



LANDMARK COMMISSION

APRIL 6, 2026

FILE NUMBER: COA-26-000047
LOCATION: 3604 Meadow St.
STRUCTURE: Non-Contributing
COUNCIL DISTRICT: 7
ZONING: PD-595

PLANNER: Rhonda Dunn, Ph.D.
DATE FILED: February 23, 2026
DISTRICT: Wheatley Place (H/100)
MAPSCO: 46-T
CENSUS TRACT: 0203.00

APPLICANT: Trevino, Eddie

REPRESENTATIVE: N/A

OWNER: EJ'S INVESTMENTS & DEVELOPMENT LLC

REQUEST

Courtesy Review (CR) -- Construct a new main residential building (on a vacant lot).

STAFF RECOMMENDATION:

Courtesy Review - no action required. That a request to construct a new main residential building (on a vacant lot) be conceptually approved with the understanding that the final design, as well as associated site plans, elevations, renderings, and details are to be submitted for Landmark Commission review.

TASK FORCE RECOMMENDATION:

Courtesy Review – Comments only. Non-Supportive, with the following comments:

1. Architectural style is undetectable.
2. Style of main building is NOT appropriate for the district.

BACKGROUND / HISTORY:

Presently, 3604 Meadow Street is a vacant interior lot; hence, the proposed building will be identified as non-contributing to the Wheatley Place Historic District.

There are no previous applications for Certificates of Appropriateness (or Demolition) filed for this property that are pertinent to this CR.

RELEVANT PRESERVATION CRITERIA:

Wheatley Place Historic District (H-100), Ordinance No.: 24432

SEC. 9. NEW CONSTRUCTION AND ADDITIONS

9.2 The elevation of a lot to be used for construction of a new main structure must match the elevation of other lots on the block.

9.3 Construction of new main structures must include a front porch appropriate to the neighborhood.

9.7 New construction and additions must have appropriate color, detailing, fenestration, massing, materials, roof form, shape, and solids-to-voids ratios. New construction should be of the same predominant material. Details can be of other materials, except as otherwise noted.

9.9 Aluminum siding, stucco and vinyl cladding are not permitted.

9.11 Front yard setback for construction of new main structures.

(a) A main structure on an interior lot must have a front yard setback that is within ten feet of the average front yard setback of other structures in the blockface.

RELEVANT SECRETARY OF THE INTERIOR'S STANDARDS FOR THE TREATMENT OF HISTORIC PROPERTIES:

Guidelines for Setting (District / Neighborhood)

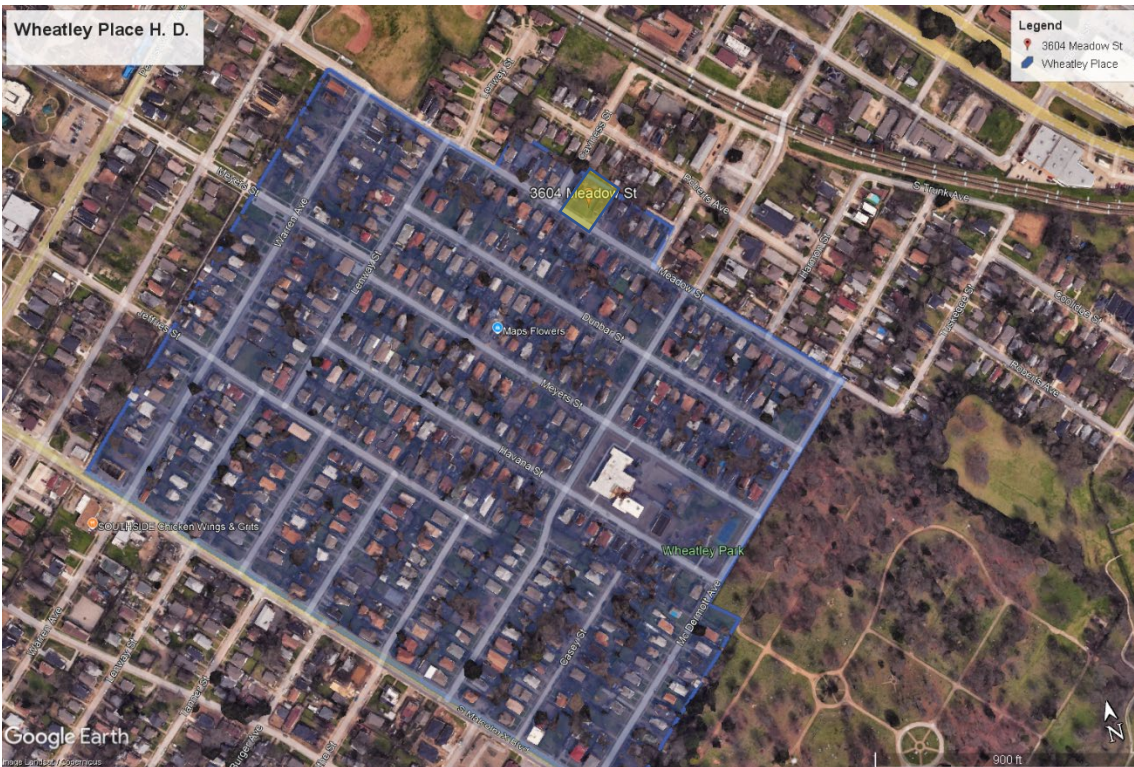
- ***Recommended:*** Identifying, retaining, and preserving building and landscape features that are important in defining the overall historic character of the setting. Such features can include circulation systems, such as roads and streets; furnishings and fixtures, such as light posts or benches; vegetation, gardens and yards; adjacent open space, such as fields, parks, commons, or woodlands; and important views or visual relationships.
- ***Not Recommended:*** Introducing a new building or landscape feature that is visually or otherwise incompatible with the setting's historic character (e.g., replacing low metal fencing with a high wood fence).

RELEVANT DALLAS CITY CODE:

Section 51A-4.501. Historic Overlay District

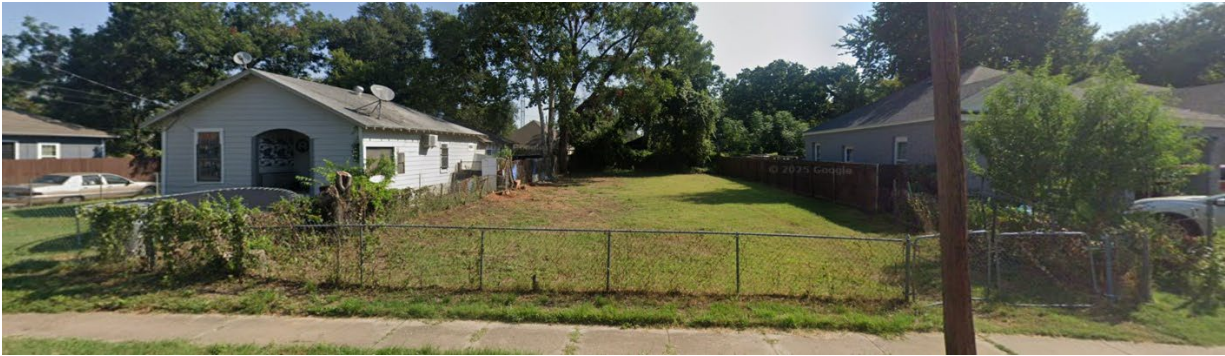
- (g) Certificate of Appropriateness.
 - (6) Standard certificate of appropriateness review procedure.
 - (C) Standard for approval. The landmark commission must grant the application if it determines that:
 - (ii) for noncontributing structures, the proposed work is compatible with the historic overlay district.

SITE MAP
3604 Meadow St.



The yellow rectangle highlights 3604 Meadow St. The blue shading indicates Wheatley Place Historic District coverage. Basemap Source: Google Earth

CURRENT & CONTEXT PHOTOS
3604 Meadow St.



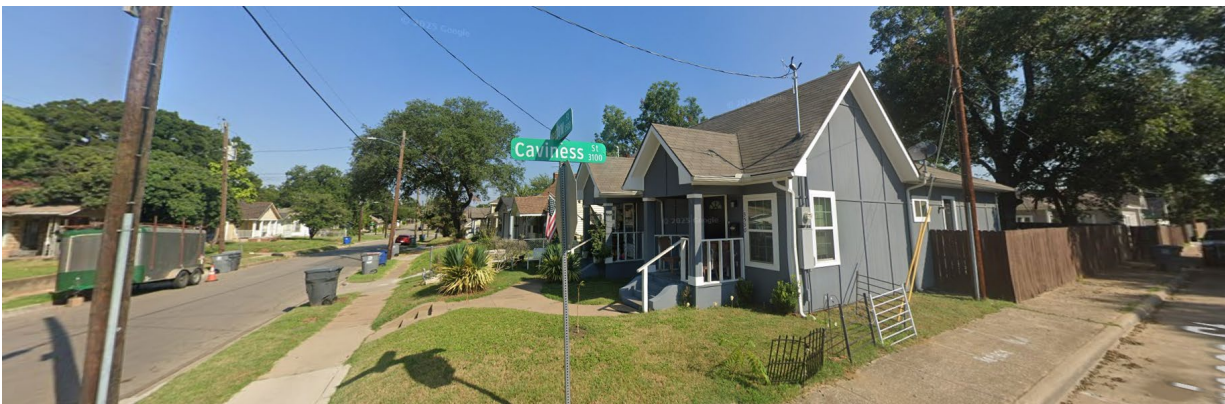
Subject property: front, southwest elevation. Source: Google Maps, Street View.



Across the street from the subject property facing southwest. Source: Google Maps, Street View.



East of subject property, same blockface. Source: Google Maps, Street View.



West of subject property. Source: Google Maps, Street View.

ATTACHMENTS:

- **Task Force Recommendation Form**
- **Courtesy Review Application**

TASK FORCE RECOMMENDATION REPORT
WHEATLEY PLACE / TENTH STREET / QUEEN CITY

DATE: 03/10/2026

TIME: **4:00 pm**

MEETING PLACE: **Preservation Dallas/Videoconference**

Applicant Name:

Address: 3604 MEADOW

(Wheatley Place/ Tenth St Neighborhood HD / Queen City)

Date of CA/CD/CR Request:

02/23/2026

RECOMMENDATION:

Approve Approve with conditions Deny Deny without prejudice

Recommendation / comments/ basis:

Not Supportive

Hardy - No, 9/1 windows, change position of windows
Wrong Column with wrap 3/6 window head height
Style ~~is~~ inappropriate for district
more details expose rafters tails more

Task force members present

<input checked="" type="checkbox"/> Barbara Wheeler (Chair)	<input type="checkbox"/> Alonzo Harris	<input checked="" type="checkbox"/> Benje Feehan
<input type="checkbox"/> Larry Johnson (Vice Chair)	<input type="checkbox"/> Shaní Dixon	<input type="checkbox"/> Jarod Fancher
<input type="checkbox"/> VACANT	<input type="checkbox"/> VACANT	

Ex Officio staff members Present: Dr. Rhonda Dunn

Simple Majority Quorum: yes no

Maker:

2nd:

Task Force members in favor:

Task Force members opposed:

Basis for opposition:

CHAIR, Task Force: Barbara Wheeler

DATE: 03/10/2026

The task force recommendation will be reviewed by the landmark commission in Briefing Room 6ES, starting with a Staff briefing. The Landmark Commission public hearing begins at 1:00 pm in Room 6ES, which allows the applicant and citizens the opportunity to provide public comment(s).

NEW CONSTRUCTION FORM – TO BE FILLED OUT BY APPLICANT

This form must be completed by the applicant and submitted with any Certificate of Appropriateness application for new construction. Incomplete applications will not be docketed for consideration by the Landmark Commission. Please refer to the preservation criteria in the historic district ordinance or contact a City Preservation Planner for further information.

Y / Will the proposed new construction require demolition of any structure(s) on the site?
If yes, you must submit a Certificate of Demolition form with your application.

Y / Have you completed a preliminary review of the drawings with Building Inspection?
NOTE: This step is required for construction of a main structure and strongly recommended for accessory structures. Preliminary review does not guarantee final approval of a permit.

Preliminary review: DATE ___/___/___ NAME OF PLANS EXAMINER: _____

LOT COVERAGE

Existing lot coverage 0 % (lot coverage includes all structures with a permanent roof, including porches and patios)

Proposed lot coverage 36.33 %

SETBACKS AND BUILDING HEIGHT

Proposed main structure (skip if no new main structure is proposed):

Front yard setback 25 ft

Average front yard setback on blockface 25 ft

Side yard setbacks LEFT SIDE 5 ft RIGHT SIDE 5 ft

Rear yard setback 36 ft OR distance to accessory structure _____ ft

Roof height 18.6ft Average roof height on blockface _____ ft

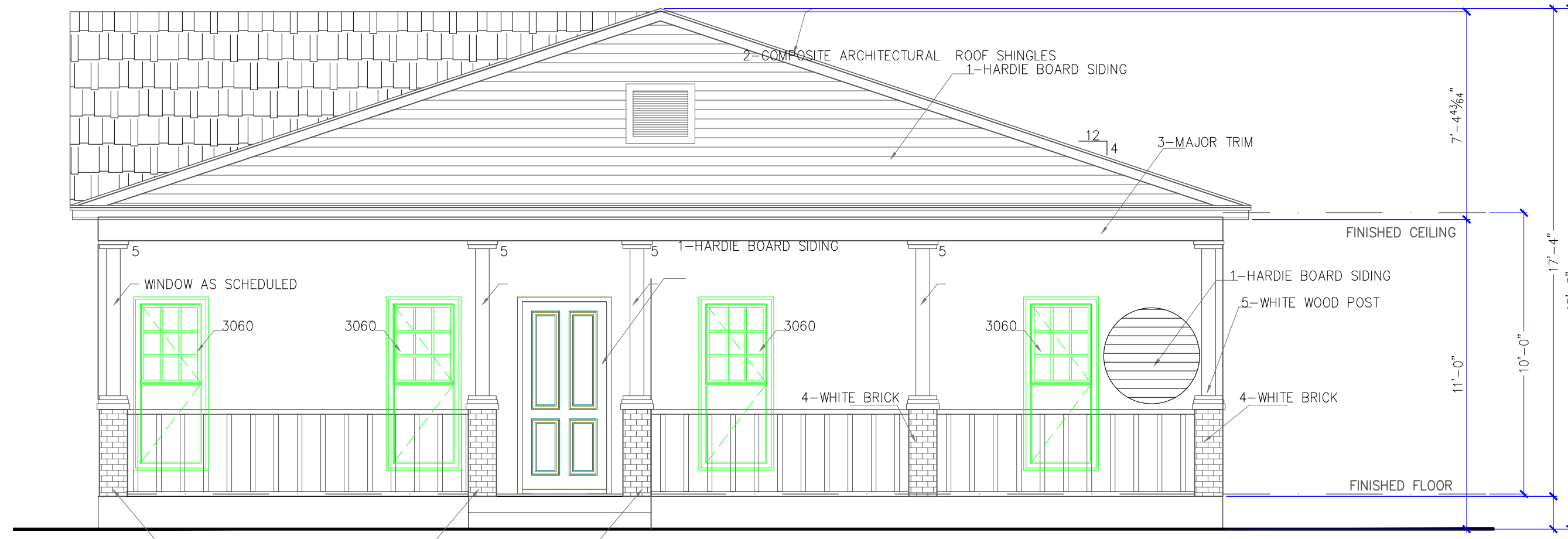
Proposed accessory structure (skip if no new accessory structure is proposed):

Distance from main structure _____ ft

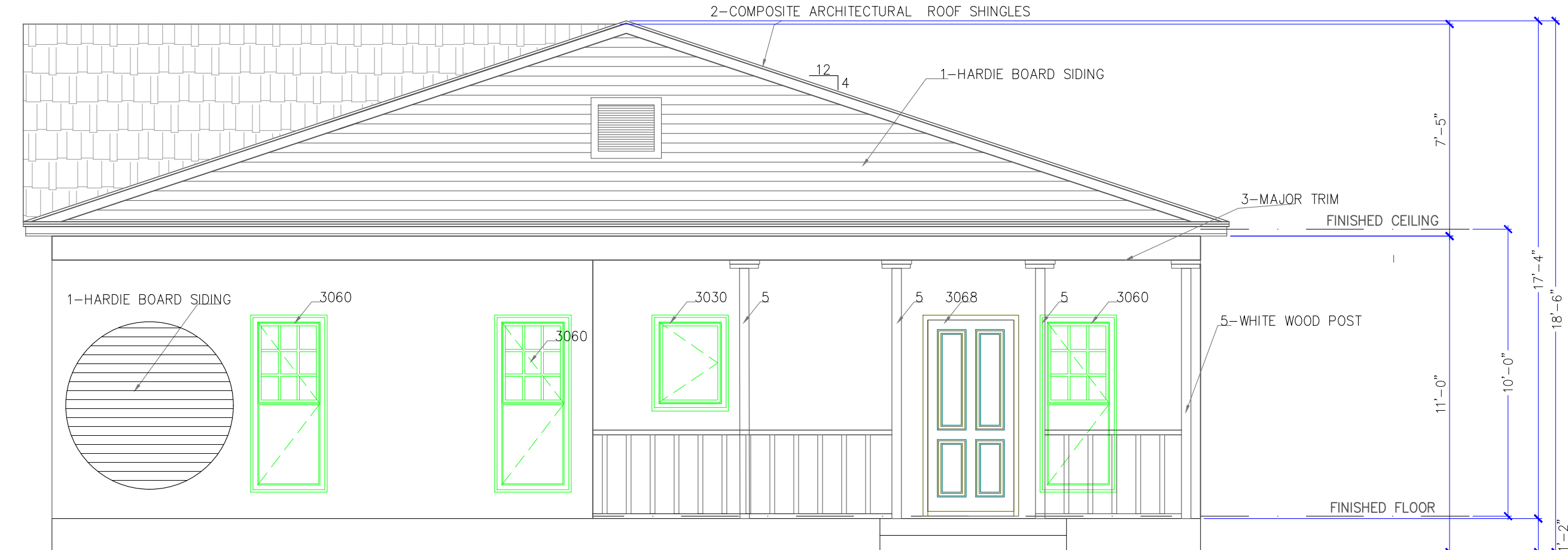
Side yard setbacks LEFT SIDE _____ ft RIGHT SIDE _____ ft

Rear yard setback _____ ft

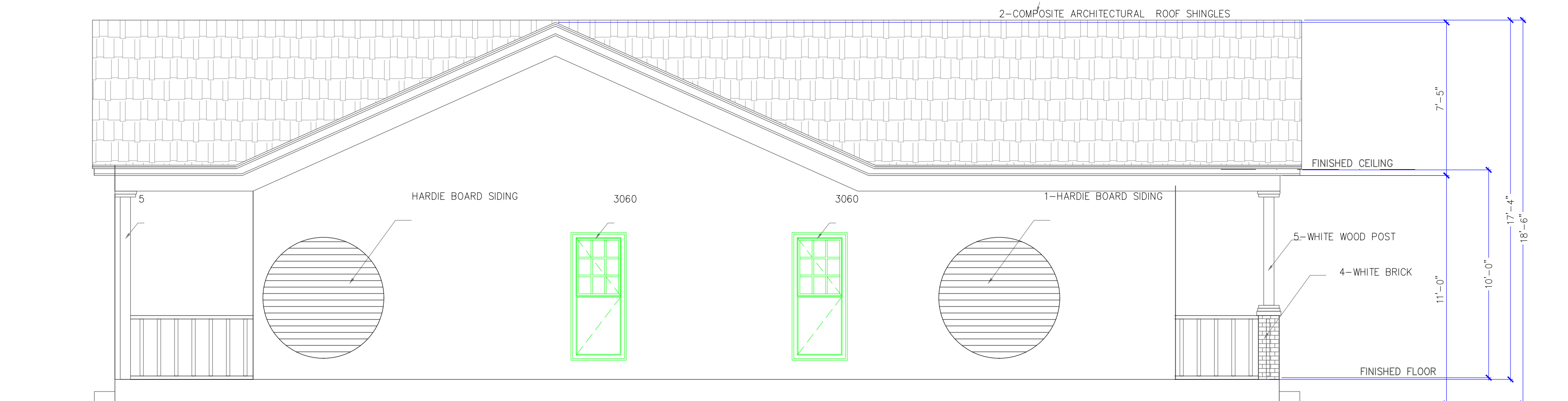
Roof height of proposed accessory _____ ft Main structure roof height _____ ft



