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**LANDMARK COMMISSION****April 6, 2026**

FILE NUMBER: COA-26-000056  
LOCATION: 5020 Swiss Ave  
STRUCTURE: Contributing

PLANNER: Christina Pares  
DATE FILED: February 12, 2026  
DISTRICT: Swiss Ave (H-1)  
ZONING: PD-68

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**APPLICANT:** Marcus Taylor

**REPRESENTATIVE:** N/A

**OWNER:** William Munck

**REQUEST(S):**

1. A Certificate of Appropriateness to replace existing French doors on south elevation with French doors to match existing.
2. A Certificate of Appropriateness to replace and resize existing bay windows on south elevation.
3. A Certificate of Appropriateness to replace and enclose existing non-original door on west elevation with window and salvaged brick.

**STAFF RECOMMENDATION:**

1. That the request for a Certificate of Appropriateness to replace existing French doors on South elevation with French doors to match existing be approved in accordance with drawings and specifications dated 4/6/2026. The proposed work is consistent with preservation criteria Sec. 51P-63.116(1)(P); City Code Section 51A-4.501(g)(6)(C)(i) for contributing structures; and/or the Secretary of the Interior's Guidelines for Rehabilitation (District/Neighborhood).
2. That the request for a Certificate of Appropriateness to replace and resize exiting bay windows on South elevation be approved in accordance with drawings and specifications dated 4/6/2026. The proposed work is consistent with preservation criteria Sec. 51P-63.116(1)(P); City Code Section 51A-4.501(g)(6)(C)(i) for contributing structures; and/or the Secretary of the Interior's Guidelines for Rehabilitation (District/Neighborhood).
3. That the request for a Certificate of Appropriateness to replace and enclose existing non-original door on West elevation with window and salvaged brick be approved in accordance with drawings and specifications dated 4/6/2026. The proposed work is consistent with preservation criteria Sec. 51P-63.116(1)(P); City Code Section 51A-4.501(g)(6)(C)(i) for contributing structures; and/or the Secretary of the Interior's Guidelines for Rehabilitation (District/Neighborhood).

## **TASK FORCE RECOMMENDATION:**

1. That the request for a Certificate of Appropriateness to replace existing French doors on South elevation with French doors to match existing be approved as shown.
2. That the request for a Certificate of Appropriateness to replace and resize exiting bay windows on South elevation be approved as shown.
3. That the request for a Certificate of Appropriateness to replace and enclose existing non-original door on West elevation with window and salvaged brick be approved as shown.

## **BACKGROUND / HISTORY:**

N/A

## **RELEVANT PRESERVATION CRITERIA:**

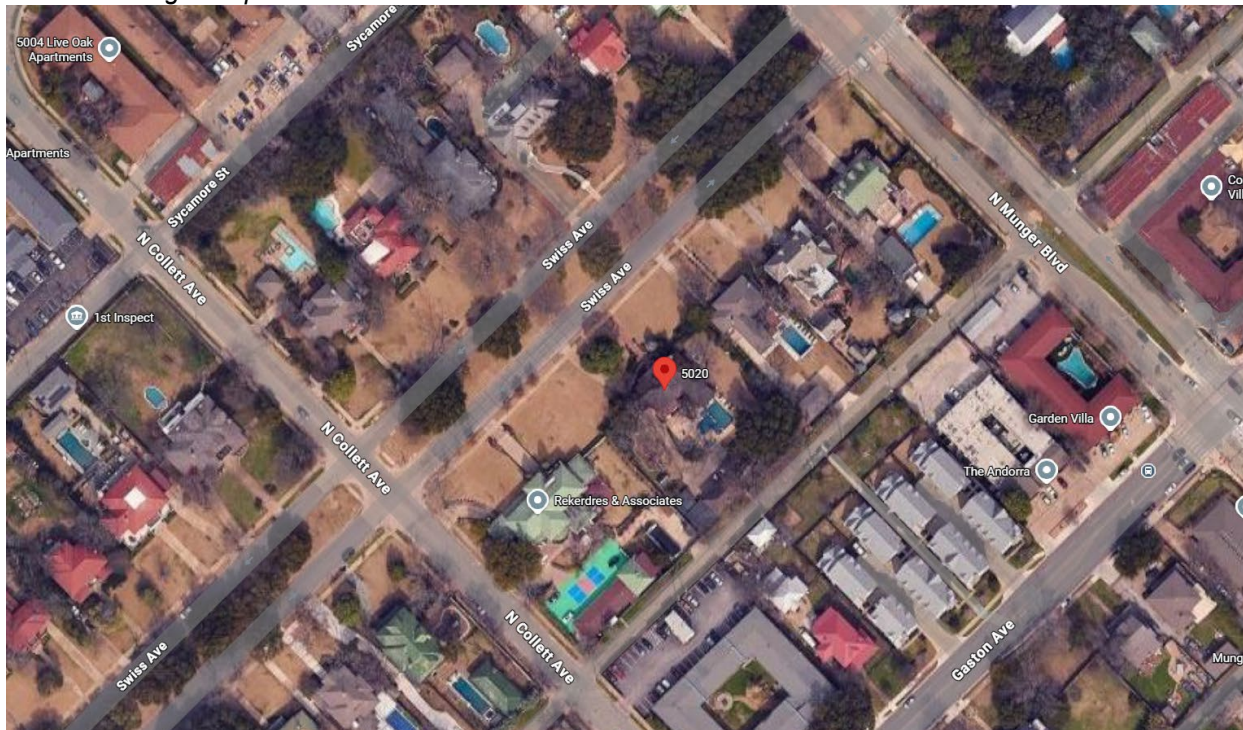
1. Swiss Avenue Historic District (H-11); Ordinance No. 18563
2. Secretary of the Interior's Standards/Guidelines for Rehabilitation (District / Neighborhood)
  - **Recommended:** *Identifying, retaining, and preserving features of the building site that are important in defining its overall historic character. Site features may include walls, fences, or steps; circulation systems, such as walks, paths or roads; vegetation, such as trees, shrubs, grass, orchards, hedges, windbreaks, or gardens; landforms, such as hills, terracing, or berms; furnishings and fixtures, such as light posts or benches; decorative elements, such as sculpture, statuary, or monuments; water features, including fountains, streams, pools, lakes, or irrigation ditches; and subsurface archeological resources, other cultural or religious features, or burial grounds which are also important to the site.*
  - **Not Recommended:** *Removing or substantially changing buildings and their features or site features which are important in defining the overall historic character of the property so that, as a result, the character is diminished.*
3. City Code Section 51A-4.501(g)(6)(C)(i):

