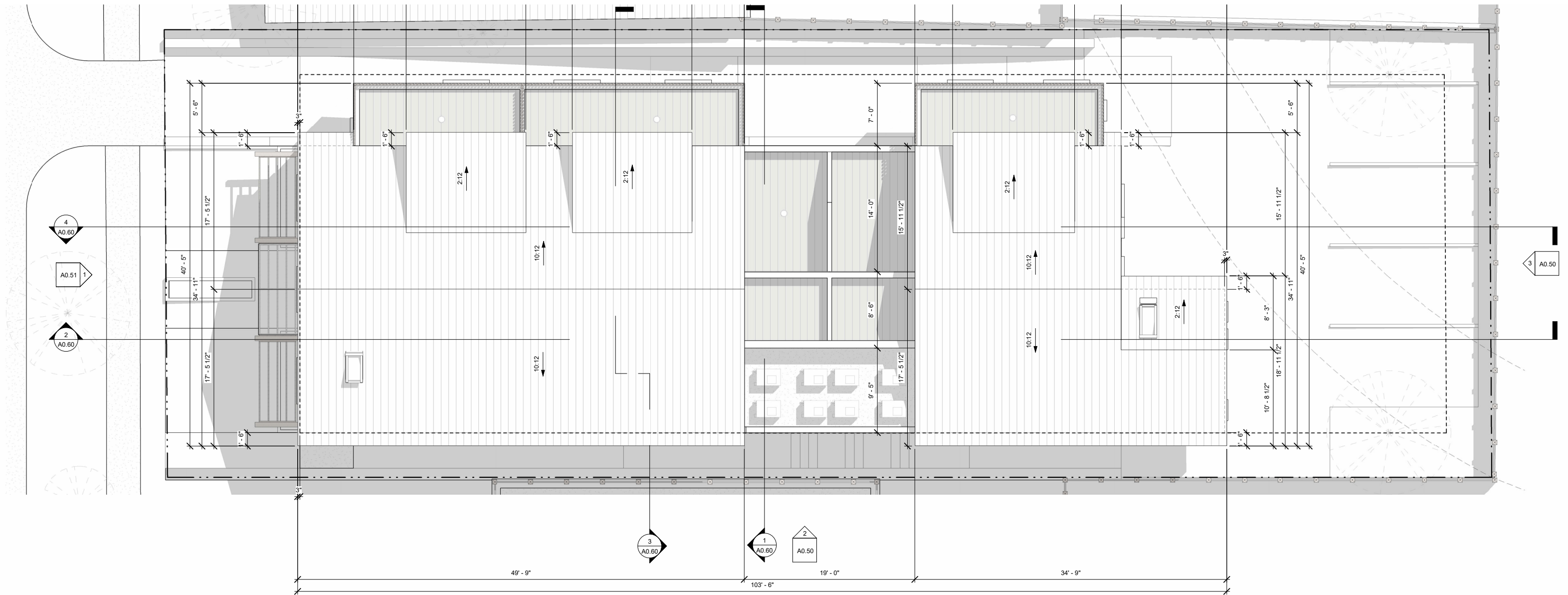
**PREVIOUS
DRAWINGS
SEPTEMBER 2025**



① BASEMENT & SURFACE PARKING LEVEL
3/16" = 1'-0"

Basement Plan

PREVIOUS
DRAWINGS
SEPTEMBER 2025



ROOF PLAN | scale 3/32" = 1'-0"