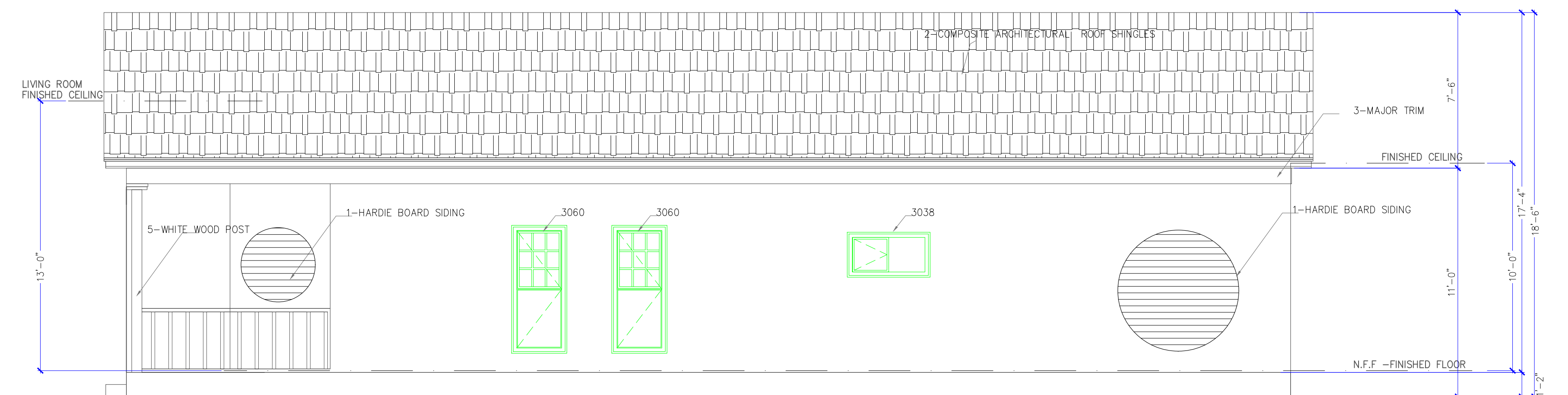
FRONT ELEVATION
SCALE: 1/4"=1'-0"



REAR ELEVATION
SCALE: 1/4"=1'-0"



LEFT ELEVATION
SCALE: 1/4"=1'-0"



RIGHT ELEVATION
SCALE: 1/4"=1'-0"

KEY NOTES	
1	Hardie Plank HZ5 8.25 in. x 144 in. Statement Collection Arctic White Cedarmill Fiber Cement Lap Siding. ASTM E136 noncombustible, H2LO engineering.
2	Timberline Natural Shadow Charcoal Algae Resistant Architectural Shingles - UL class A, listed to ANSI/UL 790, 130 MPH.
3	SHERWIN WILLIAMS EXTERIOR PAINT PURE WHITE/255-C1
4	Bonneville Brick Singles - Flats, Meets ASTM C1088, type TBS, grade exterior.
5	Wood Post - Sherwin William /255-C1 Pure white paint 4 in. x 4 in. x 16 ft. #2 Pressure-Treated Timber. Model # 258552
3068	36 in. x 80 in. Craftsman 2-Panel 6-Lite Clear Low-E Knotty Alder Unfinished Wood Front Door Slab. Model # KA.550.30.68.134
3030	American Craftsman 33.75 in. x 36.75 in. 70 Series White Double Hung Low-E Argon Glass Vinyl Fin with J Window with Grills, Screen Incl. Model # 28210730G
3038	TARCO WINDOWS 48 in. x 24 in. White Left-Hand Single-Pane Vinyl Sliding Utility/Shed Window with Screen-Model # VU54824B
3060	35.5 in. x 71.5 in. 500 Series White Vinyl Single Hung Window with Grilles and HPSC Glass, Screen included - Model # 510

KEY NOTES	
1	Hardier Board Siding. Color/Finish: Arctic White
2	COMPOSITE ARCHITECTURAL ROOF SHINGLES Color/Finish: Charcoal
3	MAJOR TRIM SW 7005 Pure White Designer Color Collection

CITY APPROVAL SEAL/STAMP:

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GREAT CARE AND EFFORT HAVE GONE INTO THE CREATION OF THESE BLUEPRINTS. HOWEVER, BECAUSE OF THE VARIANCE IN GEOGRAPHIC LOCATIONS, JUALM CONTRACTOR SERVICES WILL NOT ASSUME LIABILITY FOR ANY DAMAGES DUE TO ERRORS, OMISSIONS, OR DEFICIENCIES ON THESE PLANS. OWNER/BUILDER MUST COMPLY WITH LOCAL BUILDING CODES PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE PURCHASE OF THESE PLANS ENTITLES THE BUYER TO CONSTRUCT THIS BUILDING ONLY ONCE. ANY COPYING, TRACING, OR ALTERING OF THESE PLANS IS NOT PERMITTED. VIOLATORS WILL BE SUBJECT TO PROSECUTION UNDER COPYRIGHT LAWS.

NORTH



REVISIONS

Date	Description

Project Name & Address:

NEW HOUSE

3604 MEADOW ST.
DALLAS TX.

Sheet Title:

ELEVATION PLAN

Date:

JANUARY, 2026

Scale: 1/4"=1'-0"

Sheet No.:

JUALM Project No.:

A4.00

Owner's Project No.:

N/A

Size sheet:

34X22

MEADOW NEW HOUSE

3604 Meadow St. Dallas, TX. 75215

GENERAL NOTES:

1. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES WITH PLANS AND AS-BUILT CONDITIONS PRIOR TO PROCEEDING WITH THE WORK.
2. DO NOT SCALE DRAWINGS: DIMENSIONS GOVERN. WHERE CONFLICTS OCCUR BETWEEN LARGE AND SMALL SCALE DETAIL DIMENSIONS, NOTIFY ARCHITECT FOR CLARIFICATIONS.
3. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS, FEES, INSPECTION FEES AND DEPOSITS REQUIRED BY GOVERNING BODIES HAVING LEGAL JURISDICTION FOR THE INSTALLATION OF ALL WORK. CONTRACT SUM SHALL INCLUDE ALL FEES, DEPOSITS, METER CHARGES AND COORDINATION WITH THE VARIOUS UTILITY COMPANIES FOR SERVICE. FINAL HOOKUP AND CONNECTION TO BE BY BUILDING GENERAL CONTRACTOR. IT SHALL BE THE BUILDING GENERAL CONTRACTOR'S RESPONSIBILITY TO CALL FOR LOCAL INSPECTIONS AND OBTAIN APPROVAL FROM LOCAL INSPECTORS.
4. THE CONTRACTOR SHALL GIVE ALL NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, RULES, REGULATIONS, AND LAWFUL ORDERS OF ANY PUBLIC AUTHORITY FOR THE PERFORMANCE OF THE WORK.
5. UNLESS OTHERWISE PROVIDED IN THE CONSTRUCTION DOCUMENTS, THE CONTRACTOR SHALL PROVIDE AND PAY FOR ALL LABOR, MATERIALS, EQUIPMENT, TOOLS, CONSTRUCTION EQUIPMENT, MACHINERY, TRANSPORTATION AND OTHER FACILITIES AND SERVICES NECESSARY FOR PROPER EXECUTION AND COMPLETION OF THE WORK.
6. WORKMANSHIP, MATERIALS AND INSTALLATIONS SHALL CONFORM TO LATEST EDITIONS OF THE APPLICABLE BUILDING CODES, AS WELL AS APPLICABLE STATE AND LOCAL CODES, TRADE ASSOC. STANDARDS, AND MANUFACTURER'S STANDARDS THAT HAVE AUTHORITY OVER THIS PROJECT.
7. CONTRACT DRAWING AND SPECIFICATIONS REPRESENT FINISHED CONSTRUCTION. THEY DO NOT INDICATE METHOD OF CONSTRUCTION OF BUILDING AND STRUCTURE. CONTRACTOR SHALL PROVIDE ALL MEASURES NECESSARY TO PROTECT STRUCTURE AND PERSONNEL DURING CONSTRUCTION. SUCH MEASURES SHALL INCLUDE, BUT NOT BE LIMITED TO BRACING, SHORING OF LOADS DUE TO CONSTRUCTION EQUIPMENT, EXCAVATION PROTECTION, SCAFFOLDING, JOB SITE SAFETY, ETC. OBSERVATION VISITS TO THE SITE BY ARCHITECT, OWNER, OR ENGINEER SHALL NOT INCLUDE INSPECTION OF ABOVE ITEMS.
8. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO SUPERVISE AND COORDINATE VARIOUS TRADES IN ALL MECHANICAL AND EQUIPMENT ROOMS TO ALLOW SUFFICIENT ROOM FOR ALL EQUIPMENT.
9. ON-SITE AND OFF-SITE UTILITIES ARE INDICATED ON THE ARCHITECTURAL DRAWINGS FOR COORDINATION PURPOSES ONLY.
10. ALL SPOILS OF EXCAVATION (PIERS, FOOTINGS, TRENCHES, ETC.) NOT REUSED SHALL BE DISPOSED OF BY THE CONTRACTOR.
11. ALL WELD BURNS, SCRATCHES, ETC. ON ALL STRUCTURAL STEEL AND METAL DECK SHALL BE PROPERLY CLEANED AND REPAINTED.
12. ALL HOLES IN CONCRETE FLOOR SLAB CAUSED BY THE ATTACHMENT OF FORM WORK, BRACING CONSTRUCTION TRAFFIC, MATERIAL STORAGE OR OTHER REASONS SHALL BE CLEANED AND PATCHED.
13. PROVIDE GROUND FAULT INTERRUPTERS, IN WET AREAS, AS REQUIRED.
14. CONTRACTOR TO PROVIDE AND INSTALL SMOKE DETECTORS AND FIRE EXTINGUISHERS PER CITY REQUIREMENTS. PROVIDE MOUNTING AND/OR SIGNAGE AS REQUIRED.
15. ALL EXTERIOR DOORS SHALL RECEIVE WEATHER STRIPPING UNLESS SPECIFICALLY NOTED OTHERWISE WITHIN THE CONTRACT DOCUMENTS.
16. STAGGER ALL JOINTS OF GYPSUM BOARD CONSTRUCTION
17. ALL WOOD IN CONTACT WITH MASONRY OR EARTH SHALL BE WOLMANIZED.
18. ESTABLISH AND VERIFY ALL OPENING AND INSERTS FOR ARCHITECTURAL, MECHANICAL, ELECTRICAL AND PLUMBING, AND ASSOCIATED WORK PRIOR TO CONSTRUCTION
19. NOTE: ALL EXTERIOR SIGNS REQUIRE A SEPARATE SIGN PERMIT.
20. ARCHITECT MEET THE INDUSTRY STANDARDS THE RIGHT TO DIRECT REMOVAL AND REINSTALLATION OF WORK WHICH DOES NOT, IN THE OPINION OF THE
21. SHOP DRAWING ARE TO COMPLIMENT AND SUPPLEMENT CONSTRUCTION DOCUMENTS. WHEN CONFLICTING INFORMATION IS PROVIDED IN SHOP DRAWINGS AND CONSTRUCTION DOCUMENTS, NOTIFY ARCHITECT PRIOR TO FABRICATION AND/OR INSTALLATION. REVIEW OF SHOP DRAWINGS BY ARCHITECT DOES NOT RELIEVE CONTRACTOR OF RESPONSIBILITY FOR CONFORMANCE WITH CONSTRUCTION DOCUMENTS. SHOP DRAWINGS SHALL BE SUBMITTED FOR ALL MILLWORK, UNLESS NOTED "SUPPLIED BY TENANT".

22. THESE DOCUMENTS ARE NOT TO BE REPRODUCED OR USED FOR ANY PURPOSE OTHER THAN ORIGINALLY ISSUED UNLESS AUTHORIZED.
23. ALL MEASUREMENTS ARE SUBJECT TO VERIFICATION IN THE FIELD BY THE CONTRACTOR. THE CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO FABRICATION OR CONSTRUCTION
24. NOTIFY ARCHITECT OF CONFLICT IN DETAILS OR GENERAL NOTES AND TYP. DETAILS. WHERE NO SPECIFIC DETAILS ARE SHOWN, CONSTRUCTION SHALL CONFORM TO SIMILAR WORK IN THE PROJECT AND APPLICABLE CODES. IN CASE OF PLAN LOCATION CONFLICTS BETWEEN DISCIPLINES, NOTIFY ARCHITECT.
25. CONTRACTOR SHALL PROVIDE BACKING BEHIND FINISHED WALL AND CEILING SURFACES FOR SUPPORT AND ATTACHMENT OF CASEWORK, SHELVING, MIRRORS, PEGBOARDS, COUNTERS, TOILET PARTITIONS, DOOR WALL STOPS AND ACCESSORIES, ETC.
26. THE CONTRACTOR SHALL BE RESPONSIBLE TO MAINTAIN THE BUILDING AND SITE CLEAN AND PROVIDE ALL AND ANY SAFETY PROVISIONS TO ENSURE THE PUBLIC SAFETY.
27. MATERIALS, EQUIPMENT, ETC. NOT INDICATED ON DRAWINGS OR SPECIFIED HEREIN BUT REQUIRED FOR SUCCESSFUL AND SUFFICIENT COMPLETION OF THE INSTALLATION SHALL BE HELD TO BE IMPLIED AND SHALL BE FURNISHED AND INSTALLED AT NO ADDITIONAL COST TO THE OWNER.
28. ALL MATERIALS AND EQUIPMENT FURNISHED BY CONTRACTORS SHALL BE NEW AND FREE FROM DEFECTS. DAMAGED WORK MUST BE REPLACED AT NO ADDITIONAL COST TO THE OWNER.
29. ALL PRODUCTS AND MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS UNLESS SPECIFICALLY NOTED TO THE CONTRARY.
30. CONTRACTOR TO VERIFY ALL INFORMATION ON DRAWINGS AND REPORT ANY DISCREPANCIES OR OMISSIONS TO ARCHITECT PRIOR TO COMMENCING ANY AFFECTED WORK.

ARCHITECTURAL INDEX:

A0.00	COVER SHEET
A1.00	SITE PLAN
A2.00	EROSION CONTROL PLAN
A3.00	PROPOSED FLOOR PLAN
A4.00	ELEVATION PLAN
E1.00	ELECTRICAL PLAN
M1.00	MECHANICAL PLAN
M1.01	MECHANICAL DETAILS
P1.00	PLUMBING PLAN

STRUCTURAL

S1.00	FOUNDATION PLAN
S2.00	BRACING PLAN
S3.00	CEILING FRAMING PLAN
S3.01	ROOF FRAMING PLAN
S3.02	FRAMING DETAILS
D1.00	SPECIFICATIONS

AREA DISTRIBUTION

SYMBOL	DESCRIPTION	SQ.FT.
1	PROPOSED LIVING AREA	1807 sq.ft.
2	PROPOSED FRONT PORCH	298 sq.ft.
3	PROPOSED REAR PORCH	141 sq.ft.
TOTAL PROPOSED COVERAGE AREA		2247 sq.ft.
LOT AREA		6182 sq.ft.
TOTAL PROPOSED PERCENTAGE		36.33%

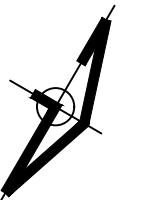
LEGAL DESCRIPTION

3604 MEADOW ST
 Zoning = R-5A
 Minimum setbacks
 Front = 25 FT
 Side = 3 FT
 Wheatley Place
 Parcel ID: 00000159430000000
 Account Number: 00000159430000000
 Map Grid: 46-U (DALLAS)
 Account Type: Residential
 Legal Description 1: LONGS S S OAKWOOD
 Legal Description 2: BLK 1/1541 LOT 2
 Owner Name: E.J'S INVESTMENTS &

CITY APPROVAL SEAL/STAMP:

THESE PLANS ARE INTENDED TO PROVIDE BASIC CONSTRUCTION INFORMATION NECESSARY TO SUBSTANTIALLY BUILD THIS STRUCTURE. THESE PLANS MUST BE VERIFIED AND CHECKED BY THE BUILDER, HOMEOWNER, AND ALL CONTRACTORS OF THIS JOB PRIOR TO CONSTRUCTION. BUILDER SHOULD OBTAIN COMPLETE ENGINEERING SERVICES, HVAC, AND STRUCTURAL BEFORE BEGINNING CONSTRUCTION OF ANY KIND. NOTE: ALL FEDERAL, STATE, AND LOCAL CODES AND RESTRICTIONS TAKE PRECEDENCE OVER ANY PART OF THESE PLANS.
 GREAT CARE AND EFFORT HAVE GONE INTO THE CREATION OF THESE BLUEPRINTS. HOWEVER, BECAUSE OF THE VARIANCE IN GEOGRAPHIC LOCATIONS, JULY CONTRACTOR SERVICES WILL NOT ASSUME LIABILITY FOR ANY DAMAGES DUE TO ERRORS, OMISSIONS, OR DEFICIENCIES ON THESE PLANS. OWNER/BUILDER MUST COMPLY WITH LOCAL BUILDING CODES PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE PURCHASE OF THESE PLANS ENTITLES THE BUYER TO CONSTRUCT THIS BUILDING ONLY ONCE. ANY COPYING, TRACING, OR ALTERING OF THESE PLANS IS NOT PERMITTED. VIOLATORS WILL BE SUBJECT TO PROSECUTION UNDER COPYRIGHT LAWS.

NORTH



REVISIONS

Date	Description

Project Name & Address:

NEW HOUSE

3604 MEADOW ST.
DALLAS TX.

Sheet Title:

COVER

Date:

JANUARY, 2026

Scale:

NOT TO SCALE

Sheet No.:

JUALM Project No.:

25-07

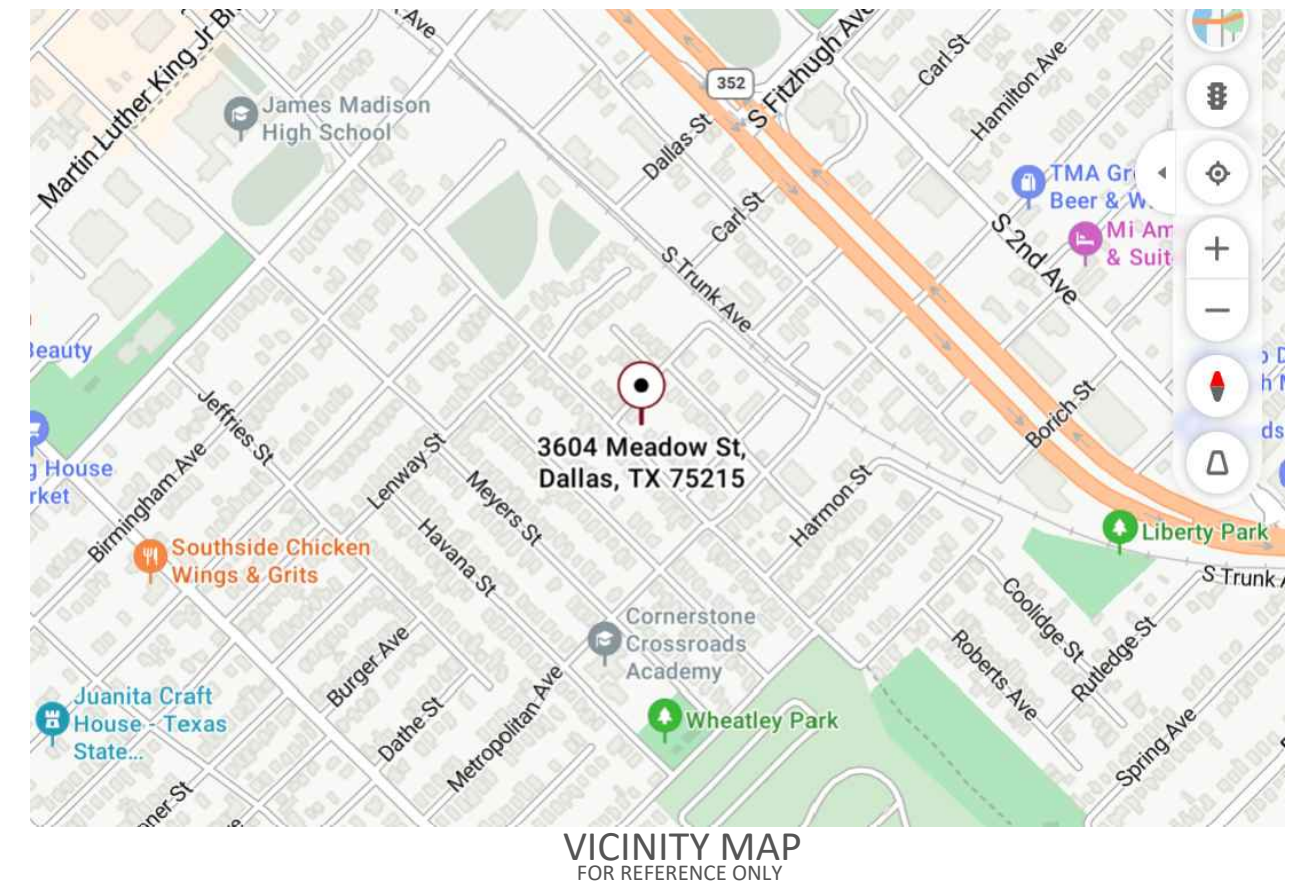
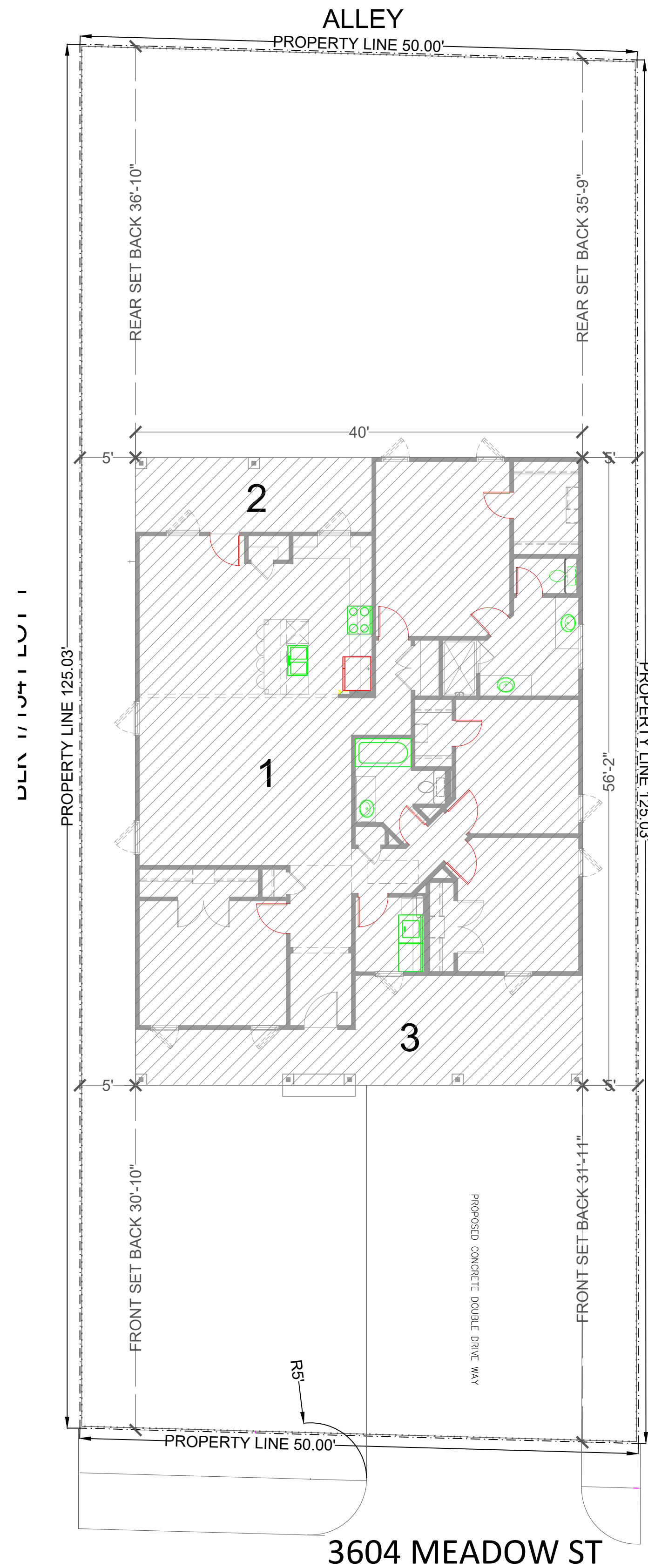
Owner's Project No.:

N/A

Size sheet.:

34X22

A0.00



SITE LEGEND	
SYMBOL	DESCRIPTION
---	PROPERTY LINE
---	SET BACK
---	FENCE LINE
▨	BUILDING LINE

AREA DISTRIBUTION		
SYMBOL	DESCRIPTION	SQ.FT.
1	PROPOSED LIVING AREA	1807 sq.ft.
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 Account Type: Residential
 Legal Description 1: LONGS S S OAKWOOD
 Legal Description 2: BLK 1/1541 LOT 2
 Owner Name: EJ'S INVESTMENTS &

GENERAL SITE NOTES:

- CONSTRUCTION MUST BE IN ACCORDANCE WITH CITY STANDARDS AND CURRENT CONSTRUCTION STANDARDS ADOPTED BY THE CITY AND STATE, AND IN ACCORDANCE WITH 2021 INTERNATIONAL BUILDING CODE.
- CONTRACTOR TO VERIFY LOCATIONS OF SITE REQUIREMENTS, AND CONNECTIONS FEES. OWNER, CONTRACTORS AND SUB-CONTRACTORS TO PAY ALL OF THEIR RELATED CONSTRUCTIONS PERMIT FEES AS AGREED UPON BETWEEN THE OWNER AND CONTRACTOR.
- PRIOR CONSTRUCTION THE PROJECT CONTRACTOR SHALL THOROUGHLY REVIEW THE PLAN AND NOTIFY THE DESIGN ENGINEER IN WRITING WHETHER THERE IS ANY RECOMMENDATION CONTAINING OR NOT PROVIDED ON THE PLANS THAT IN THE PROFESSIONAL OPINION OF THE CONTRACTOR NOT TO BE ABLE TO WARRANTY THEIR CONSTRUCTION, THE CONTRACTOR IS ULTIMATELY RESPONSIBLY FOR THE WARRANTY OF THE CONSTRUCTION.
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- THE CONTRACTOR OF EACH PAVING, CONCRETE, MECHANICAL, ELECTRICAL, PLUMBING AND OTHERS, WILL BE ABLE TO DRAW THEIR OWN PLANS WITH SPECIFICATIONS OR DETAILS ABOUT THIS PROJECT AND VERIFY WITH THE OWNER.
- THIS IS ONLY A CONCEPT DRAWING.

CITY CURRENT CITY CODES:

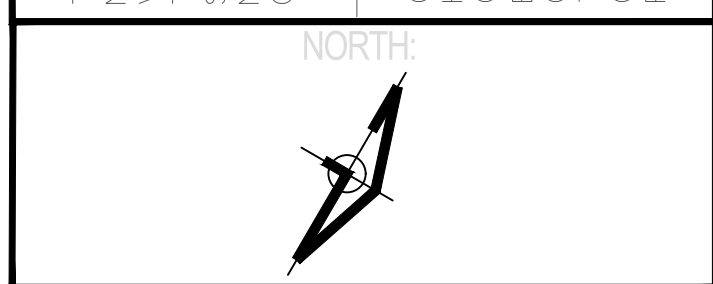
- 2021 INTERNATIONAL BUILDING CODE
- 2021 INTERNATIONAL RESIDENTIAL CODE
- 2021 INTERNATIONAL ENERGY CONSERVATIONAL CODE
- 2021 INTERNATIONAL FUEL GAS CODE
- 2021 INTERNATIONAL MECHANICAL CODE
- 2021 INTERNATIONAL PLUMBING CODE
- 2021 INTERNATIONAL EXISTING BUILDING CODE
- 2021 NATIONAL ELECTRICAL CODE

SITE PLAN
 SCALE: 1/8"=1'-0"

CITY APPROVAL SEAL/STAMP:

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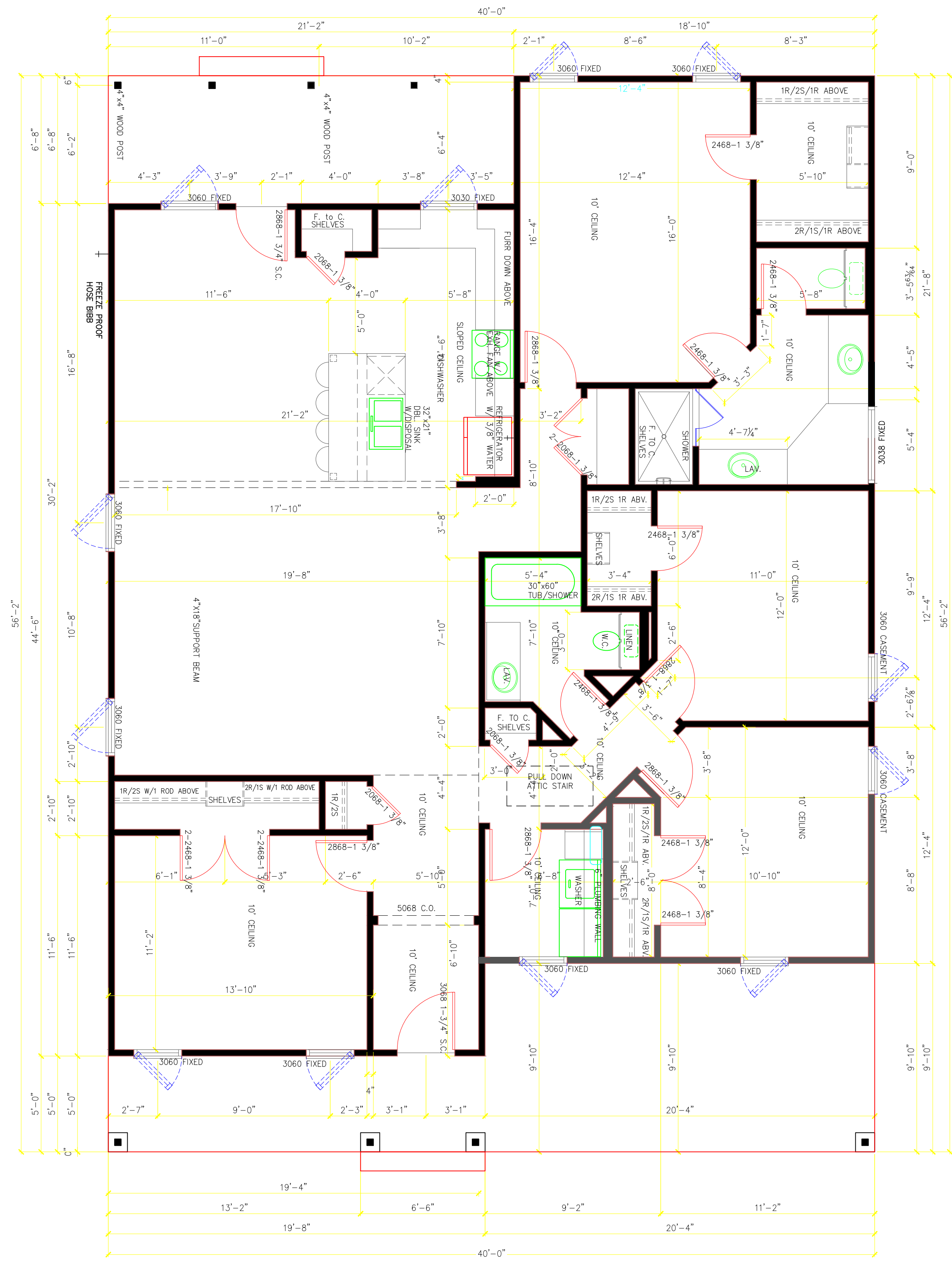
REVISIONS	
Date	Description

Project Name & Address:
NEW HOUSE
 3604 MEADOW ST.
 DALLAS TX.

Sheet Title:
SITE PLAN

Date: **JANUARY, 2026**

Scale: 1/8"=1'-0"	Sheet No.:
JUALM Project No.: 25-07	A1.00
Owner's Project No.: N/A	
Size sheet.: 34X22	



PROPOSED FLOOR PLAN
SCALE: 1/4"=1'-0"

WINDOW SCHEDULE			
ITEM	SIZE	QUANTITY	TYPE
3030	3'-0"X3'-0"	1	SH
3038	4'-0"X2'-0"	1	SHS
3060	3'-0"X6'-0"	9	SH

SH = SINGLE HUNG
SHS = SINGLE HINGED SOLID CORE
SHH = SINGLE HINGED HOLLOW CORE

DOOR SCHEDULE			
ITEM	SIZE	QUANTITY	TYPE
2468	2'-8"X8'-0"	8	SHS
2868	3'-0"X8'-0"	7	SHS
3068	CUSTOM	1	SHS

P = PCKET
SLD = SLIDING
F = FOLDING
FR = FRENCH
SLD = SLIDING
PIC = PICTURE

FLOOR PLAN NOTES (2021 IRC)

- ALL DIMENSIONS & SITE CONDITIONS TO BE VERIFIED BY CONTRACTOR TO CONSTRUCTION.
- ALL EXTERIOR DIMENSION ARE TO THE OUTSIDE FACE OF THE STUD AND DO NOT INCLUDE EXTERIOR FINISHES SUCH AS SIDING, BRICK, STUCCO, ETC.
- ALL FINISHES (INTERIOR & EXTERIOR) TO BE VERIFIED TO OWNER PRIOR TO CONSTRUCTION.
- VERIFY ALL DOOR AND WINDOWS STYLES AND SIZES WITH OWNER PRIOR TO CONSTRUCTION. MANUFACTURED TO SUPPLY ALL ROUGH OPENING SIZES.
- CONTRACTOR TO VERIFY ALL CLEARANCES OF ALL DOOR, WINDOWS AND ITEMS THAT ARE CRITICAL, PRIOR TO CONSTRUCTION.
- CONTRACTOR TO ADAPT PLANS AS REQUIRED TO MEET ALL APPLICABLE CODES AT SITE.
- ALL BEAMS TO BE SIZED BY A LICENSED STRUCTURAL ENGINEER.
- PORCHES, BALCONIES OR RAISED FLOOR SURFACES LOCATED MORE THAN 30 INCHES ABOVE THE FLOOR OR GRADE BELOW AT ANY POINT WITHIN 36 INCHES HORIZONTALLY SHALL HAVE GUARDS NOT LESS THAN 36 INCHES IN HEIGHT. OPEN SIDES OF STAIRS WITH A TOTAL RISE OF MORE THAN 30 INCHES ABOVE THE FLOOR OR GRADE BELOW SHALL HAVE GUARDS NOT LESS THAN 34 INCHES IN HEIGHT MEASURED VERTICALLY FROM THE NOSING OF THE TREADS. INSECT SCREENING SHALL NOT BE CONSIDERED AS A GUARD IRC 2018.
- M1305.1.2 APPLIANCES IN ATTICS. ATTICS APPLIANCES SHALL BE PROVIDED WITH AN OPENING AND CLEAR AND UNOBSTRUCTED PASSAGEWAY LARGE ENOUGH TO ALLOW REMOVAL OF THE LARGEST APPLIANCE. BUT NOT LESS THAN 30 INCHES HIGH AND 22 INCHES WIDE AND NO MORE THAN 20 FEET LONG MEASURED ALONG THE CENTERLINE OF THE PASSAGEWAY FROM THE OPENING TO THE APPLIANCE THE PASSAGEWAY SHALL HAVE CONTINUOUS SOLID FLOORING IN ACCORDANCE WITH CHAPTERS NOT LESS THAN 24 INCHES WIDE, A LEVEL SERVICE APACE AT LEAST 30 INCHES DEEP AND 30 INCHES WIDE SHALL BE PRESENT ALONG ALL SIDES OF THE APPLIANCE WHERE ACCESS IS REQUIRED THE CLEAR ACCESS OPENING DIMENSIONS SHALL BE A MINIMUM OF 20 INCHES BY 30 INCHES, AND LARGE ENOUGH TO ALLOW REMOVAL OF THE LARGEST APPLIANCE. EXCEPTION: (A) THE PASSAGEWAY AND LEVEL SERVICE SPACE ARE NOT REQUIRED WHERE THE APPLIANCE CAN BE SERVED AND REMOVED THROUGH THE REQUIRED OPENING (B) WHERE THE PASSAGEWAY IS UNOBSTRUCTED AND NOT LESS THAN 6 FEET HIGH AND 22 INCHES WIDE FOR ITS ENTIRE LENGTH, THE PASSAGEWAY SHALL BE NOT MORE THAN 50 FEET LONGS.
- APPLIANCE ACCESS FOR INSPECTION SERVICE, REPAIR AND REPLACEMENT. APPLIANCES SHALL BE ACCESSIBLE FOR INSPECTION, SERVICE, REPAIR AND REPLACEMENT. WITHOUT REMOVING PERMANENT CONSTRUCTION, OTHER APPLIANCE, OR ANY OTHER PIPING OR DUCTS NOT CONNECTED TO THE APPLIANCE BEING INSPECTED, SERVICED, REPAIRED OR REPLACED. A LEVEL WORKING APACE AT LEAST 30 INCHES DEEP AND 30 INCHES WIDE SHALL BE PROVIDED IN FRONT OF THE CONTROL SIDE TO SERVICE AN APPLIANCE M1305.1.1
- EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL BE OPERATIONAL FROM THE INSIDE OF THE ROOM WITHOUT THE USE OF KEYS, TOOLS OR SPECIAL KNOWLEDGE WINDOW OPENING CONTROL DEVICES COPLYING WITH ASTM F 2090 SHALL BE PERMITTED FOR USE ON WINDOWS SERVING AS A REQUIRED EMERGENCY ESCAPE AND RESCUE OPENING. ALL SLEEPING ROOMS TO HAVE AN EXTERIOR ACCESS THROUGH A DOOR OR WINDOW WITH A MINIMUM OF 5.7 SQUARE FEET NET CLEAR OPENING AS PER 2018 R310.2.1. EXCEPTION: GRADE FLOOR OR BELLOW GRADE OPENINGS SHALL HAVE A MINIMUM CLEAR OPENING OF 5 SQ.FT. MAXIMUM SILL HEIGHT TO BE 44 INCHES MINIMUM NET CLEAR OPENING HEIGHT TO BE 24 INCHES. MINIMUM NET CLEAR OPENING WIDTH TO BE 20 IN.
- ALL RETURN AIR GRILL ARE TO BE LOCATED TO COMPLY WITH SECTION M1602 OF THE IRC 2018.
- ALL SQUARE FOOTAGE MEASUREMENTS ARE APPROXIMATE AND MAY DIFFER FROM ACTUAL CONSTRUCTED RESIDENCE OR BUILDING. FOOTAGES SHOWN ARE TO THE OUTSIDE OF THE STUD WALL AND DO NOT INCLUDE THE EXTERIOR FINISH MATERIAL SUCH AS SIDING, BRICK, STONE ETC.
- FIRE SPRINKLER SYSTEM TO BE DESIGNED AND INSTALLED (IF REQUIRED BY LOCAL CODES) AS PER IRC 2021 AND BY A LICENSED PROFESSIONAL IN THE AREA OF CONSTRUCTION.
- ALL BATHROOM EXHAUST VENTS SHALL BE VENTED DIRECTLY TO THE EXTERIOR OF THE HOME AND NOT INTO THE ATTIC. IRC 2021, M1505.2.
- NEW DRIVEWAYS (FULL OR RIBBON STRIP), SIDEWALKS, STEPS, AND WALKWAYS MUST BE CONSTRUCTED OF BRICK, BRUSH FINISH CONCRETE, OR OTHER APPROPRIATE MATERIAL. ARTIFICIAL GRASS, ARTIFICIALLY-COLORED CONCRETE, ASPHALT, EXPOSED AGGREGATE, AND OUTDOOR CARPET ARE NOT PERMITTED. MATERIALS NOT NORMALLY PERMITTED MAY BE USED ON SIDEWALKS, STEPS AND WALKWAYS IF NECESSARY FOR THE ELDERLY OR HANDICAPPED, BUT ONLY FOR THE PERIOD NEEDED.

IECC 2021 GREEN/ENERGY CODE COMPLIANCE FOR HOME:

ALL GREEN/ENERGY SYSTEMS MUST MEET THE REQUIREMENTS FROM THE CHAPTER 4 OF THE INTERNATIONAL ENERGY CONSERVATION CODE, REFERRED TO RESIDENTIAL ENERGY EFFICIENCY. IF ANY ITEM IS NOT LISTED BELOW REFER TO THE MENTIONED CHAPTER.