*The landmark commission must grant the application if it determines that:*  
*(i) for contributing structures, the proposed work is compatible with the historic overlay district.*

## LOCATION MAPS

5020 Swiss Ave

Source: Google Maps



## CURRENT PHOTOS

5020 Swiss Ave





**CONTEXT PHOTOS**  
5020 Swiss Ave



**ATTACHMENTS:**

- **Task Force Recommendation Form**
- **Current Drawings**

**TASK FORCE  
RECOMMENDATION(S)**

**TASK FORCE RECOMMENDATION REPORT**  
**SWISS AVENUE/MUNGER PLACE**

DATE: 3/10/2026

TIME: 4:00 pm

MEETING PLACE: Hybrid Virtual/1500 Marilla St

Applicant Name:

Address: 5020 Swiss Ave

Date of CA/CD/CR Request:

**RECOMMENDATION:**

Approve     Approve with conditions     Deny     Deny without prejudice

Recommendation / comments / basis: *Greg & Aaron - as submitted*

*1. Bay windows - as submitted*

*2. French doors - as submitted*

*3. Replace side door with windows - as submitted*

Task force members present

Emily Stevenson (Chair)

Kari Houston Osborn

Aaron Trecartin

Rhody Parrish (Prof)

Bob Cox (Swiss Res)

VACANT (Prof)

Greg Johnston

Sharon van Buskirk

VACANT (Swiss alt)

Ex Officio staff members present:  Christina Paress

Simply Majority Quorum:  yes     no (four makes a quorum)

Maker: *Greg*  
2<sup>nd</sup>: *Aaron*

Task Force members in favor:

Task Force members opposed:

Basis for opposition:

CHAIR, Task Force

DATE

*3/10/26*

The task force recommendation will be reviewed by the Landmark Commission on Monday, April 6, 2026, via videoconference. The Landmark Commission public hearing begins at 1:00 P.M. via videoconference, which allows the applicant and citizens to provide public comment.

**APPLICATION FOR  
CERTIFICATE OF APPROPRIATENESS**



**SITE PLAN NOTES:**

1. CONTRACTOR IS RESPONSIBLE TO LOCATE ALL UTILITIES PRIOR TO STARTING CONSTRUCTION.
2. PROVIDE PROPER PROTECTION FOR ALL TREES TO REMAIN TO FOR THE TREES AS WELL AS THE ROOT SYSTEMS.
3. PROVIDE PROPER EXPANSION AND CONTROL JOINTS FOR ALL EXTERIOR CONCRETE WORK.
4. REVIEW SOIL REPORT IF AVAILABLE PRIOR TO COMMENCING CONSTRUCTION.
5. PRE-TREAT SITE WITH TERMICIDE FOR TERMITES UNDER FOUNDATION.
6. SIDE WALK FINISHES TO BE A SMOOTH FINISH.
7. DRIVEWAY TO BE A SMOOTH FINISH.
8. PROVIDE POSITIVE DRAINAGE AWAY FROM RESIDENCE.
9. IN EVENT OF A DROUGHT DURING CONSTRUCTION WATER EXISTING TREES TO ENSURE THEIR SURVIVAL DURING CONSTRUCTION.
10. WATER SHALL NOT BE REDIRECTED TO DRAIN ON ADJOINING LOTS