- STORM WATER:**
 - 1.1.70% OF NON-ROOF AREA HAS VEGETATIVE LANDSCAPE, PERMEABLE PAVING OR SLOPED FOR RUNOFF TO A PERMANENT FILTRATION FEATURE.
- WATER EFFICIENCY:**
 - 2.1.LAVATORY FAUCETS MUST HAVE AN AVERAGE FLOW RATE OF 2.0 GALLONS PER MINUTE OR LESS.
 - 2.2.SHOWERS HEADS MUST HAVE AN AVERAGE FLOW RATE OF 2.0 GALLONS PER MINUTE OR LESS.
 - 2.3.TOLETS MUST HAVE AN AVERAGE FLOW RATE OF:
 - 2.3.1. LESS THAN OR EQUAL TO 1.3 GALLONS PER FLUSH.
 - 2.3.2. DUAL FLUSH COMPLYING WITH ASME A 112.19.14.
 - 2.3.3. COMPLY WITH US EPA WATER SENSE.
 - 2.4.ENERGY STAR DISHWASHER.
 - 2.5.ENERGY STAR CLOTHES WASHER.
- HEAT ISLAND MITIGATION:**
 - 3.1.ENERGY STAR QUALIFIED ROOF SYSTEM FOR ROOF WITH SLOPE OF 2:12 OR GREATER.
 - 3.2.RADIANT BARRIER IN ATTIC WITH CONVENTIONAL SHINGLES.
 - 3.3.ENCAPSULATED FOAM INSULATION BETWEEN THE ROOF RAFTERS (R-22 OR GREATER).
 - 3.4.WINDOWS AND DOORS MUST BE SEALED WITH FOAM OR CAULK.
 - 3.5.SILL PLATE MUST BE SEALED ON THE INSIDE WITH FOAM OR CAULK.
 - 3.6.ALL WALL PENETRATIONS TO THE EXTERIOR MUST BE SEALED WITH FOAM OR CAULK.
 - 3.7.BLOWER DOOR TESTING IS MANDATORY. NOT TO EXCEED 4 AIR CHANGES PER HOUR AT 50 PASCALS.
- DUCTS AND AIR SEALING**
 - 4.1.DUCTS MUST BE TESTED AND VERIFIED TO HAVE TOTAL LEAKAGE OF NO MORE THAN 4 FT³/MIN PER 100 SQUARE FOOT (OR 3 CFM IF AIR HANDLER IS NOT INSTALLED), EXCEPT WHERE AIR HANDLER AND ALL DUCTS ARE LOCATED INSIDE CONDITIONED SPACE. AIR HANDLERS AND FILTER BOXES MUST ALSO BE PROPERLY SEALED.
 - 4.2.HVAC AND DUCTWORK LOCATED OUTSIDE OF FIRE RATED ENVELOPE OF GARAGE.
 - 4.3.THE BUILDING ENVELOPE IS REQUIRED TO BE PROPERLY SEALED AND TESTED, AND VERIFIED AS HAVING AN AIR LEAKAGE RATE NO HIGHER THAN 3 ACH AT 0.20 INCH W.G. (50 PASCALS).
 - 4.4.SUPPLY AND RETURN DUCTS IN ATTICS SHALL BE SEALD AND INSULATED WITH R-8 WHEN DUCTS IS 3" OR GREATER, R-6 WHEN 3" OR LESS AND EXEMPT WHEN COMPLETELY INSIDE CONDITIONED SPACE.
- INSULATION:**
 - 5.1.ALL WINDOWS FENESTRATION U-FACTOR FOR DALLAS MUST BE 0.35, SKYLIGHT U-FACTOR 0.55 AND GLAZED FENESTRATION SHGC 0.25.
 - 5.2.CEILINGS MUST BE INSULATED WITH R-38, IF NO ATTIC SPACE R-30, THIS REDUCTION IS LIMITED TO 500 SQUARE FEET (46 M²) OR 20% OF THE TOTAL INSULATED CEILING AREA, WHICHEVER IS LESS.
 - 5.3.ATTIC ACCESS LADDERS AND OR HATCHES, MUST BE INSULATED THE SAME AS THE ATTIC AND HAVE A WEATHER SEAL
 - 5.4.ALL EXTERIOR WALLS MUST BE INSULATED WITH R-20 CANYON OR R-13 CANYON WITH R-5 CONTINUOUS INSULATION OR HIGHER.
 - 5.5.CRAWL SPACE WALLS MUST BE INSULATED WITH T-5 CONTINUOUS OR R-13 CAVITY INSULATION, WITH VAPOR BARRIER OVER EXPOSED EARTH.
 - 5.6.PIER AND BEAM OR ANY OTHER RAISED FLOOR SYSTEM MUST BE INSULATED WITH R-19 INSULATION OR HIGHER.
- HVAC SYSTEMS**
 - 6.1.TEMPERATURE CONTROLS MUST BE INSTALLED, INCLUDING A PROGRAMMABLE THERMOSTAT CONTROLLING THE PRIMARY HEATING AOD COOLING SYSTEM.
 - 6.1. MECHANICAL SYSTEM PIPING MUST BE INSULATED TO A MINIMUM OF R-3. HOT WATER PIPING 3/4" IN DIAMETER OR LARGER AND ALL HOT WATER PIPING IN CERTAIN APPLICATIONS MUST BE INSULATED TO R-3.
 - 6.2.PIPES CARRYING FLUID OVER 104° OR BELOW 55° MUST BE INSULATED WITH R-13.
 - 6.3.LIGHTNING:
 - 6.4.A MINIMUM OF 75% OF LAMPS IN PERMANENTLY INSTALLED FIXTURES MUST BE HIGH-EFFICACY AS DEFINED IN THE IECC.

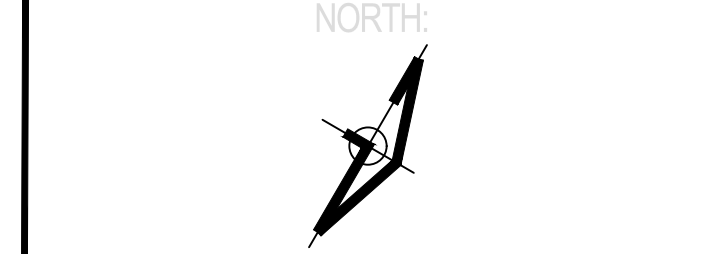
DISCLAIMER

GREAT CARE AND EFFORT HAVE GONE INTO THE CREATION OF THESE BLUEPRINTS HOWEVER, BECAUSE OF THE VARIANCE IN GEOGRAPHIC. IT IS THE BUILDER/OWNER RESPONSIBILITY TO VERIFY ANY EASEMENTS OR DEED RESTRICTIONS THAT WAY IMPACT THIS PROJECT PRIOR TO CONSTRUCTION.

CITY APPROVAL SEAL/STAMP:

THESE PLANS ARE INTENDED TO PROVIDE BASIC CONSTRUCTION INFORMATION NECESSARY TO SUBSTANTIALLY BUILD THIS STRUCTURE. THESE PLANS MUST BE VERIFIED AND CHECKED BY THE BUILDER, HOMEOWNER, AND ALL CONTRACTORS OF THIS JOB PRIOR TO CONSTRUCTION. BUILDER SHOULD OBTAIN COMPLETE ENGINEERING SERVICES, HVAC, AND STRUCTURAL BEFORE BEGINNING CONSTRUCTION OF ANY KIND. NOTE: ALL FEDERAL, STATE, AND LOCAL CODES AND RESTRICTIONS TAKE PRECEDENCE OVER ANY PART OF THESE PLANS.

GREAT CARE AND EFFORT HAVE GONE INTO THE CREATION OF THESE BLUEPRINTS HOWEVER, BECAUSE OF THE VARIANCE IN GEOGRAPHIC LOCATIONS, QUALITY CONTRACTOR SERVICES, WILL NOT ASSUME LIABILITY FOR ANY DAMAGES DUE TO ERRORS, OMISSIONS, OR DEFICIENCIES ON THESE PLANS. OWNER/BUILDER MUST COMPLY WITH LOCAL BUILDING CODES PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE PURCHASE OF THESE PLANS ENTITLES THE BUYER TO CONSTRUCT THIS BUILDING ONLY ONCE. ANY COPYING, TRACING, OR ALTERING OF THESE PLANS IS NOT PERMITTED. VIOLATORS WILL BE SUBJECT TO PROSECUTION UNDER COPYRIGHT LAWS.



REVISIONS	
Date	Description

Project Name & Address:
NEW HOUSE
3604 MEADOW ST.
DALLAS TX.

Sheet Title:
PROPOSED FLOOR PLAN

Date: **JANUARY, 2026**

Scale: **1/4"=1'-0"**

JUALM Project No.:

Owner's Project No.: **N/A**

Size sheet: **34X22**

Sheet No.: **A3.00**

DESIGN GENERAL NOTES

- A. CONSTRUCTION SHALL COMPLY WITH THE 2018 INTERNATIONAL BUILDING CODE (2018 IBC), STANDARD CONSTRUCTION PRACTICE AND LOCAL CODES, ORDINANCES AND AMENDMENTS.
- B. MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES, ASCE 7-22, BY AMERICAN SOCIETY OF CIVIL ENGINEERS (ASCE)
- DESIGN LOADS - SUBGRADE - PER SOIL REPORT BY AMERICAN GEOTECHNICAL & CIVIL CONSULTING, INC. REPORT # 61610 DATED 3/17/23.
RDF: 20 PSF LIVE, 20 PSF DEAD
ULF: 10 PSF LIVE, 20 PSF DEAD
PERIMETER STRIP (3-4) PSF
CORNERS 61 PSF
4"
BASIC WIND SPEED $V_{10} = 115$ MPH
WIND IMPORTANCE FACTOR $I_w = 1.0$
CLASSIFICATION OF BUILDING II-B
WIND EXPOSURE B
SEISMIC ZONE 0
- C. AMERICAN CONCRETE INSTITUTE (ACI) BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE, 308-19
- D. AMERICAN STANDARD TESTING AND MATERIALS (ASTM), A619A/B-01, SPECIFICATION FOR DEFORMED AND PLAIN BILLET STEEL BARS FOR STRUCTURAL CONCRETE
- E. ASTM A185, SPECIFICATION FOR WELDED-VIRE FABRIC (WVWF) CONCRETE GENERAL NOTES

- A. ALL CONCRETE DESIGN IS IN ACCORDANCE WITH ACI 308-19. CONCRETE SHALL ATTAIN A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF MIN. 3,000 PSI. CONCRETE SHALL HAVE A MAX. OF 5-INCH SLUMP. ALL CONCRETE SHALL BE NORMAL WEIGHT UNLESS NOTED ON THE PLANS.
- B. CONCRETE PLACEMENT AND QUALITY SHALL BE PER RECOMMENDATIONS IN ACI-301 AND SUPPLEMENT S1.
- C. PROTECT FRESHLY PLACED CONCRETE FROM PREMATURE DRYING AND EXCESSIVE COLD OR HOT TEMPERATURES. START CURING AS SOON AS FREE WATER HAS DISAPPEARED FROM THE CONCRETE SURFACE AFTER PLACING AND FINISHING. KEEP CONTINUOUSLY MOIST FOR AT LEAST 14 DAYS ACCORDING TO ACI 301 PROCEDURES. CURING MAY BE BY MOIST CURING, MOISTURE RETAINING COVER, CURING COMPOUND OR COMBINATIONS THEREOF.
- D. COLD WEATHER PROTECT CONCRETE FROM DAMAGE OR REDUCED STRENGTH CAUSED BY FROST, FREEZING ACTIONS OR LOW TEMPERATURES IN ACCORDANCE WITH ACI 306. WHEN TEMPERATURES FALL BELOW 40 DEGREES FAHRENHEIT, UNIFORM HEAT WATER AND AGGREGATE BEFORE MIXING TO OBTAIN A CONCRETE MIXTURE TEMPERATURE OF NOT LESS THAN 50 DEGREES FAHRENHEIT AT POINT OF PLACEMENT.
- E. REMOVE ALL DEBRIS FROM FORMS BEFORE POURING.
- F. CONCRETE SHALL NOT BE DIPPED THROUGH REINFORCING STEEL SO AS TO CAUSE SEGREGATION OF AGGREGATES, USE HOPPERS, CHUTES OR TRUNKS OF VARYING LENGTHS SO THAT THE FREE UNCONFINED FALL OF CONCRETE SHALL NOT EXCEED 5 FEET, AND A SUFFICIENT NUMBER SHALL BE USED TO ENSURE THE CONCRETE IS BEING KEPT LEVEL AT ALL TIMES.
- G. ALL ITEMS TO BE CAST IN CONCRETE SUCH AS REINFORCING, DWELLS, BOLTS, HANGERS, PIPES, SLEEVES, ETC., SHALL BE SECURELY POSITIONED IN THE FORMS BEFORE PLACING THE CONCRETE.
- H. MINIMUM REBAR COVER FOR CONCRETE SHALL BE AS FOLLOWS:

	MINIMUM COVER	TOLERANCES +/-
CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH	3"	3/8"
EXPOSED TO EARTH OR WEATHER	1 1/2"	3/8"
NO. 6 AND LARGER BARS	2"	3/8"
SLABS ON GRADE	1 1/2"	1/4"

- I. TOLERANCES FOR REBAR PLACEMENT: TOLERANCE FOR LONGITUDINAL LOCATION OF BENDS AND ENDS OF REINFORCEMENT SHALL BE PLUS OR MINUS 2 INCHES EXCEPT AT DISCONTINUOUS ENDS OF MEMBERS WHERE TOLERANCES SHALL BE PLUS OR MINUS 1/2 INCH.
- J. ALL HARDWOOD CONCRETE SHALL BE OF REGULAR WEIGHT OF 150 POUNDS PER CUBIC FOOT. LIGHTWEIGHT CONCRETE SHALL BE 90 POUNDS PER CUBIC FOOT.
- K. AGGREGATE SIZE OF AGGREGATE TO ASTM C33.
- L. CONCRETE GROUT SHALL BE NON-SHRINKING WITH SUFFICIENT WATER TO ALLOW POURING. ULTIMATE COMPRESSIVE STRENGTH (F_c) AT 28 DAYS SHALL BE EQUAL TO 4000 PSI MINIMUM.
- M. NO MORE THAN 90 MINUTES SHALL ELAPSE BETWEEN CONCRETE BATCHING AND CONCRETE PLACEMENT UNLESS APPROVED BY TESTING AGENCY. CONCRETE SHALL BE PLACED WITHIN 15 MIN. AFTER DISCHARGE.
- N. POUR SEQUENCE: ONE GRADE OF CONCRETE SHALL BE Poured AT THE JOB AT ANY ONE TIME.
- O. AIR ENTRAINING AGENTS (4% TO 6%) SHALL BE ADDED TO ALL EXPOSED CONCRETE SLABS AND BEAMS. OWNER APPROVED AGENT SHALL CONFORM TO ASTM C-260, LATEST REVISION.

WOOD GENERAL NOTES

- A. ALL ROUGH CARPENTRY SHALL PRODUCE JOINTS TRUE AND TIGHT AND WELL NAILED WITH MEMBERS ASSEMBLED IN ACCORDANCE WITH THE DRAWINGS AND WITH ALL PERTINENT BUILDING CODES. THE SHIMMING OF SILLS, JOISTS, SHORT STUDS, TRIMMERS, HEADERS, OR OTHER FRAMING MEMBERS SHALL NOT BE PERMITTED. ALL WALLS AND PARTITIONS SHALL BE STRAIGHT, PLUMB, AND ACCURATELY LOCATED. CAREFULLY SELECT ALL STRUCTURAL MEMBERS. INDIVIDUAL PIECES SHALL BE SELECTED SO THAT KNOTS AND OBVIOUS MINOR DEFECTS WILL NOT INTERFERE WITH THE PLACING OF BOLTS, OR PROPER NAILING OR THE MAKING OF SOUND CONNECTIONS. LUMBER MAY BE REJECTED BY THE ENGINEER OR ARCHITECT FOR EXCESSIVE WARP, TWIST, BOW, OR CROOK, MILDew, FUNGUS, OR OTHER DEFECTS WHICH ARE SUCH THAT THE LUMBER IS UNFIT FOR USE OR UNDER A PIECE UNABLE TO SERVE ITS INTENDED FUNCTION. SUCH LUMBER SHALL BE DISCARDED.
- B. EACH PIECE OF STRUCTURAL LUMBER, SHEATHING, AND TIMBER SHALL BE MARKED WITH GRADE, SIZE, AND MANUFACTURER AND REID BLENDING ORGANIZATION. THOSE REGULAR BUSINESS MARKS TO ESTABLISH LUMBER GRADES, THE ORGANIZATION, GRADING, AND GRADE MARKING SHALL BE SUBJECT TO APPROVAL BY THE ENGINEER.
- C. ALL LUMBER, EXCEPT WHERE SPECIFICALLY NOTED OTHERWISE, SHALL BE MILL SIZED AND SURFACED ON (4) SIDES. ALL SHALL BE STRAIGHT STOCK, FREE FROM WARP OR CUP, AND SINGLE LENGTH PIECES.

- D. BUILDING PAPER: SHALL BE THE STANDARD PRODUCT OF A MAJOR MANUFACTURER, SUITABLE FOR THE USES INTENDED, AND WEIGHING AT LEAST (14) POUNDS PER SQUARE FEET.
- E. ROUGH HARDWARE: JOIST HANGERS, STRAPS, HOLDDOWS, ETC. SHALL BE AS MANUFACTURED BY SIMPSON COMPANY OR APPROVED EQUIVALENT. THE MAXIMUM SIZE AND NUMBER OF FASTENERS SPECIFIED BY THE MANUFACTURER SHALL BE USED UNLESS NOTED OTHERWISE.
- F. INSTALL ALL BLOCKING AS REQUIRED TO SUPPORT ALL ITEMS OF FINISH SUCH AS BULKHEADS AND DOOR BUCKS. PROVIDE FIRE BLOCKING TO CUT OFF ALL CONCEALED DRAFT OPENINGS, BOTH VERTICAL AND HORIZONTAL, BETWEEN CEILING AND FLOOR AREAS. VERIFY ALL REQUIRED BLOCKING WITH LOCAL BUILDING OFFICIAL.
- G. BOLTS SHALL BE INSTALLED IN HOLES BORED WITH A BIT 1/16" LARGER THAN THE DIAMETER OF THE BOLT. BOLTS AND NUTS SEATING ON WOOD SHALL HAVE CUT STEEL WASHERS UNDER HEADS AND NUTS. NUTS SHALL BE PULLED TIGHT AND AGAIN CHECKED AND TIGHTENED JUST PRIOR TO ENCLOSING BOLTED MEMBERS. COUNTER BORE FOR NUTS ONLY WHERE SO INDICATED ON THE DRAWINGS, AND THE ONLY TO SUFFICIENT DEPTH TO HOUSE THE BOLT OR HEAD OR NUT AND WASHER. CUT OFF EXCESSIVE BOLT PROJECTION WHERE NECESSARY. NICK THREADS TO PREVENT LOOSENING.
- H. LAG SCREWS SHALL BE SCREWED AND NOT DRIVEN INTO PLACE. LAG SCREWS FASTENING ONE WOOD MEMBER TO ANOTHER SHALL HAVE A PENETRATION INTO FAR MEMBER OF NOT LESS THAN 1/3 OF THE LENGTH OF THE LAG SCREW MEASURED UNDER THE HEAD. ALL LAG SCREWS SHALL BE FITTED WITH WASHERS UNDER THE HEAD. IN PLACING LAG SCREWS IN WOOD, A HOLE SHALL FIRST BE BORED OF THE SAME DIAMETER AND DEPTH OF THE SHANK OF THE SCREW, AFTER WHICH THE HOLE SHALL BE CONTINUED TO A DEPTH EQUAL TO THE LENGTH OF THE LAG SCREW WITH A DIAMETER EQUAL TO THE DIAMETER OF THE SCREW AT THE ROOT OF THE THREAD.
- I. COMMON NAILS SHALL BE USED WHEN NAILING IS SPECIFIED ON THESE PLANS. SUCH AS AT SHEAR WALLS AND DIAPHRAGMS, ALL OTHER NAILING SHALL BE SUBMITTED TO THE ENGINEER WITH APPROPRIATE TESTING CERTIFICATION PRIOR TO CONSTRUCTION FOR APPROVAL.

TRUSS TO SILL OR GIRDER, TEOANAL	3-8d
BRIDGING TO JOIST, TEOANAL HEAD END	2-8d
SOLE PLATE TO JOIST OR BLOCKING, FACE NAIL	16d @ 16" o.c.
TOP PLATE TO STUD, END NAIL	2-16d
STUD TO SOLE PLATE, END NAIL OR 2-16d, END NAIL	16d @ 24" o.c.
DOUBLE STUDS, FACE NAIL	16d @ 16" o.c.
DOUBLE TOP PLATES, FACE NAIL	16d @ 16" o.c.
TOP PLATE LAPS AND INTERSECTIONS, FACE	2-16d
CONTINUOUS HEADER, TWO PIECES	16d @ 16" o.c. ALONG EACH SIDE
CONTINUING JOISTS TO PLATE, TEOANAL	3-8d
CONTINUING HEADER TO STUD, TEOANAL	4-8d
CEILING JOISTS, LAPS OR PARTITIONS	3-16d
CEILING JOISTS TO PARALLEL RAFTERS, FACE	3-16d
RAFTER OR TRUSS TO PLATE, TEOANAL	4-12d W/ H2.5 CLIP
BUILD-UP CORNER STUDS	16d @ 24" o.c.
BUILD-UP WOOD COLUMNS	16d @ 8" o.c. FOR 2X4'S 2 ROWS 16d @ 8" o.c. 2X6 OR GREATER
BUILD-UP GIRDER AND BEAMS	20d @ 32" o.c. at top and bottom and staggered 2'-0" at ENDS AND AT EACH SPICE

- * - SUPPLY RATED CLIPS OR STRAPS FOR UPLIFT FORCES OVER 200 LBS. AS NOTED BY THE ROOF TRUSS MANUFACTURER ON THE SUBMITTED DESIGN SHEETS.

- J. SHEATHING GRADE SHALL CONFORM TO PS-1 EXPOSURE AS FOLLOWS UNLESS NOTED OTHERWISE ON THE PLANS:
ORIENTED STRAND BOARD, STRUCTURAL PARTICLE BOARD, COMPOSITE BOARD, WATER BOARD AND PLYWOOD SHALL ALSO CONFORM TO NER-108.

ROOF SHEATHING AT SLOPED ROOF AREAS:

- 19/32 INCH THICK APA RATED PANEL (PLYWOOD OR OSB) WITH MINIMUM SPAN INDEX 24/0, NAILED WITH 8d @ 6" O.C. AT BUILDING PERIMETER AND SHEAR WALLS 8d @ 6" O.C. AT SUPPORTED ENDS OF EACH PANEL 8d @ 12" o.c. AT FIELD FOR EACH PANEL BLOCKING OF UNSUPPORTED EDGES SHALL NOT BE REQUIRED (U.N.O.)
- FLOOR PANEL:
23/32 INCH THICK T & G APA RATED PANEL PLYWOOD (PLYWOOD OR OSB) WITH MINIMUM SPAN INDEX 48/24 NAILED WITH 8d @ 6" O.C. AT BUILDING PERIMETER AND SHEAR WALLS 8d @ 6" O.C. AT SUPPORTED ENDS OF EACH PANEL 8d @ 12" o.c. AT FIELD FOR EACH PANEL BLOCKING OF UNSUPPORTED EDGES SHALL NOT BE REQUIRED (U.N.O.)

- K. LAY FLOOR AND ROOF PANEL WITH FACE GRAIN PERPENDICULAR TO FRAMING UNLESS SHOWN OTHERWISE ON THE PLANS. WHERE PANEL IS LAID WITH FACE GRAIN PARALLEL TO FRAMING, 5 PLY MINIMUM SHEATHING SHALL BE USED.
- L. FLOOR SHEATHING SHALL BE GUELED TO ALL SUPPORTING MEMBERS WITH AN ELASTOMERIC ADHESIVE CONFORMING TO ASTM D3498 - NAILS SHALL BE RING-SHANK TYPE.
- M. PROVIDE BLOCKING FOR ALL SHEAR WALLS AS NOTED. ALL SHEATHING AND PANELS SHALL HAVE A MINIMUM OF TWO-INCH NOMINAL BACKING AT EDGES.
- N. SILLS SHALL BE OF TREATED SOUTHERN YELLOW PINE. SHEAR WALLS AND EXTERIOR WALL SILLS OF CONCRETE SLAB SHALL HAVE 1/2" X 10" ANCHOR BOLTS SPACED AT 4'-0" O.C. MAX. REFER TO SHEAR WALL LAYOUT SHEETS. PRESSURE DRIVEN FASTENER OR EQUIVALENT SPACED AT 16" O.C. MAXIMUM WITH A 1-1/2" PENETRATION INTO SLAB. PLACE THE FIRST FASTENER AT 6" FROM THE END OF THE PLATE.
- O. LUMBER QUALITY: UNLESS NOTED OTHERWISE ON THE DRAWINGS, LUMBER SHALL BE AT LEAST OF THE GRADES SHOWN IN THE TABLE BELOW. ALL LUMBER SHALL NOT EXCEED 16% IN MOISTURE CONTENT AT THE TIME OF INSTALLATION IN THE STRUCTURE. ALL STUDS SHALL BE KILN DRIED AND STAMPED "KD".

MINIMUM LUMBER GRADES

TYPE	EXPOSURE	PRIMARY	SIZE	MINIMUM GRADE	MINIMUM CAPACITIES							
					F _b	F _v	F _x	E	F _c // F _c ⊥	F _c ⊥		
SAWN LUMBER	EXPOSED	PLATE	2X4	#3	PSI	850	980	90	1.4	975	565	
		HEAVY BEAMS	4X12	#2	825	-	90	1.2	1300	520		
		STUDS	2X4	#2	575	665	70	1.0	600	335		
		JOISTS AND BEAMS	2X	#3	1250	1450	95	1.6	1050	565		
		HEAVY POSTS	6X	#1	1300	-	85	1.6	925	525		
	GLULAM	ENCLOSED	HEAVY POSTS	4X4	#1	1200	-	85	1.6	1000	525	
			BEAMS	ANY	24-28	2400	-	165	1.8	1650	650	
			UPPER TWO FLOORS PLATES	2X4	S.P.F.	#3	850	980	90	1.4	975	335
			BOTTOM FLOOR PLATES (3 STORY)	2X4	S.P.F.	#3	850	980	90	1.4	975	565

- ** MULTIPLY ALL "E" VALUES BY 1,000,000 TO OBTAIN UNITS OF PSI.
- *** STUDS MAY BE INDUSTRY APPROVED FINGER JOINTED MATERIAL.
- **** BUILD-UP DETAILS OR MORE SPECIFICATIONS BY OWNER APPROVED MANUFACTURER. THE TRUSSES SHALL BE DESIGNED BY A PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF THE PROJECT. THE TRUSSES IN THE DESIGN, DETAILING, ERECTION, BRACING, AND BLOCKING OF THE TRUSSES SHALL BE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE TRUSS PLATE INSTITUTE, INC.

- P. PREFABRICATED PRE-ENGINEERED TRUSSES CONNECTED BY METAL PLATES SHOWN ON PLANS ARE PER SPECIFICATIONS BY OWNER APPROVED MANUFACTURER. THE TRUSSES SHALL BE DESIGNED BY A PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF THE PROJECT. THE TRUSSES IN THE DESIGN, DETAILING, ERECTION, BRACING, AND BLOCKING OF THE TRUSSES SHALL BE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE TRUSS PLATE INSTITUTE, INC.
- Q. TRUSS SHOP DRAWINGS SHALL SHOW THE TRUSS DESIGN LOADS, SIZE, AND LOCATION OF THE CHORDS AND WEBS. LOCATIONS OF THE JOINTS AND CONNECTIONS, SIZE AND TYPE AND LOCATION OF THE METAL PLATES AND ALL BRACING AND BLOCKING REQUIREMENTS.
- R. ROOF TRUSS UPLIFT FORCES SHALL BE NOTED WHEN THE TRUSS DESIGN LOADINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SUPPLYING THE PROPERLY SIZED ANCHORAGE TO SECURE THE TRUSS TO THE TOP PLATE.
- S. ALL BUILD BEARING BEAMS AND HEADERS SHALL BE KILN DRIED #2 GRADE SOUTHERN YELLOW PINE WITH AN ALLOWABLE BENDING STRESS AND MODULUS OF ELASTICITY AS SPECIFIED IN THE SOUTHERN PINE USE GUIDE DATED 2/92 (O LATEST EDITION) AS PREPARED BY THE SOUTHERN FOREST PRODUCTS ASSOCIATION. BEAMS AND HEADERS RATED AT #2 GRADE ARE INDICATED ON THE ASSOCIATION.
- T. FLITCH BEAMS AND MULTIPLE MEMBER WOOD BEAMS SHALL BE BOLTED TOGETHER WITH ONE 3/4" DIA. TOP AND BOTTOM OVER ALL SUPPORTS AND/OR AT THE END OF THE BEAM. IN ADDITION, PROVIDE 1/2" DIA. BOLTS AT 16" O.C. STAGGERED FULL LENGTH OF THE BEAM. STEEL PLATES FOR FLITCH BEAMS SHALL BE 1/2" THICK. ALL S.P.F. SPECIFICATIONS AND MATERIAL SHALL CONFORM TO A.S.T.M., A-36.
- U. BEAM-TO-COLUMN AND BEAM-TO-BEAM CONNECTIONS SHALL BE NAILED FOR BEAMS 2" IN WIDTH OR LESS AND BOLTED FOR BEAMS GREATER THAN 2" IN WIDTH (U.N.O.).
- V. WHERE MULTIPLE JOISTS OR HEADERS OCCUR, THERE SHALL BE A STUD FOR EACH MEMBER OF THE BEAM (I.E. PROVIDE DOUBLE STUDS UNDER DOUBLE JOISTS), (U.N.O.).
- W. STUDDING SHALL BE DOUBLE AT ALL ANGLES, CORNERS, AND AROUND ALL OPENINGS.
- X. UNLESS SHOWN OTHERWISE, MASONRY LINTELS OVER OPENINGS SHALL BE SUPPORTED BY STEEL ANGLES AS FOLLOWS:

SPAN	ANGLE
0' TO 4'	L 1 1/2" X 3 1/2" X 5/16"
4' TO 8'	L 5 X 3 1/2" X 5/16"
8' TO 12'	L 8 X 4 X 3/8"

- Y. ALL OUTSIDE CORNERS SHALL BE LATERALLY BRACED WITH 4"-0" X 8"-0" SHEETS OF 7/16" THICK APA RATED SHEATHING PANELS NAILED WITH 8d WALLS AT 8" O.C. ALONG THE EDGES AND AT 12" O.C. AT THE INTERIOR SIDES. LATERAL BRACING SHALL NOT EXCEED 25'-0" O.C. MEASURED AT THE EXTERIOR CORNERS INWARD.
- Z. PROVIDE A SINGLE PLATE AT THE BOTTOM AND A DOUBLE PLATE AT THE TOP OF ALL STUD WALLS. ALL UPPER FLOOR PLATES SHALL BE S.P.F.

BUILDING WALL STUDS

- A. 2 X 4 @ 16" O.C. SUPPORTING ROOF AND CEILING ONLY
- B. 2 X 4 @ 16" O.C. SUPPORTING ROOF, CEILING AND ONE FLOOR ONLY
- C. 2 X 4 @ 16" O.C. OR 3X6 @ 16" O.C. SUPPORTING ROOF, CEILING AND TWO FLOORS ONLY
- D. 2 X 4 @ 16" O.C. ALL NON-LOAD BEARING WALLS (U.N.O.)
- E. ALL WALLS NOTED IN THIS TABLE SHALL BE 2X6 @ 16" O.C. MIN.
- F. STUD SIZE UNLESS NOTED OTHERWISE
- G. 2 X 6 @ 16" O.C. AT ALL EXTERIOR WALLS

ACCESSORY BUILDINGS WALL STUDS

- A. 2 X 4 LOAD BEARING WALL STUDS SHALL BE KILN DRIED STUD GRADE SOUTHERN YELLOW PINE OR STUD GRADE DOUGLAS-FIR SOUTH WITH F_c (COMPRESSION // TO GRAIN) = 825 (PSI (MIN.) AND E (MODULUS OF ELASTICITY) = 1,100,000 PSI.
- B. 2 X 6 LOAD BEARING WALL STUDS SHALL BE KILN DRIED STUD GRADE SOUTHERN YELLOW PINE OR STUD GRADE DOUGLAS-FIR SOUTH WITH F_c (COMPRESSION // TO GRAIN) = 600 (PSI (MIN.) AND E (MODULUS OF ELASTICITY) = 1,100,000 PSI.
- C. 2 X 4 AND 2 X 6 NON-LOAD BEARING WALL STUDS SHALL BE KILN DRIED STUD GRADE SOUTHERN YELLOW PINE OR STUD GRADE DOUGLAS-FIR S WITH F_c (COMPRESSION // TO GRAIN) = 825 (PSI (MIN.) AND E (MODULUS OF ELASTICITY) = 1,100,000 PSI.
- D. WALL STUD SIZE AND SPACING SHALL BE:
I. 2 X 4 OR 2 X 6 (SEE ARCH. DRAWINGS) @ 16" O.C. SUPPORTING ROOF AND CEILING ONLY
II. 2 X 4 OR 2 X 6 (SEE ARCH. DRAWINGS) @ 24" O.C. ALL NON-LOAD BEARING WALLS
- E. ALL WALLS OVER 10' IN HEIGHT SHALL BE 2 X 6 AT 16" O.C. OR GREATER STUD SIZE UNLESS NOTED OTHERWISE. REFER TO ARCHITECTURAL DRAWINGS FOR WALL SIZES REQUIRED.

PARALLEL STRAND LUMBER (PSL)

- A. PARALLEL STRAND LUMBER SHALL BE PARALLAM BY MACLUMIN BLOEDEL OR EQUAL AND SHALL HAVE THE FOLLOWING MINIMUM PROPERTIES:
1. BENDING 2,900 PSI
2. COMPRESSION PARALLEL TO GRAIN 2,900 PSI
3. TENSION PARALLEL TO GRAIN 2,400 PSI
4. HORIZONTAL SHEAR 290 PSI
5. COMPRESSION PERPENDICULAR TO GRAIN 600 PSI
6. MODULUS OF ELASTICITY 2,000,000 PSI

- B. PSL BEAMS SHALL BE ERECTED AND INSTALLED IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS.
- C. NOTE: PSL BEAMS ARE MANUFACTURED WITH NO CAMBER.

LAMINATED VENEER LUMBER (LVL)

- A. THE DESIGN PROVISIONS FOR SOLID SAWN DOUGLAS FIR LUMBER IN THE CODE ARE APPLICABLE TO LVL MATERIALS.
- B. PROVIDE A MINIMUM OF THREE INCHES OF BEARING FOR LVL BEAMS, AND A MINIMUM OF TWO STUDS UNDER THE SUPPORTING PLATE UNLESS OTHERWISE NOTED.

- C. BEAMS SHALL BE LATERALLY SUPPORTED AT ALL POINTS OF BEARING.
- D. LVL BEAMS ARE NOT A CAMBERED PRODUCT AND WILL DEFLECT UNDER LOAD.
- E. NAILS INSTALLED PARALLEL TO THE GLUE LINES ON THE NARROW FACE SHALL NOT BE SPACED CLOSER THAN 4" FOR 10d COMMON NAILS AND 3" FOR 8d COMMON NAILS.
- F. NAILS INSTALLED PERPENDICULAR TO THE GLUE LINES ON THE WIDE FACE SHALL BE INSTALLED IN ACCORDANCE WITH THE BUILDING CODE.
- G. ASSEMBLE LVL LUMBER BEAMS WITH A MINIMUM OF 3 16d NAILS PER FOOT, FULLY PENETRATING EACH PIECE, UNLESS OTHERWISE NOTED.

BORED HOLES IN STUDS:

- A. A HOLE NOT GREATER IN DIAMETER THAN 40% OF THE STUD WIDTH MAY BE MADE IN ANY WOOD STUD. BORED HOLES NOT GREATER THAN 60% OF THE WIDTH OF ANY STUD ARE PERMITTED. NON-LOAD BEARING STUDS NOT MORE THAN 2" IN HEIGHT SHALL BE BOLTED TOGETHER. PROVIDED B. IN NO CASE SHALL THE EDGE OF THE BORED HOLE BE NEARER THAN 5/8" TO THE EDGE OF THE STUD. BORED HOLES SHALL NOT BE LOCATED AT THE SAME SECTION OF STUD AS A CUT OR NOTCH.

ALLOWABLE SPANS OF HEADERS (IN FEET) FOR BEARING WALLS					
ALL FRAMING @ 2'YP					
SIZE OF WOOD HEADER	NO. STORIES ABOVE (250 lbs/sq ft)	ONE STORY ABOVE (250 lbs/sq ft)	STORIES ABOVE (1050 lbs/sq ft)	ALLOWABLE SPAN OF HEADERS IN GARAGES OR WALLS NOT OVER 10' HIGH (150 lbs/sq ft)	ALLOWABLE SPAN OF HEADERS IN GARAGES OR WALLS NOT OVER 10' HIGH (150 lbs/sq ft)
2X4	UP TO 4'-0"	N/A	N/A	UP TO 5'-6"	UP TO 5'-6"
2X6	UP TO 5'-0"	UP TO 5'-0"	N/A	UP TO 9'-0"	UP TO 9'-0"
2X8	UP TO 8'-0"	UP TO 8'-0"	N/A	UP TO 10'-0"	UP TO 10'-0"
2X10	UP TO 10'-0"	UP TO 10'-0"	UP TO 3'-0"	UP TO 12'-0"	UP TO 12'-0"
2X12	UP TO 12'-0"	UP TO 8'-0"	UP TO 4'-0"	UP TO 14'-0"	UP TO 14'-0"

GEOTECHNICAL GENERAL NOTES

- A. A NET ALLOWABLE BEARING CAPACITY OF 2,000 POUNDS PER SQUARE FOOT WAS USED FOR THE DESIGN IN EITHER NATURAL, UNDISTURBED SOILS, OR IMPROVED EXISTING FILL SOILS PLACED AS PER THE GEOTECHNICAL ENGINEER'S RECOMMENDATIONS. GREY SHALL BEARING 20,000 PSF WITHIN 3' OF EXISTING GRADE AT TIME OF REPORT.
- B. ALL PAD FILL MATERIAL SHALL BE "SELECT FILL" MATERIAL. THE MOISTURE CONTENT OF THE FILL OR SELECT FILL MATERIAL SHALL BE WITHIN 2 PERCENTAGE POINTS OF THE OPTIMUM MOISTURE CONTENT AS DETERMINED BY THE STANDARD PROCTOR TEST. FILL MATERIAL SHALL HAVE A LIQUID LIMIT LESS THAN 50. THERE SHALL BE NO ROOTS, VEGETATION OR ANY OTHER UNDESIRABLE MATERIAL IN THE SOIL AND NO ROCKS LARGER THAN 4" IN DIAMETER.
- C. ALL TREES, STUMPS, BRUSH, ABANDONED STRUCTURES, ROOTS VEGETATION RUBBIS AND ANY OTHER UNDESIRABLE MATTER SHALL BE REMOVED AND DISPOSED OF. ALL VEGETATION SHALL BE REMOVED TO A DEPTH EXPOSED SURFACE SHALL BE SCARIFIED TO AN ADDITIONAL DEPTH OF AT LEAST 6".

PANEL "A" 120-208 Y (3 PH)								
DESCRIPTION	LOAD (W)	QUANTY	LOAD FACTOR	TOTAL LOAD (W)	MAX. LOAD (W)	VOLTAGE	POLES	"A"
GENERAL USE RECEPTACLE	300	32	0.6	9600	5760	120	1	12
GENERAL USE RECEPTACLE	300	32	0.6	9600	5760	120	1	12
ILLUMINATION #1	60	15	1	900	900	120	1	3.5
ILLUMINATION #2	60	15	1	900	900	120	1	3.5
RT UNIT 10 TON	10800	1	1	10800	10800	208	3	30
GFCI OUTLET	230	8	1	1840	1840	120	1	3.5
SPARE CIRCUITE	2400	1	0.6	2400	1440	120	1	
SPARE CIRCUITE	2400	1	0.6	2400	1440	120	1	
TOTAL PANEL LOAD=				28,840		TOTAL CURRENT PANEL=		138.65
IL @ 80% D.F. = 28840 x .80% x 1.25 /208 V								

ELECTRICAL PANEL 120-208 Y (65K)	
	LOAD (W)
LOAD DEMAND	28,840
TOTAL LOAD DEMAND	139
PANEL PROTECTION	300
FEEDER	#4 AV
GROUND AND NEUTRAL	#4 AV

ELECTRICAL LEGEND

NOTE: VERIFY BY OWNER - ALL ELECTRICAL AND LIGHTING LOCATIONS AND SPECS. INCLUDING SECURITY, AUDIOVISUAL, OUTDOOR ELECTRICAL, PANEL LOCATION, ETC.

GENERAL ELECTRICAL NOTES

- ALL ELECTRICAL DEVICES AND WORK SHALL COMPLY WITH THE HIGHEST STANDARD OF THE GOVERNING ELECTRICAL CODE.
- PERFORMANCE STANDARDS SHALL CONFORM TO ALL APPLICABLE CODES AND REGULATIONS AS ESTABLISHED BY GOVERNING AND APPROVAL AGENCIES.
- ALL DEVICES SHALL BE U.L. APPROVAL AND BEAR U.L. LABELS.
- UNLESS NOTED OTHERWISE, ALL SWITCHES AND OUTLETS HEIGHTS SHALL BE AS NOTED ON THESE DRAWINGS.
- SWITCH AND DUPLEX OUTLETS OF MULTIPLE SWITCHES UP TO (4) FOUR WHEN SHOWN ADJACENT TO EACH OTHER OR SHALL BE GROUNDED UNDER (1) ONE PLATE.
- VERIFY SERVICES AND LOCATION REQUIREMENTS FOR ALL APPLIANCES AND MECHANICAL EQUIPMENT PRIOR TO INSTALLATION.
- PROVIDE A MINIMUM OF TWO SEPARATE 20 AMP. CIRCUITS TO KITCHEN APPLIANCES.
- PROVIDE A MINIMUM OF ONE SEPARATE 20 AMP. CIRCUIT TO LAUNDRY APPLIANCES.

GREEN/ENERGY CODES

WATER EFFICIENCY:

- ALL LAUFRACETS TO HAVE AVERAGE FLOW OF 2.0 GAL/MIN OR LOWER.
- ALL SHOWER HEADS TO HAVE AN AVERAGE FLOW OF 2.0 GAL/MIN OR LOWER.
- ALL TOILETS TO BE 1.3 GAL PER FLUSH OR DUAL FLUSH OR WATER SENSE.
- SHOWERHEADS MUST BE ENERGY STAR RATED.

ENERGY EFFICIENCY:

- RESIDENCE TO BE EITHER 15% ABOVE 2012 IECC USING IEC3 SOFTWARE OR BE ENERGY STAR RATED.

HEAT ISLAND MITIGATION:

- 2" OR GREATER BLUED ROOF MUST BE ENERGY STAR QUALIFIED OR MAY USE A ROADIATE BARRIER OR USE SPRAY FOAM INSULATION AT THE ROOF DECK OR IN A VEGETATED ROOF.
- INSULATION R15 WALLS FOR ROOF RADIANT.
- WINDOWS UFACTOR 3 SHGC BARRIER.

INDOOR AIR QUALITY:

- ALL DUCT WORK MUST BE OUTSIDE OF THE RATED GARAGE ENVELOPE.
- CONDITIONED SPACE ABOVE OR ADJACENT TO GARAGE - ALL PENETRATION MUST BE SEALED.
- FLOOR AND DOORS WEATHERST TRIPPED.

STORM WATER:

- 70% OF NON-ROOF AREA MUST BE LANDSCAPED, HAVE PERMEABLE PAVING AND SLOPED FOR RUNOFF TO FILTRATION FEATURE.
- NO IRRIGATION SYSTEM.