UTILITIES

POWER DROP

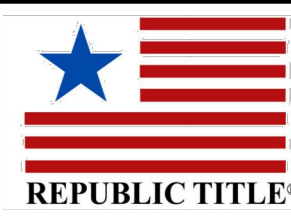
GAS

WATER

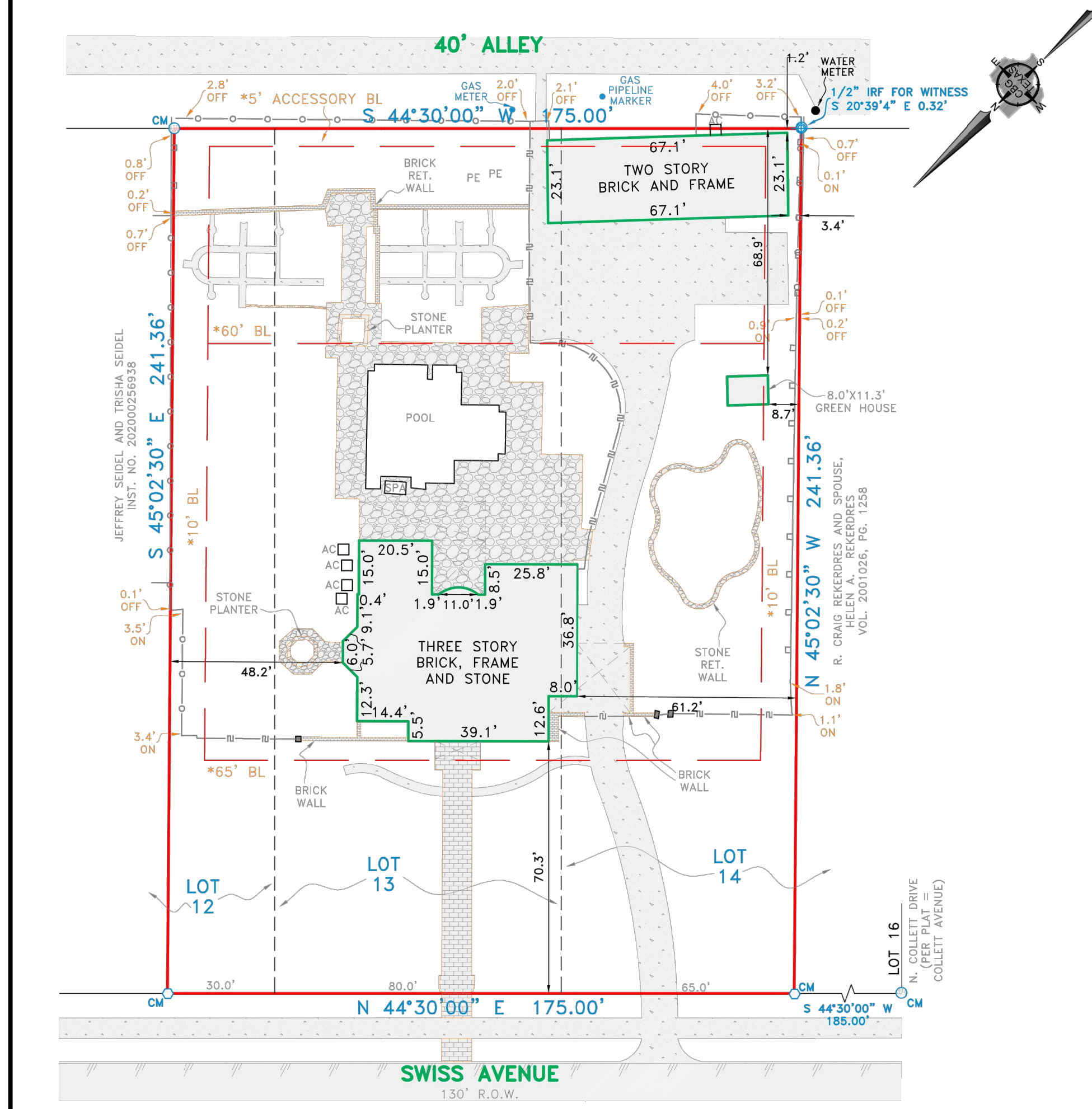
SEWER

**5020 Swiss Avenue**

Being the Southwest 30' of Lot 12 and all of Lot 13 and the Northeast 65' of Lot 14 in Block D/682, of MUNGER PLACE ADDITION, an Addition to the City of Dallas, Dallas County, Texas, according to the Map thereof recorded in Volume 1, Page 265, of the Map Records of Dallas County, Texas.



○ 1/2" ROD FOUND FOR CORNER	□ FENCE POST	TE TRANSFORMER PAD	LP LIGHT POLE	LEGEND	SSE SANITARY SEWER EASEMENT	OVERHEAD ELECTRIC	PIPE FENCE	CONCRETE
⊗ 1/2" PIPE FOUND/SET	CM CONTROLING MONUMENT	TELE TELEPHONE	PE PEDESTAL	BL BUILDING LINE	UE UTILITY EASEMENT	OVERHEAD ELECTRIC SERVICE	WOOD DECK	COVERED AREA
⊕ 5/8" ROD FOUND	AC AIR CONDITIONER	▲ UNDERGROUND ELECTRIC	▲ ASHRAU EASEMENT	IRON FENCE	CHAIN LINK	WOOD FENCE 0.5' WIDE TYPICAL	EDGE OF GRAVEL	STONE
● POINT FOR CORNER	PE POOL EQUIPMENT	△ OVERHEAD ELECTRIC	△ IRON FENCE	IRON FENCE	CHAIN LINK	WOOD FENCE 0.5' WIDE TYPICAL	EDGE OF GRAVEL	STONE



**EXCEPTIONS:**

NOTE: PROPERTY SUBJECT TO TERMS, CONDITIONS, AND EASEMENTS CONTAINED IN INSTRUMENTS RECORDED IN VOL. 1071, PG. 52, VOL. 5910, PG. 44 AND \*VOL. 91030, PG. 765

NOTE: APPARENT ENCROACHMENT INTO/OVER BUILDING LINE, PER VOL. 91030, PG. 765

BEARINGS SHOWN ARE BASED ON NAD 83 TEXAS NORTH CENTRAL ZONE

Accepted by: \_\_\_\_\_  
Purchaser

**NOTES:**

NOTE: Bearings, easements and building lines are by recorded plat unless otherwise noted.

FLOOD NOTE: According to the F.I.R.M. No. 48113C0345J, this property does lie in Zone X and DOES NOT lie within the 100 year flood zone.

This survey is made in conjunction with the information provided by Republic Title. Use of this survey by any other parties and/or for other purposes shall be at user's own risk and any loss resulting from other use shall not be the responsibility of the undersigned. This is to certify that I have on this date made a careful and accurate survey on the ground of the subject property. The plat hereon is a correct and accurate representation of the property lines and dimensions as indicated; location and type of buildings are as shown; and EXCEPT AS SHOWN, there are no visible and apparent encroachments or protrusions on the ground.