GENERAL ELECTRICAL NOTES:

- ALL ELECTRICAL WORKS SHALL COMPLY IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS. THE APPLICABLE PROVISIONS OF THE LATEST EDITION OF THE NATIONAL ELECTRICAL CODE (NEC), THE RULES AND REGULATIONS OF THE LOCAL ENERGY AUTHORITY AND THE REQUIREMENTS OF THE LOCAL POWER COMPANY. THE ELECTRICAL WORKS SHALL BE DONE UNDER THE IMMEDIATE SUPERVISION OF A QUALY REGISTERED ELECTRICAL ENGINEER.
- WIRING METHOD SHALL BE AS FOLLOWS - A. FEEDERS AND RISERS - INTERMEDIATE METALLIC CONDUIT B. LIGHTING, POWER RECEPTACLE - POLYVINYL CHLORIDE CONDUIT SWITCH, 40 BRANCH OUT & AUXILIARY.
- ALL WIRES SHALL BE COPPER AND THERMOPLASTIC INSULATED TYPE "THW" UNLESS OTHERWISE INDICATED IN THE PLAN. THE MINIMUM SIZE OF WIRE FOR POWER AND LIGHTING CIRCUIT WIRE RUN SHALL BE 12AWG AND INSULATED FOR 900V VOLTS. SMALLEST RACEWAY SHALL BE 15MM2 TRADE/NOMINAL SIZE.
- ALL OUTLET BOXES SHALL BE GALVANIZED GAGE NO. 16 DEEP TYPES WITH FACTORY KNOCKOUTS.
- ALL MATERIALS TO BE USED SHALL BE BRAND NEW AND APPROVED TYPE FOR THE PARTICULAR LOCATION AND PURPOSE OF USAGE.
- GROUNDING SYSTEM SHALL BE PROVIDED TO ALL LIGHTING AND POWER CIRCUIT AS NATIONAL ELECTRICAL CODE REQUIREMENT.
- MOUNTING HEIGHT OF WIRING DEVICES SHALL BE AS FOLLOWS:

ELECTRICAL LEGEND

SYMBOL	DESCRIPTION
○	LIGHT FIXTURE AS SELECTED BY OWNER
○	WALL LIGHT FIXTURE AS SELECTED BY OWNER
○	RECESSED CAN LIGHT
○	RECESSED EYEBALL CAN LIGHT
○	12" LED STRIP LIGHT MOUNTED VERTICAL
○	24" UNDER COUNTER LIGHT FIXTURE
○	MOTOR SYMBOL (EXH. FAN, DISPOSAL, ETC.)
○	SINGLE POLE LIGHT SWITCH
○	3-WAY LIGHT SWITCH
○	DIMMABLE LIGHT SWITCH
○	MOTION DETECTOR
○	GROUND FAULT CURRENT INTERRUPTER DUPLEX OUTLET
○	WEATHER PROOF GROUND FAULT CURRENT INTERRUPTER DUPLEX OUTLET
○	DUPLEX OUTLET
○	QUAD OUTLET
○	PHONE
○	TELEVISION CABLE OUTLET
○	SAFETY SWITCH
○	CARBON MONOXIDE DETECTOR
○	SMOKE DETECTOR
○	CEILING FAN/LIGHT AS SELECTED BY THE OWNER

ELECTRICAL NOTES

- ELECTRICAL INSTALLATION SHALL MEET REQUIREMENTS OF APPROVED CITY CODES AND REGULATIONS.
- VERIFY UTILITIES AND LOCATIONS WITH CONTRACTOR.
- SWITCHED CONVENIENCE OUTLETS TO BE SWITCHED AT TOP OUTLET ONLY.
- SMOKE DETECTORS: 110 VOLT, COORDINATE W/ALARM SYSTEM. DETECTORS TO COMPLY WITH GOVERNING CODES AND REGULATIONS.
- PROVIDE 220V JUNCTION BOX AND OTHER REQUIRED WIRING FOR HVAC UNITS. VERIFY LOCATION WITH CONTRACTOR.
- VERIFY RANGE VENT POWER REQUIREMENTS WITH THE SUPPLIER.
- ALL EXTERIOR CONVENIENCE OUTLETS TO BE WATER PROOF AND ON A GROUND FAULT CIRCUIT.
- VERIFY ALL RECEPTACLE & WALL MOUNTED LIGHT FIXTURE LOCATIONS WITH OWNER AND/OR DESIGNER PRIOR TO ROUGH-IN.

TYPICAL ELECTRICAL MOUNTING HEIGHTS

RECEPTACLES:

AT ALL SPACES:
12" ABOVE FINISH FLOOR, U.N.O.

SWITCHES:

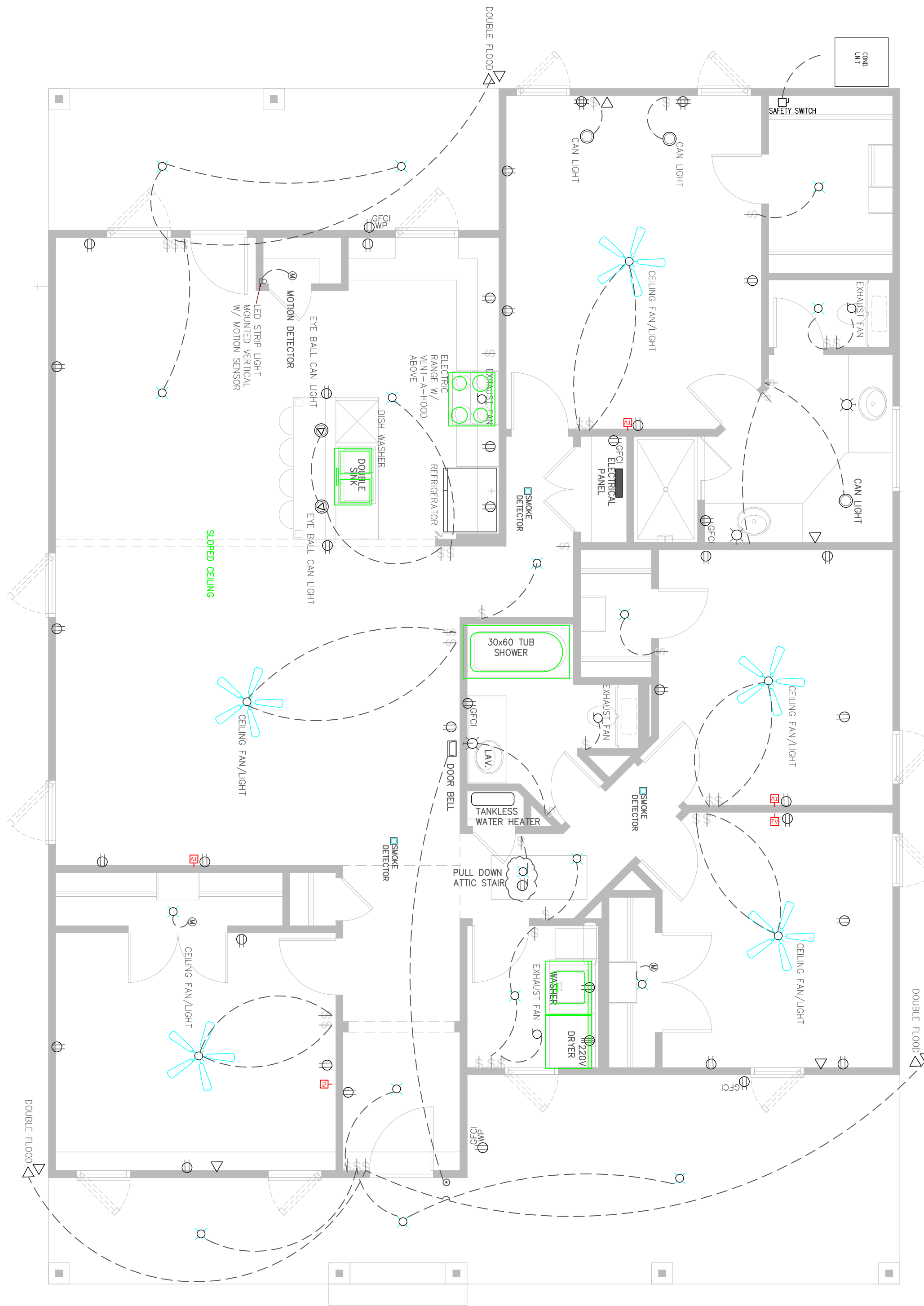
LOCATE PER EXISTING CODES ABOVE FINISH FLOOR TO CENTERLINE OF SWITCH, U.N.O.

WALL MOUNTED FIXTURES:

INTERIOR - 6"-8" ABOVE FINISH FLOOR TO CENTERLINE OF BRACKET, U.N.O.
EXTERIOR - 6"-10" ABOVE FINISH WALKING SURFACE TO CENTERLINE OF BRACKET, U.N.O.

ELECTRICAL ABBREVIATIONS

A/CTR. ABOVE COUNTER
B/B BASEBOARD
CLOCK CLOCK (RECESSED) RECEPTACLE, FIELD VERIFY HEIGHT WITH INTERIOR DESIGNER

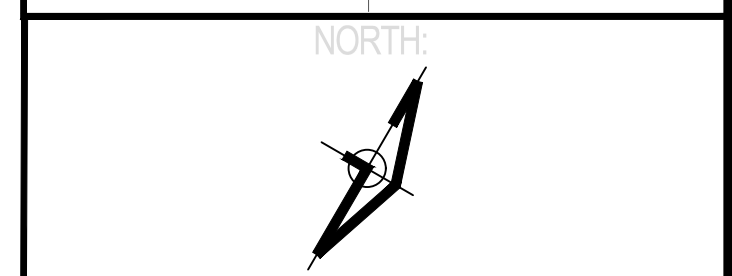


ELECTRICAL PLAN
SCALE: 1/4"=1'-0"

CITY APPROVAL SEAL/STAMP:

THESE PLANS ARE INTENDED TO PROVIDE BASIC CONSTRUCTION INFORMATION NECESSARY TO SUBSTANTIALLY BUILD THIS STRUCTURE. THESE PLANS MUST BE VERIFIED AND CHECKED BY THE BUILDER, HOMEOWNER, AND ALL CONTRACTORS OF THIS JOB PRIOR TO CONSTRUCTION. BUILDER SHOULD OBTAIN COMPLETE ENGINEERING SERVICES, HVAC, AND STRUCTURAL BEFORE BEGINNING CONSTRUCTION OF ANY KIND. NOTE: ALL FEDERAL, STATE, AND LOCAL CODES AND RESTRICTIONS TAKE PRECEDENCE OVER ANY PART OF THESE PLANS.

GREAT CARE AND EFFORT HAVE GONE INTO THE CREATION OF THESE BLUEPRINTS. HOWEVER, BECAUSE OF THE VARIANCE IN GEOGRAPHIC LOCATIONS, JUALM CONTRACTOR SERVICES, WILL NOT ASSUME LIABILITY FOR ANY DAMAGES DUE TO ERRORS, OMISSIONS, OR DEFICIENCIES ON THESE PLANS. OWNER/BUILDER MUST COMPLY WITH LOCAL BUILDING CODES PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE PURCHASE OF THESE PLANS ENTITLES THE BUYER TO CONSTRUCT THIS BUILDING ONLY ONCE. ANY COPYING, TRACING, OR ALTERING OF THESE PLANS IS NOT PERMITTED. VIOLATORS WILL BE SUBJECT TO PROSECUTION UNDER COPYRIGHT LAWS.



REVISIONS	
Date	Description

Project Name & Address:
NEW HOUSE
3604 MEADOW ST.
DALLAS TX.

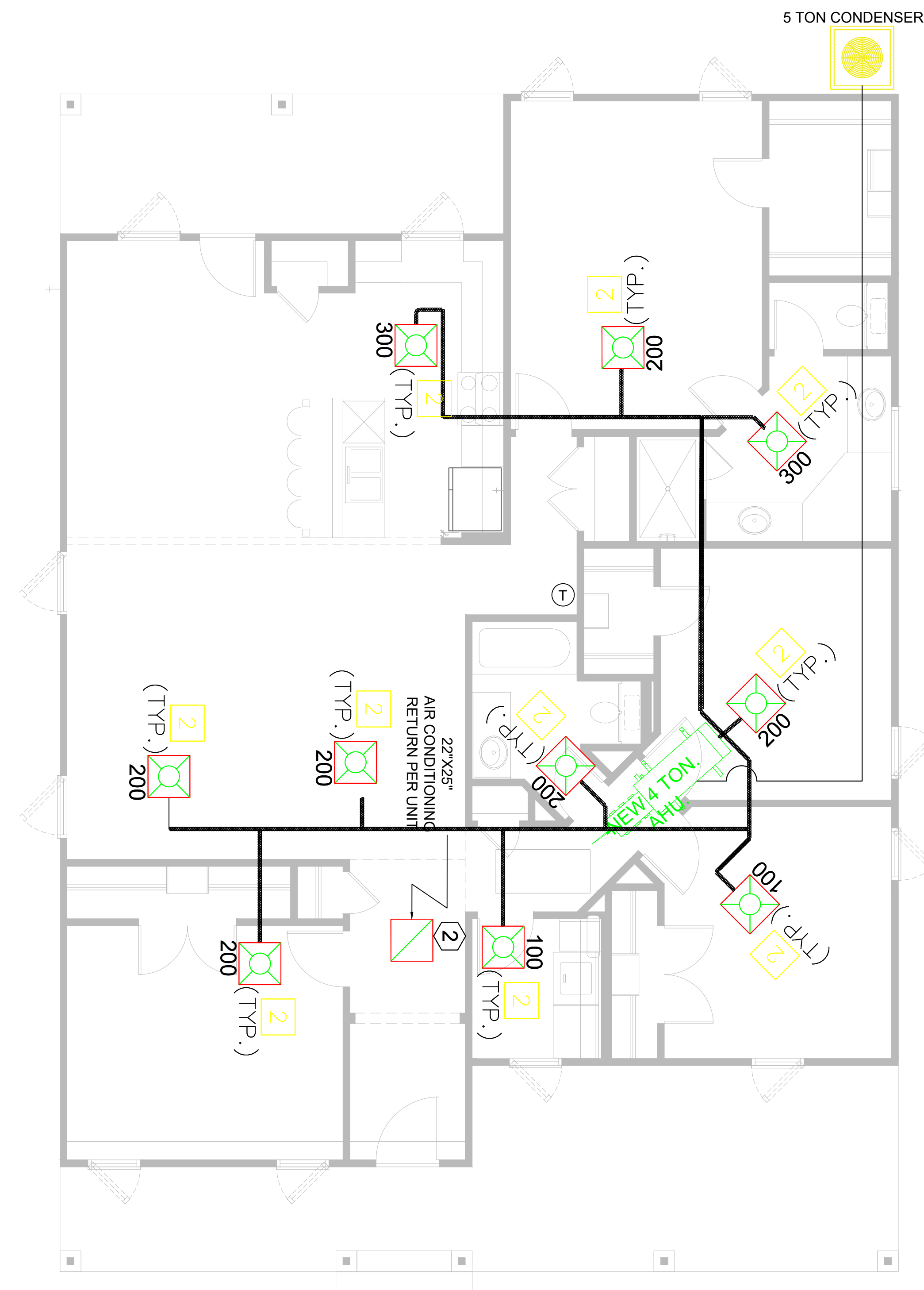
Sheet Title:
ELECTRICAL PLAN

Date:	JANUARY, 2026	
Scale:	1/4"=1'-0"	Sheet No.:
JUALM Project No.:		E1.00
Owner's Project No.:	N/A	
Size sheet.:	34X22	

SYMBOLS LIST	
	SUPPLY AIR DIFFUSER
	RETURN AIR GRILLE
	THERMOSTAT
	EXHAUST FAN
	DAMPER
	8" FLEXABLE DUCT

<p>① (1) 5 TONS AIR HANDLING UNIT WITH ELECTRIC HEAT TO BE PROVIDED AND INSTALLED BY MECHANICAL CONTRACTOR. PROVIDE WITH AUXILLIARY DRAIN PAN AND VIBRATION ISOLATORS. EXTEND CONDENSATE WASTE TO P. TRAP.</p> <p>② RETURN AIR</p> <p>③ 120V TOILET EXHAUST FANS TO BE SWITCHED WITH LOCAL LIGHTS.</p>	<p>HVAC / NOTES</p> <ol style="list-style-type: none"> HVAC COMPANY TO BE LICENSED AND REGISTERED AT TEXAS DEPARTMENT OF LICENSING AND REGULATIONS LICENSED HVAC COMPANY TO REVIEW AND APPROVE THESE DRAWINGS PRIOR APPLYING OR VALIDATING PERMIT ANY DISCREPANCY OR CHANGE TO BE RESOLVED BY LICENSED HVAC COMPANY LICENSED HVAC COMPANY TO COMPLY WITH EXISTING ENERGY AND MECHANICAL CODE LICENSED HVAC COMPANY TO PROVIDE REQUIRED ELECTRICAL INSTALLATION FOR THE UNIT CONDENSER ACCORDING TO ADOPTED ELECTRICAL CODE 	<p>HVAC GENERAL NOTES</p> <ol style="list-style-type: none"> COORDINATE THERMOSTAT LOCATION WITH HOMEOWNER COORDINATE DRYER VENT LENGTH AND TERMINATION LOCATION WITH PLUMBER AND MANUFACTURER COORDINATE ROUTING OF DUCTWORK TO AVOID EXISTING STRUCTURE MODIFICATION COORDINATE NATURAL GAS LINE FOR FURNACE WITH PLUMBER FOR LOCATION AND SIZE REQUIREMENTS COORDINATE NATURAL GAS LINE FOR FURNACE WITH PLUMBER FOR LOCATION AND SIZE REQUIREMENTS <p>SEE HVAC SYSTEM MANUFACTURER SPEC SHEETS AND ELECTRICAL INSTALLATION REQUIREMENTS</p>
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AC BTU CALCULATION			
SQFT (w/out garage)	BTU	WATTS	CALCULATION
1,807	42,887	12,569	3.6

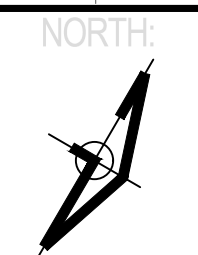


MECHANICAL PLAN
SCALE: 1/4"=1'-0"

CITY APPROVAL SEAL/STAMP:

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GREAT CARE AND EFFORT HAVE GONE INTO THE CREATION OF THESE BLUEPRINTS; HOWEVER, BECAUSE OF THE VARIANCE IN GEOGRAPHIC LOCATIONS, JULY CONTRACTOR SERVICES, WILL NOT ASSUME LIABILITY FOR ANY DAMAGES DUE TO ERRORS, OMISSIONS, OR DEFICIENCIES ON THESE PLANS. OWNER/BUILDER MUST COMPLY WITH LOCAL BUILDING CODES PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE PURCHASE OF THESE PLANS ENTITLES THE BUYER TO CONSTRUCT THIS BUILDING ONLY ONCE. ANY COPYING, TRACING, OR ALTERING OF THESE PLANS IS NOT PERMITTED. VIOLATORS WILL BE SUBJECT TO PROSECUTION UNDER COPYRIGHT LAWS.



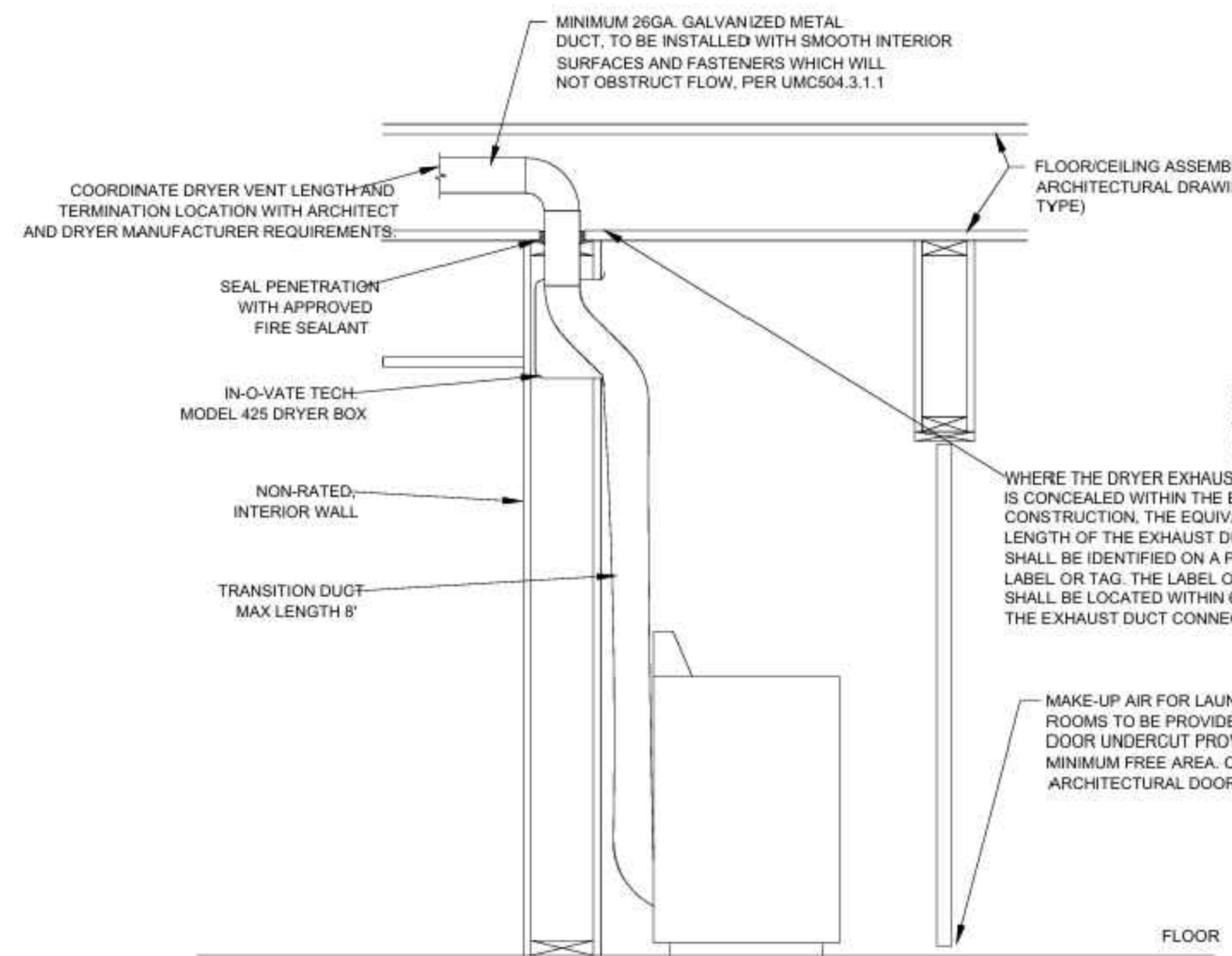
REVISIONS	
Date	Description

Project Name & Address:
NEW HOUSE
 3604 MEADOW ST.
 DALLAS TX.