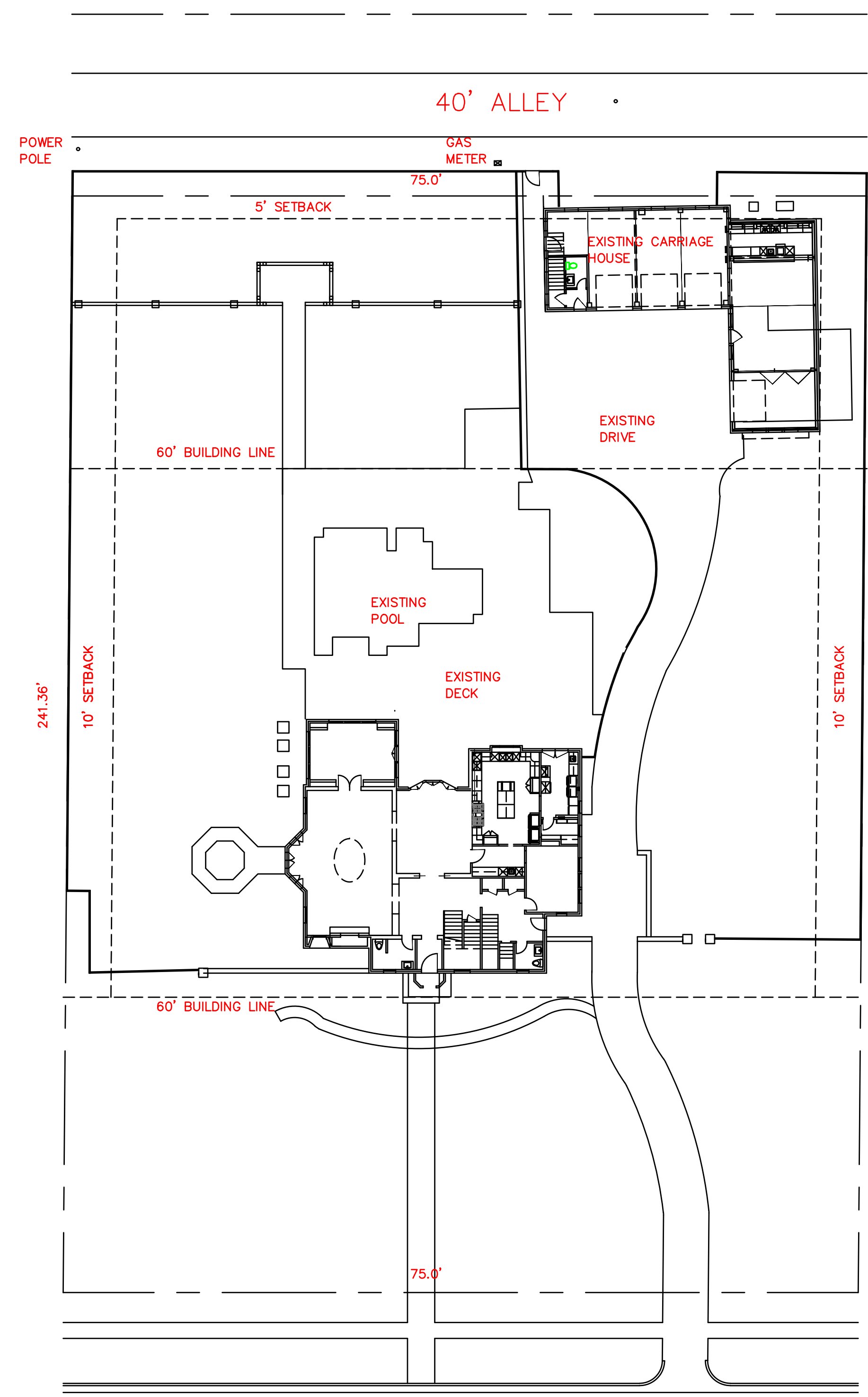
Drawn By: SG

Scale: 1" = 30'

Date: 07/15/25

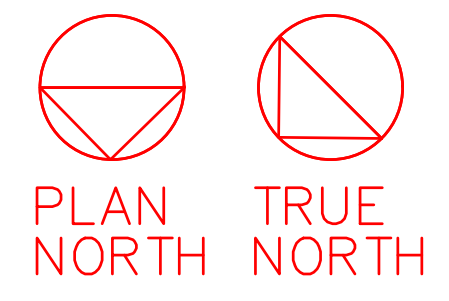
GF No.: 1007-414209-RTT

Job No.: 2510952



NO ADDITIONAL SQUARE FOOTAGE IS TO BE ADDED TO THE PLAN

SWISS



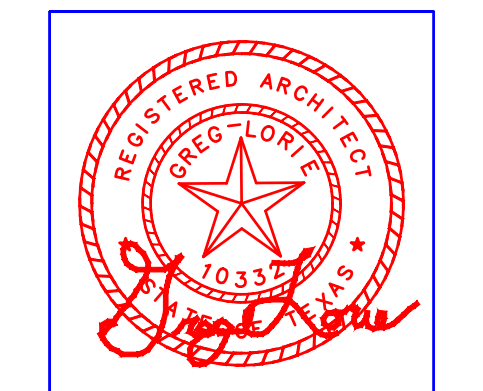
**MUNCK RESIDENCE**  
LOT 13, PT. LOT 12 & 14 BLOCK: D/682  
5020 SWISS  
DALLAS, TEXAS

REVISIONS:

△ \_\_\_\_\_

△ \_\_\_\_\_

△ \_\_\_\_\_



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DATE: 10/17/2025  
SHEET NO.

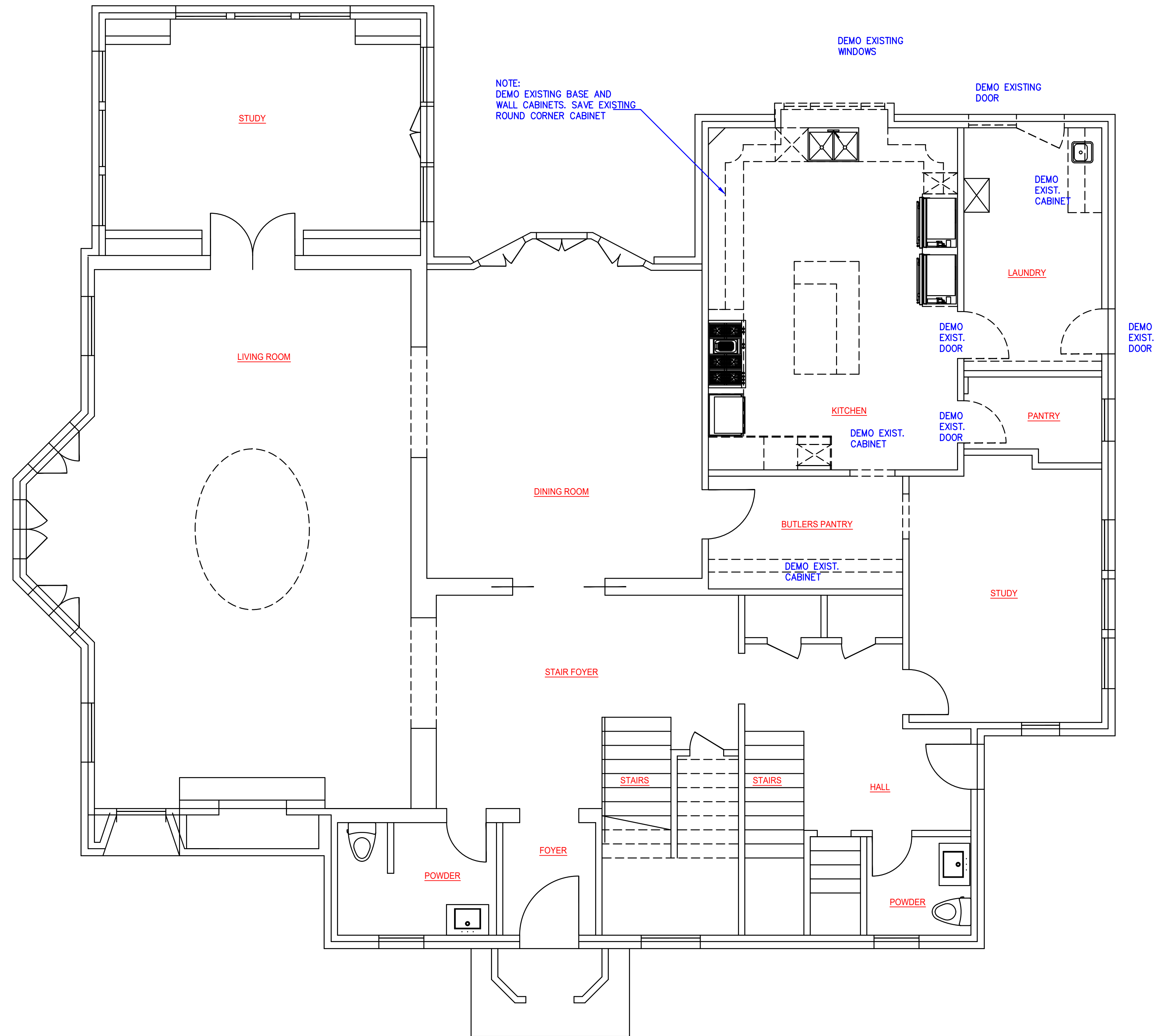
**A-1**  
SITE PLAN



EXISTING SIDE ELEVATION DOOR TO BE REPLACED



EXISTING REAR ELEVATION DOOR AND WINDOW TO BE REPLACED



01 - EXISTING FIRST FLOOR PLAN - RESIDENCE  
SCALE: 1/4"=1'-0"



MUNCK RESIDENCE  
LOT 13, PT. LOT 12 & 14 BLOCK: D / 682  
5020 SWISS  
DALLAS, TEXAS

REVISIONS:  
△ \_\_\_\_\_  
△ \_\_\_\_\_  
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DATE: 10/17/2025  
SHEET NO.

**A-2**  
DEMOLITION PLAN

**DALLAS GREEN ORDINANCE  
# 27131 REQUIREMENTS**

• THIS PROJECT MUST MEET AT LEAST 2 OF THE 3 FOLLOWING WATER REDUCTION REQUIREMENTS:

- 1). THE AVERAGE FLOW RATE FOR ALL LAVATORY FAUCETS MUST BE 2.0 GPM
- 2). THE AVERAGE FLOW RATE FOR ALL SHOWERHEADS MUST BE 2.0 GPM
- 3). THE AVERAGE FLOW RATE FOR ALL TOILETS MUST:  
- BE 1.3 GALLONS PER FLUSH  
- BE DUAL FLUSH AND MEET THE REQUIREMENTS OF ASME A112.19.14  
- MEET THE UNITED STATES ENVIRONMENTAL PROTECTION AGENCY WATERSENSE SPECIFICATION AND BE CERTIFIED AND LABELED ACCORDINGLY
- 4). ENERGY STAR LABELED DISHWASHER THAT USES 6.0 GALLONS OR LESS PER CYCLE.
- 5). ENERGY STAR LABELED CLOTHES WASHER WITH MODIFIED ENERGY FACTOR (MEF) > AND WATER FACTOR < 5.5
- 6). UTILIZE DRIP IRRIGATION EMITTERS FOR ALL BEDDING AREAS OF LANDSCAPE PLAN.
- 7). ANY ROOF WITH A PITCH GREATER THAN 2:12 MUST HAVE AN ENERGY STAR QUALIFIED ROOF. A PROPERLY INSTALLED RADIANT BARRIER "COOL ROOF" QUALIFIES.
- 8). PENETRATIONS AND CRACKS MUST BE SEALED.
- 9). DOORS WEATHER STRIPPING TO BE INSTALLED.
- 10). MAXIMUM WATTAGE FOR INCANDESCENT BULBS IS 100 WATTS, COMP. FLUORESCENT IS 32 WATTS OR GREATER THAN 8.
- 11). ALL AIR FILTERS MUST BE INSTALLED THAT HAVE A MINIMUM REPORTING VALUE (MERV) EQUAL TO OR GREATER THAN 8.
- 12). AIR HANDLERS MUST BE SIZED TO MAINTAIN AIR PRESSURE AND AIR FLOW.
- 13). AIR FILTERS MUST BE AIR TIGHT.

• THIS PROJECT SHALL BE 15% HIGHER ENERGY EFFICIENCY THAN THE 2012 INTERNATIONAL CONSERVATION CODE (IECC). THE G.C. IS TO FILL OUT THE FORM THAT MEETS WITH THE IC3 OR EQUAL

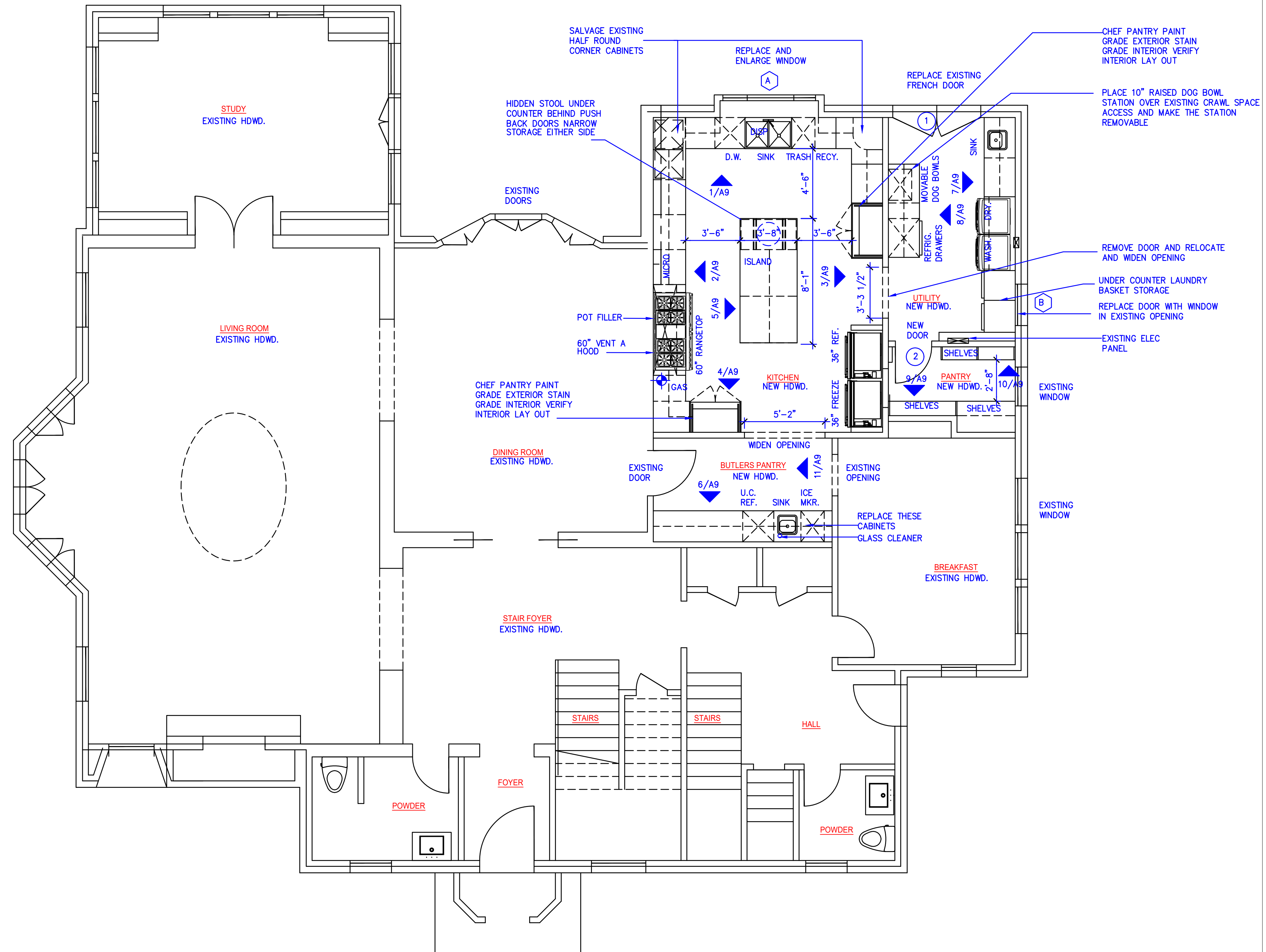
INSPIRATION PHOTO FOR CHEF PANTRY  
PAINT GRADE EXTERIOR STAIN GRADE  
INTERIOR VERIFY INTERIOR LAY OUT