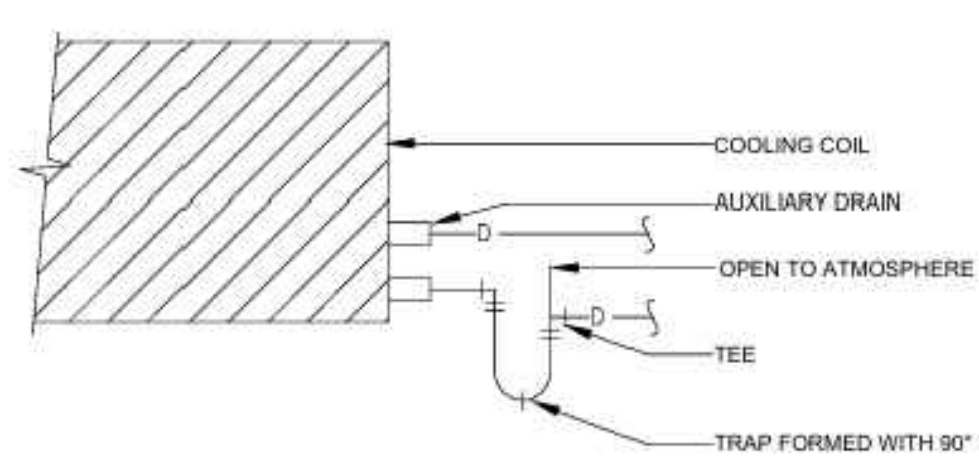
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HVAC PLAN

Date:
 JANUARY, 2026

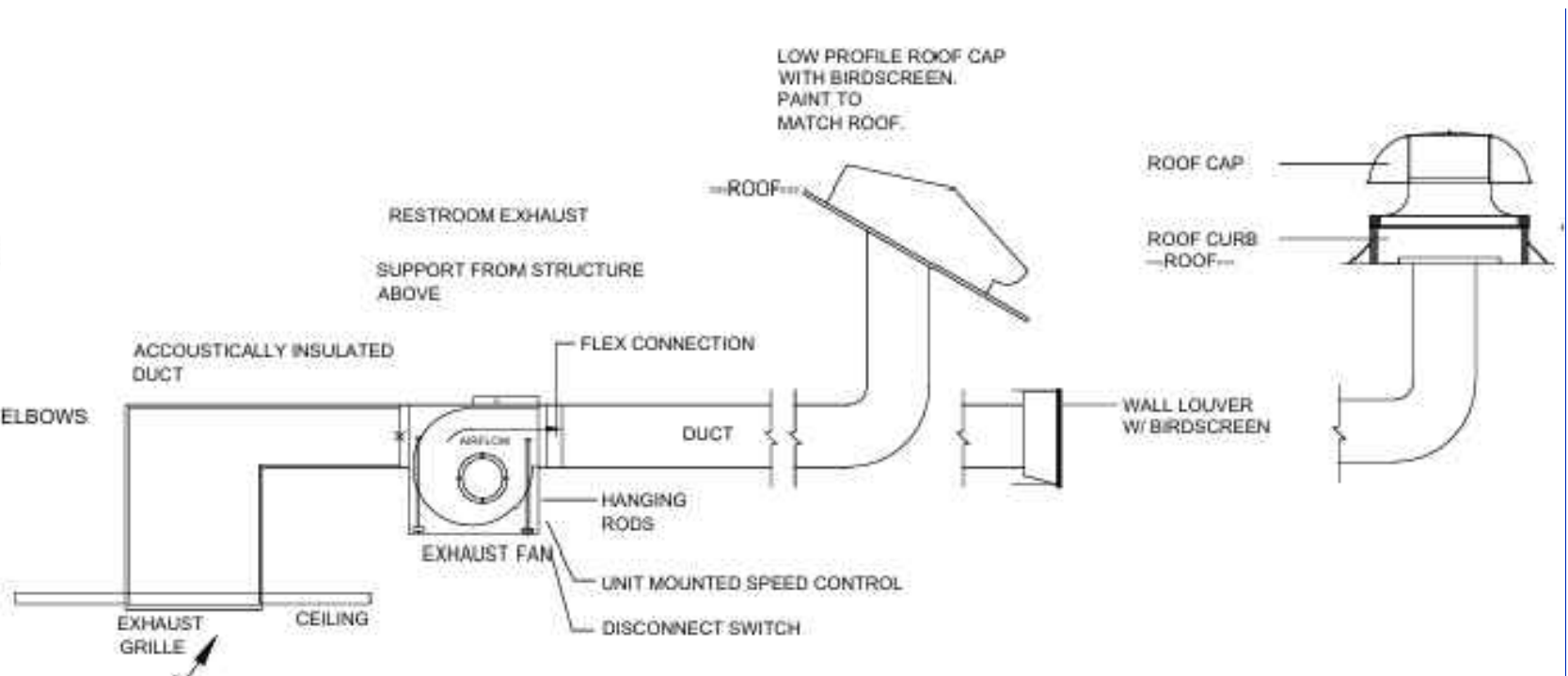
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JUALM Project No.:	
Owner's Project No.: N/A	
Size sheet: 34X22	



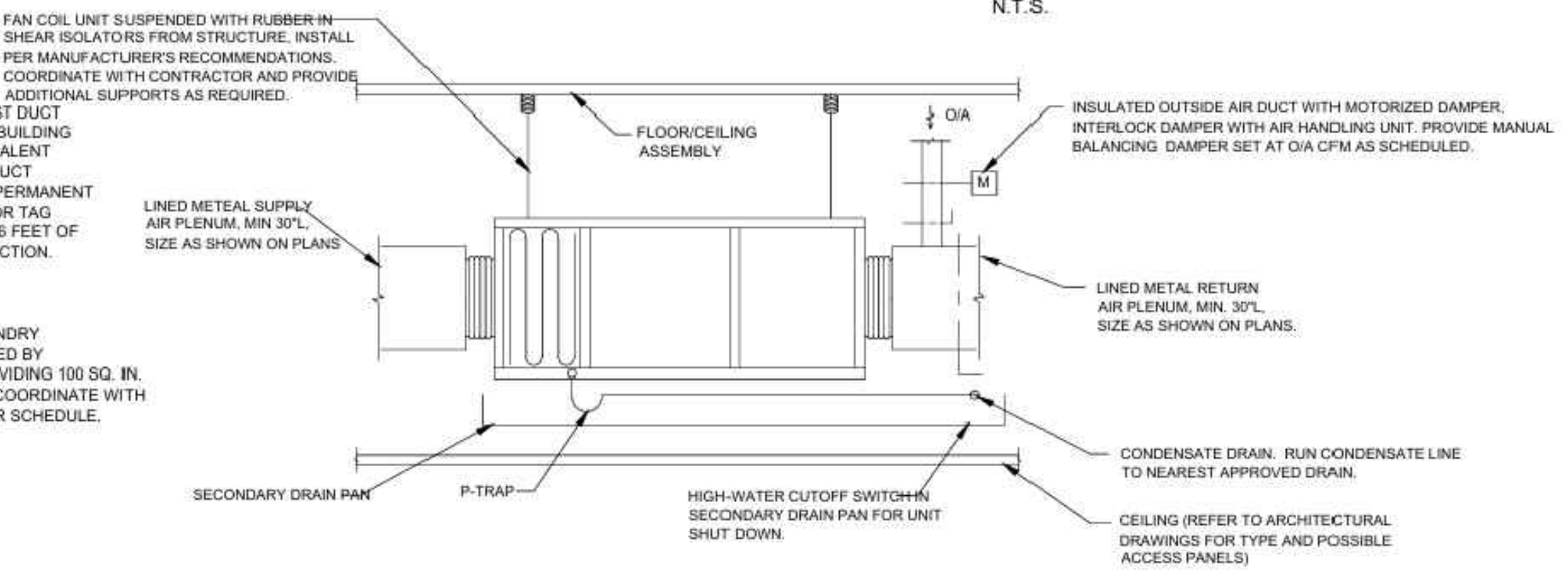
Dryer Vent Detail
N.T.S.



Typical Condensate Piping Detail
N.T.S.



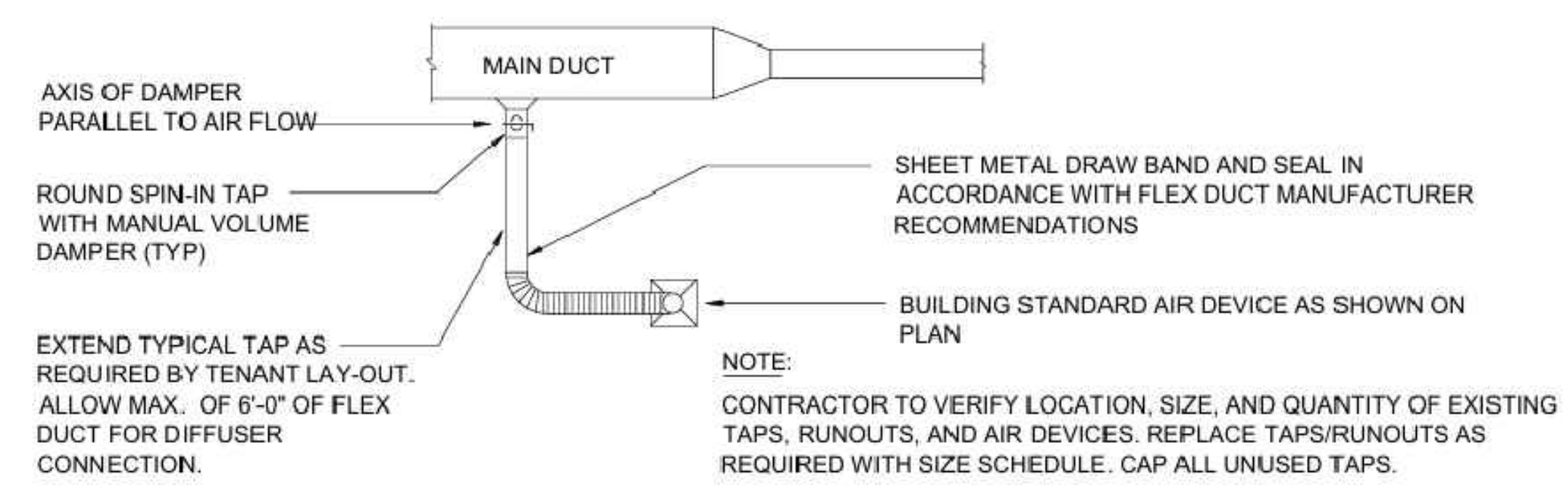
Inline Exhaust Fan Detail
N.T.S.



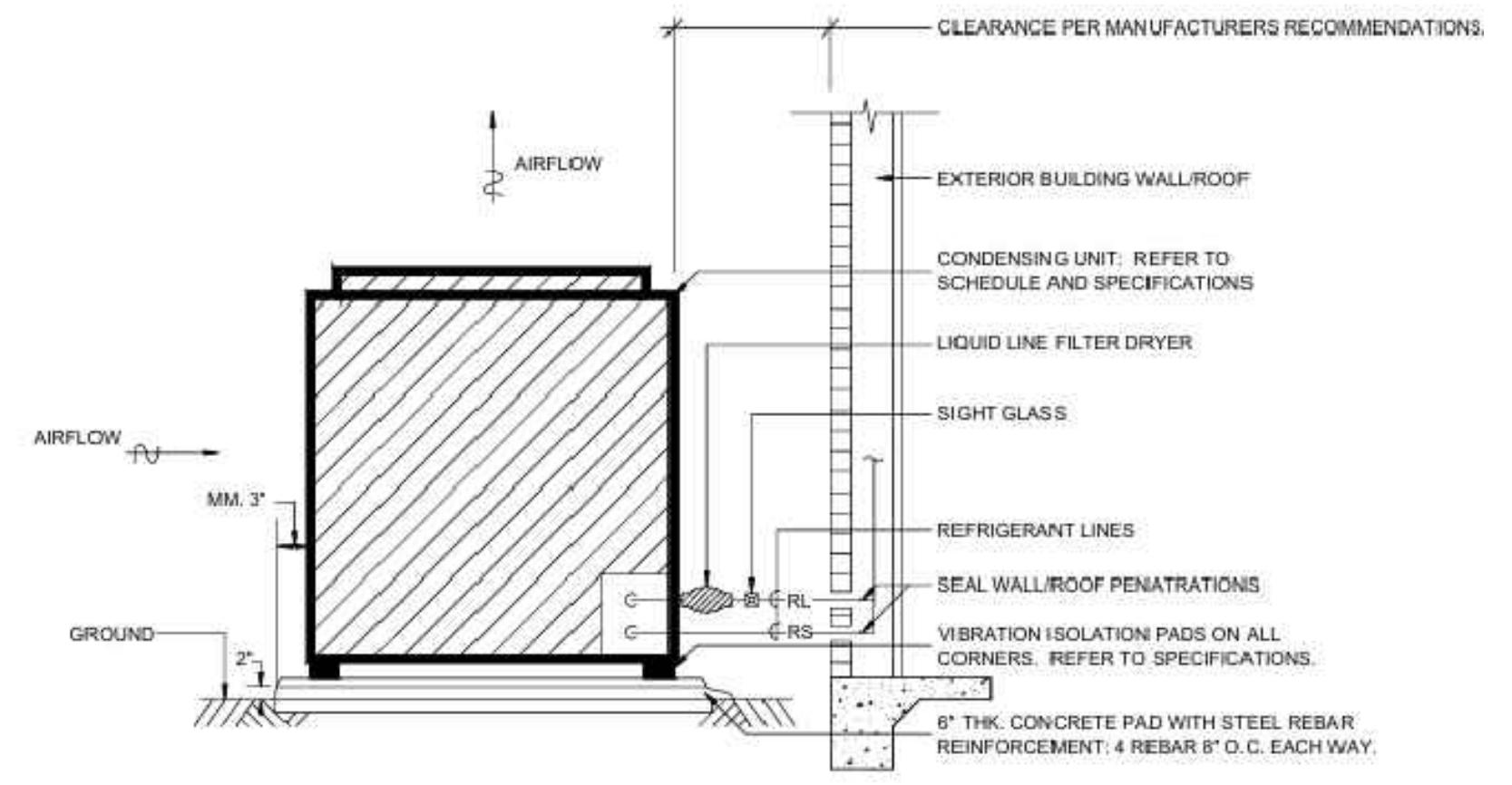
Typical Horizontal FCU Detail
N.T.S.

1 HVAC STANDARDS
N.T.S.

- NEW SUPPLY DIFFUSER
- NEW RETURN GRILLE



Diffuser Connection Detail
N.T.S.



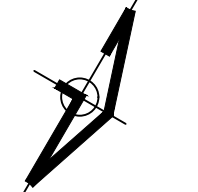
Condensing Unit Detail
N.T.S.

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NORTH



REVISIONS

Date	Description

Project Name & Address:

NEW HOUSE
3604 MEADOW ST.
DALLAS TX.

Sheet Title:

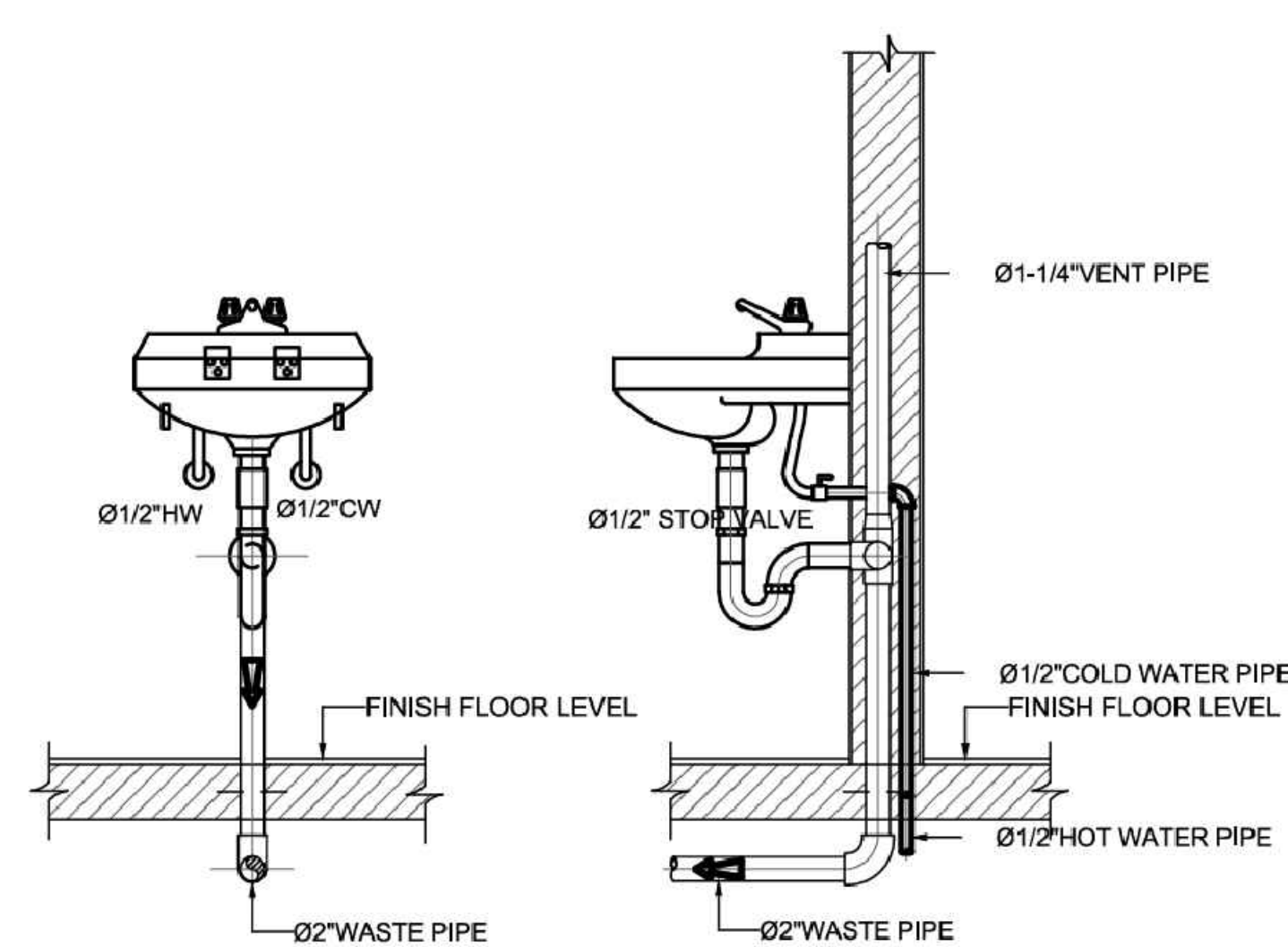
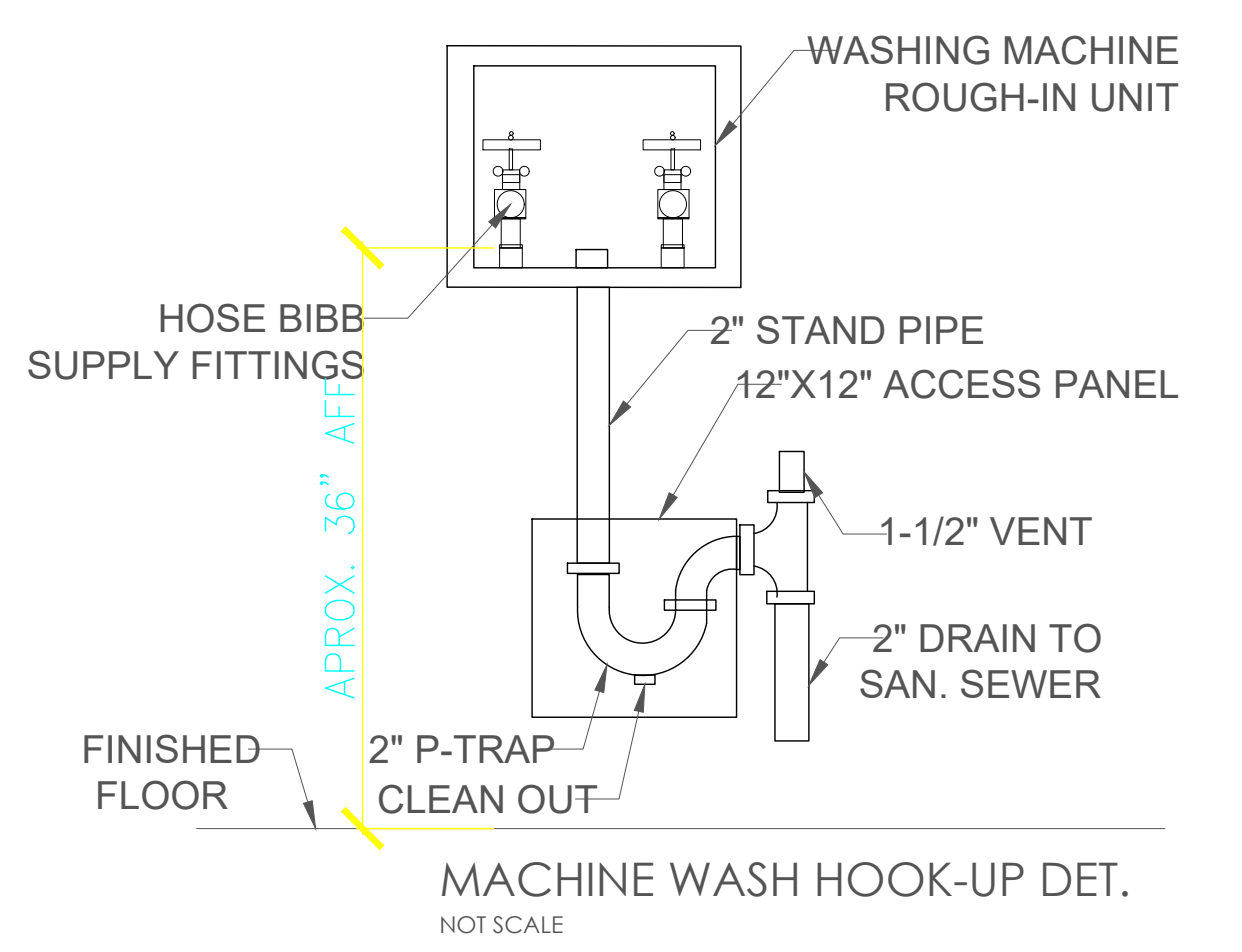
MECHANICAL DETAILS PLAN