**FLOOR PLAN NOTES**

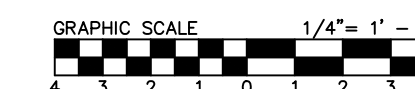
- 1A). HVAC UNIT #1 (RESIDENCE 1ST FLOOR): EXISTING TO REMAIN
- 1B). HVAC UNIT #2:(RESIDENCE 2ND FLOOR): EXISTING TO REMAIN
- 2). WATER HEATER UNIT: EXISTING TO REMAIN
- 3). INSULATE ALL EXTERIOR WALLS.
- 4). VERIFY ALL PLUMBING WALLS ARE TO BE 2X6
- 5). WALLS TALLER THAN 10' UNBRACED ARE TO BE 2X6
- 6). PROVIDED WATER SERVICE CUT OFF AS REQUIRED
- 7). VENT COOKTOP TO EXTERIOR
- 8). VERIFY WHERE BLOCKING SHOULD GO
- 9). BREAK DRYWALL OVER THE TOP OF DOORS AND WINDOWS TO PREVENT FUTURE CRACKING AT CORNERS
- 10). USE 3/4" CEMENT BOARD ON ALL WET WALLS AND ON ALLS WALLS IN SHOWER AND TUB SHOWER. OPTION USE SCHLUTER KERDI SHOWER WALL AND PAN SYSTEMS
- 11). ALL VENT STACK RUNS TO PENETRATE THE ROOF IN THE BACK OF THE MAIN RIDGE. COMBINE ALL PLUMBING VENTING TO THE GREATEST DEGREE POSSIBLE TO MINIMIZE PENETRATIONS.
- 12). ALL FIRST FLOOR HEADERS AT 8'0" UNLESS NOTED\* ALL SECOND FLOOR DRS. HEADER AT 6'8" UNLESS NOTED\*
- 13). EXTERIOR WALLS ARE TO BE 2X4 WOOD STUDS 16" O.C. INTERIOR WALLS ARE TO BE 2X4 WOOD STUDS 16" O.C.
- 14). WHEN IT IS REQUIRED TO DRILL OR CUT THE TOP PLATE OF A WALL BY MORE THAN 50% OF THE WIDTH ADD A GALV. METAL TIE NOT LESS THAN .58" THICK AND 5" WIDE EXTENDING 6" PAST OPENING ATTACHED WITH 10D NAILS
- 15). HOSE BIBB: EXISTING TO REMAIN

**FLOOR PLAN LEGEND**

	FACE BRICK W/ 1" AIR GAP ON TYVEK AIR BARRIER ON 1/2" EXT. OSB SHEATHING ON 2x4 WD. STUD WALL 16" O.C. W/ R-13 BATT INSULATION
	STONE VENEER W/ 1" AIR GAP ON TYVEK AIR BARRIER ON 1/2" EXT. OSB SHEATHING ON 2x4 WD. STUD WALL 16" O.C. W/ R-13 BATT INSULATION
	NEW 2x4 WD. STUD WALL STUDS 16" O.C.
	NEW 2x4 WD. STUD WALL STUDS 16" O.C. W/ R-13 INSULATION
	GAS
	HOSE BIBB
	T-1 TILE
	SS-1 STONE SLAB
	DOOR MARK
	WINDOW MARK
	WALL SECTION MARK



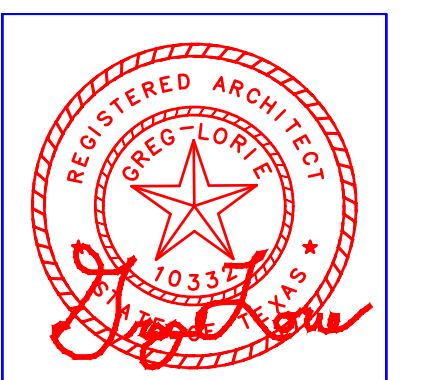
01 - FIRST FLOOR PLAN - RESIDENCE  
SCALE: 1/4" = 1'-0"