Date: JANUARY, 2026

Scale: NOT TO SCALE	Sheet No.: M1.01
JUALM Project No.:	
Owner's Project No.: N/A	
Size sheet: 34X22	

PLUMBING LEGEND	
SYMBOL	DESCRIPTION
	COLD WATER LINE
	HOT WATER LINE
	SANITARY SEWER LINE
	TANK LESS WATER HEATER
	VENT PIPE
	SANITARY CONNECTION

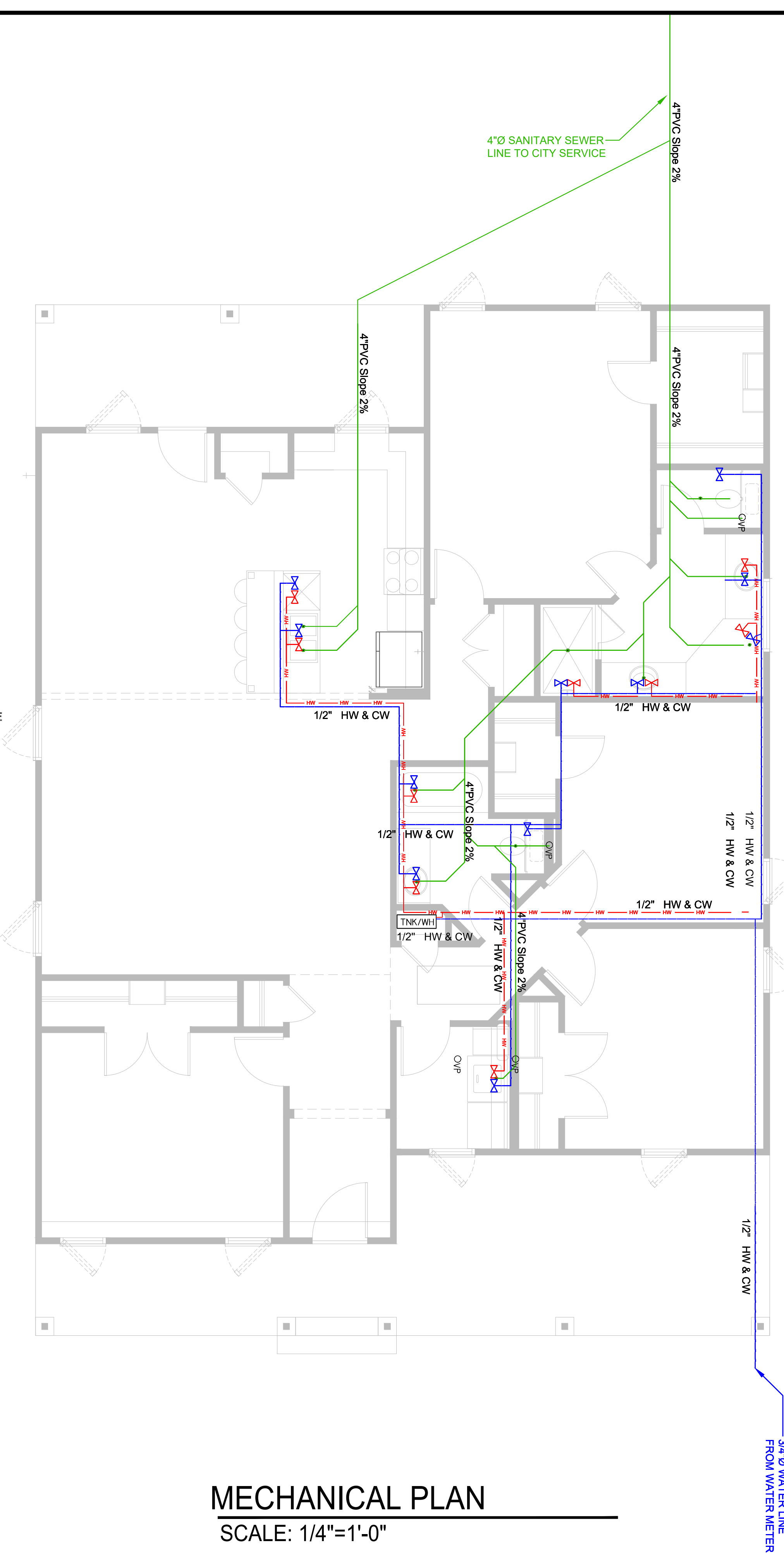
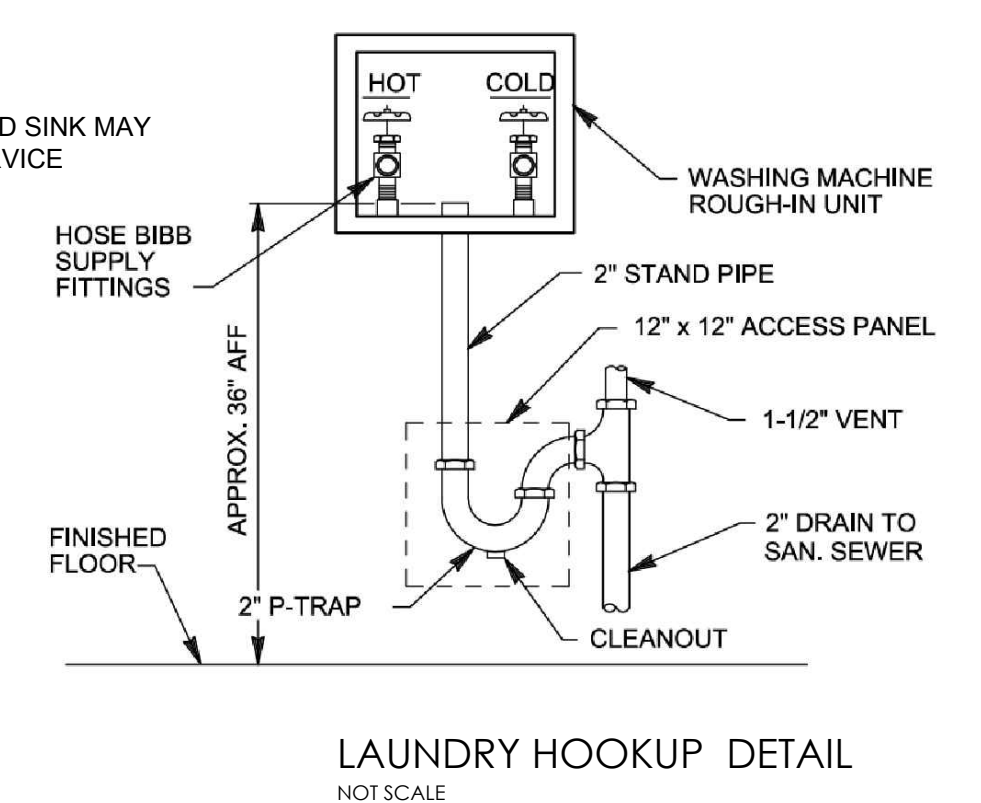
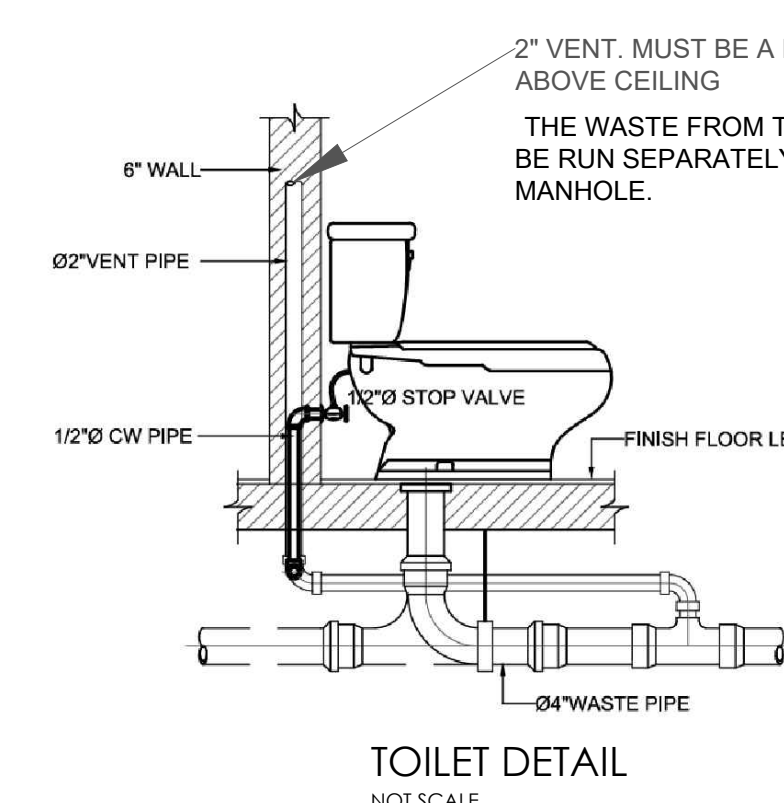
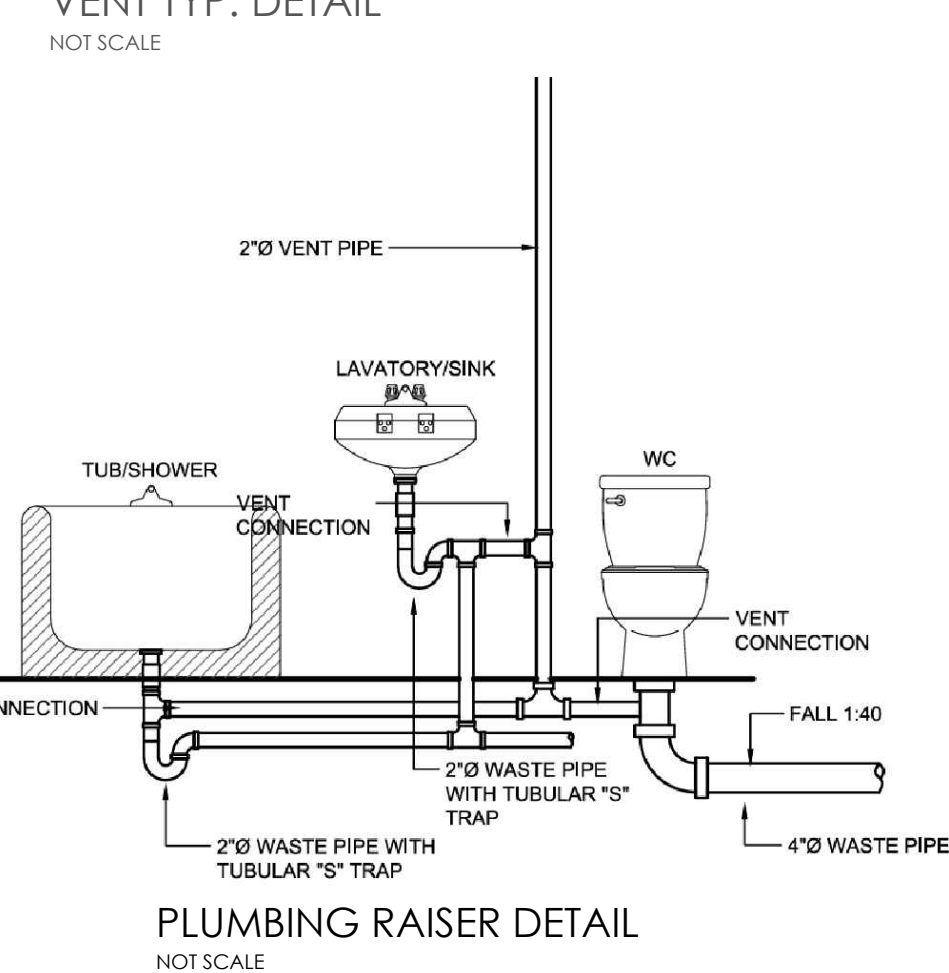
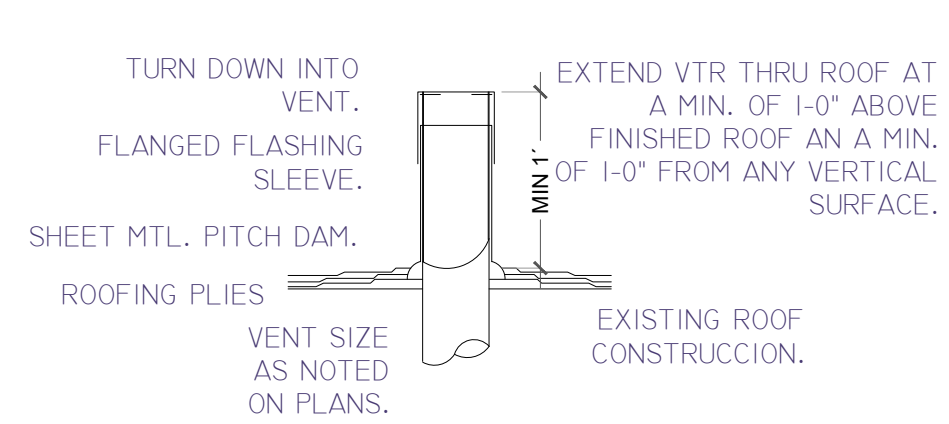
- ### PLUMBING GENERAL NOTES
- ALL PIPING SHALL BE ROUTED ABOVE CEILING UNLESS OTHERWISE INDICATED. ALL PIPING EXPOSED TO VIEW SHALL BE ROUTED AS HIGH AS POSSIBLE AND TIGHT TO THE UNDERSIDE OF STRUCTURE.
 - ALL PIPING SHALL BE CONCEALED IN WALLS AND BEHIND FIXED FURNISHINGS UNLESS OTHERWISE INDICATED.
 - EXPOSED PIPING IN FINISHED AREAS SHALL BE CHROME PLATED WITH CHROME PLATED ESCUTCHEON AT PIPE ENTRY TO FINISHED AREA.
 - SLEEVE OR CORE-DRILL FLOOR SLABS, WALLS, ETC. AS REQUIRED FOR PIPING AND FIRE-STOP OPENING AROUND PIPE. VERIFY LOCATION OF STRUCTURAL BEAMS, JOISTS, ETC BEFORE DRILLING.
 - ALL OPENING IN DRAINAGE AND/OR VENT SYSTEMS AS A RESULT OF INSTALLATION ROUGH-IN SHALL BE PROTECTED WITH A TEST PLUG THAT IS SECURELY LOCKED IN PLACE UNTIL FINAL FINISHED CONNECTIONS ARE INSTALLED.
 - WHEREVER FOUNDATION WALLS, OUTSIDE WALLS, ROOFS, ETC. ARE PENETRATED FOR INSTALLATIONS OF SYSTEMS, THEY SHALL BE PATCHED TO MATCH EXISTING CONSTRUCTIONS AND SEALED WEATHER TIGHT.
 - PROVIDE CLEANOUTS AT THE END OF EACH HORIZONTAL RUN, AND AT THE BASE OF ALL VERTICAL WASTE AND DRAIN PIPES. CLEANOUTS SHALL BE OF THE SAME SIZE AS THE PIPES THEY SERVE.
 - ACCESS PANELS SHALL BE PROVIDED WHERE CONCEALED CONTROL DEVICES, VALVES, ETC. ARE CONCEALED WITHIN WALLS. WHERE ACCESS FOR ADJUSTMENT AND MAINTENANCE IS POSSIBLE THROUGH LAY-IN SUSPENDED CEILINGS, ACCESS PANELS ARE NOT REQUIRED.
 - ALL PIPING SHALL BE RUN PARALLEL TO BUILDING LINES AND SUPPORTED AND ANCHORED AS REQUIRED TO FACILITATE EXPANSION AND CONTRACTION.
 - INSTALL ALL PIPING AS REQUIRED TO MEET ALL CONSTRUCTION CONDITIONS AND TO ALLOW FOR INSTALLATION OF OTHER WORK INCLUDING DUCTS AND ELECTRICAL CONDUIT.
 - PROVIDE AN INSULATING, DIELECTRIC UNION AT ALL CONNECTIONS BETWEEN FERROUS AND NONFERROUS PIPING.
 - PROVIDE ALL FITTINGS, ACCESSORIES, OFFSETS AND MATERIALS NECESSARY TO FACILITATE THE PLUMBING SYSTEMS FUNCTIONING AS INDICATED BY THE DESIGN AND THE EQUIPMENT INDICATED.
 - COORDINATED LOCATION OF FLOOR DRAINS IN MECHANICAL ROOMS WITH MECHANICAL EQUIPMENT.



FIXTURE SCHEDULE:

FIXTURE	DESCRIPTION	CW	HW	WASTE	VENT
TOILET	AMERICAN STANDARD CADET NO. EL. 1.5 GPF 2162-170 - WHITE.	1"	-	4"	4"
LAVATORY	AMERICAN STANDARD "LUCERNE" 0356.015.020 FAUCET: CHICAGO FAUCET - 2 GAL.(095-317-E29-327A-60)	1"	-	4"	4"
TUB	BY OWNER 2 GPM				
FLOOR CLEANOUTS	PLASTIC ODDITIES #PCO-700-RS WISQ. MTL.TOP			4"	
EXT. CLEAN OUT	PLASTIC ODDITIES #PCA-4BP WIRECESSED HEAD BRASS PLUG.			3", 4"	
WALL CLEAN OUT	PLASTIC ODDITIES #PCA-4 WIRECESSED HEAD PLASTIC PLUG INSTALLED IN PVC TEE WITH PLASTIC ODDITIES A-1212 ACES.			4"	

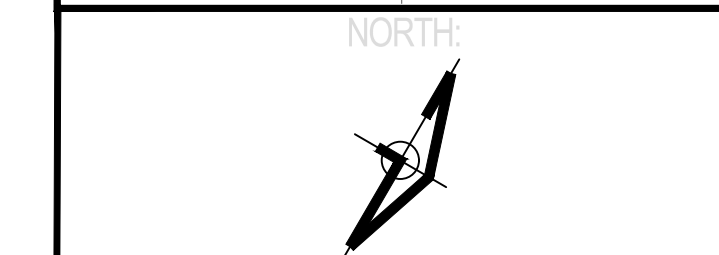
NOTES:
1. SIZES SHOWN ARE MINIMUM UNIFORM PLUMBING CODE REQUIREMENTS FOR TRAPS, TRAP ARMS & ROUGH-IN CONNECTIONS.
2. IF CAST IRON NO-HUB PIPE IS USED, WASTE AND VENT PIPE SHALL BE 2" MINIMUM.



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REVISIONS	
Date	Description

Project Name & Address:
NEW HOUSE
3604 MEADOW ST.
DALLAS TX.

Sheet Title:
PLUMBING PLAN

Date: **JANUARY, 2026**

Scale: 1/4"=1'-0"	Sheet No.:
JUALM Project No.:	P1.00
Owner's Project No.:	
Size sheet.:	
34X22	