**MUNCK RESIDENCE**  
LOT 13, PT. LOT 12 & 14 BLOCK: D / 682  
5020 SWISS  
DALLAS, TEXAS

**REVISIONS:**

- △ \_\_\_\_\_
- △ \_\_\_\_\_
- △ \_\_\_\_\_

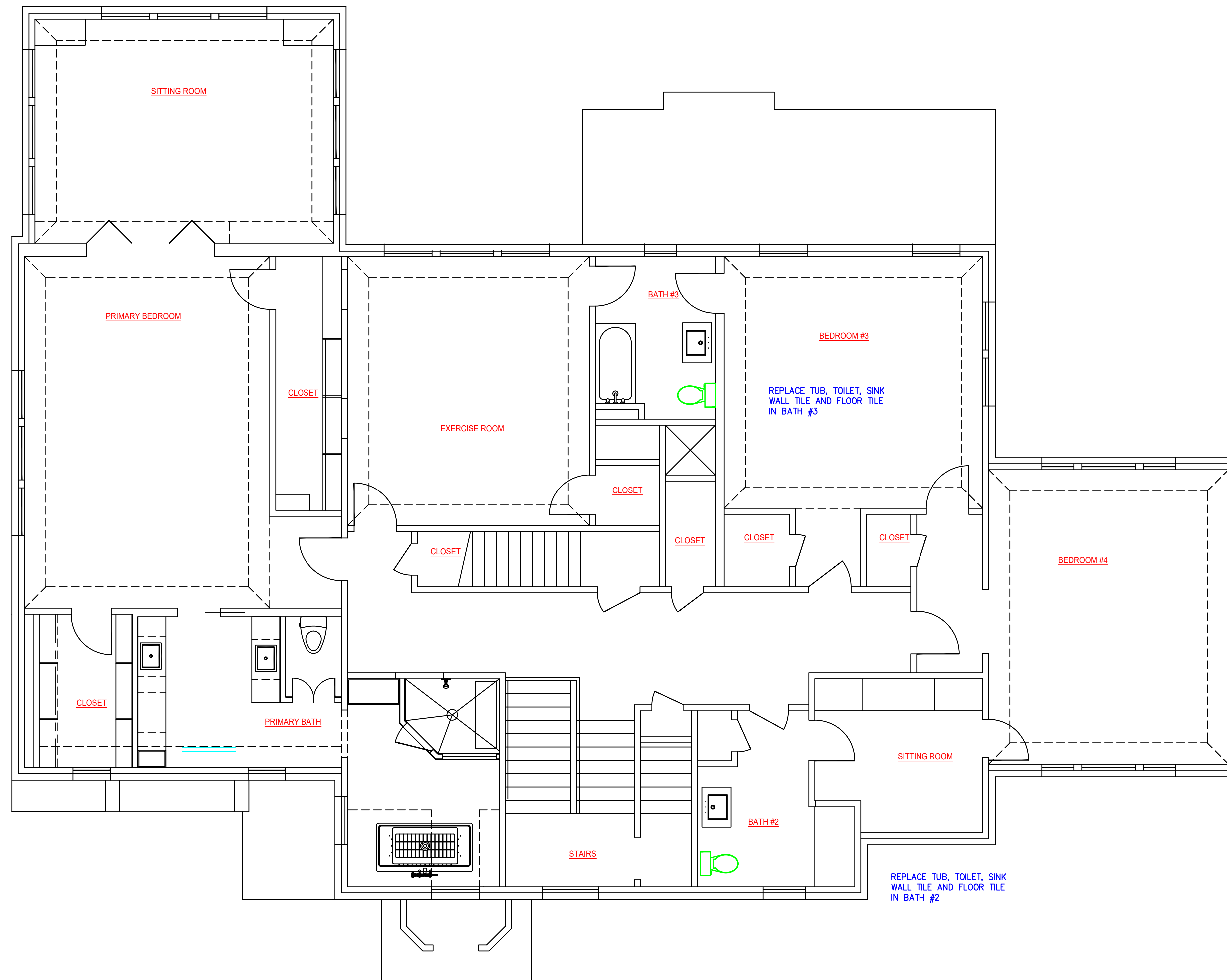


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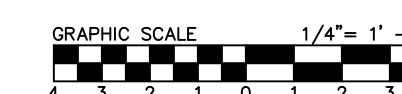
DATE: 10/17/2025  
SHEET NO.

**A-3**

FLOOR PLAN



01 - SECOND FLOOR PLAN - RESIDENCE  
SCALE: 1/4" = 1'-0"



MUNCK RESIDENCE  
LOT 13, PT. LOT 12 & 14 BLOCK: D / 682  
5020 SWISS  
DALLAS, TEXAS

REVISIONS:  
△ \_\_\_\_\_  
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DATE: 10/17/2025  
SHEET NO.

**A-4**  
SECOND FLOOR PLAN

PLUMBING SCHEDULE		
OWNER PROVIDED G.C. INSTALLED		
KITCHEN	QUANT.	PRODUCT
SINK	1	30" SINGLE BOWL
SINK FITTING	1	
BAR SINK	QUANT.	PRODUCT
SINK	1	
SINK FITTING	1	
LAUNDRY ROOM	QUANT.	PRODUCT
SINK	1	
SINK FITTING	1	
BATH #2	QUANT.	PRODUCT
TOILET	1	
SINK	2	
SINK FITTING	2	
SHOWER FITTINGS	1	
BATH #3	QUANT.	PRODUCT
TOILET	1	
SINK	1	
SINK FITTING	1	
SHOWER FITTINGS	1	

APPLIANCE SCHEDULE		
OWNER PROVIDED G.C. INSTALLED		
APPLIANCE	QUANT.	PRODUCT
60" RANGE	1	
60" VENT A HOOD	1	IN LINE
36" REFRIGERATOR	1	
36" FREEZER	1	
DOUBLE OVEN	1	
MICROWAVE	1	
DISHWASHER	1	
DISPOSAL	1	
36" REFRIGERATOR WASHER	1	
DRYER	1	
30" REFRIG. DRAWERS	1	
UNDER COUNTER REFRIGERATOR	1	
ICE MAKER	1	
GLASS CLEANER	1	

FIREPLACE SCHEDULE		
FIREPLACE	QUANT.	PRODUCT
NOT APPLICABLE		

BIDDING NOTES	
EXTERIOR MATERIALS	INTERIOR MATERIALS
MATERIAL	ALLOWANCE
FACE BRICK	RE-USE EXISTING
STONE VENEER	NOT APPLICABLE
SIDING	NOT APPLICABLE
SIDING	NOT APPLICABLE
SIDING	NOT APPLICABLE
SIDING	NOT APPLICABLE
TRIM	WOOD (TO MATCH EXISTING)
RESIDENCE ROOF (COMP)	NOT APPLICABLE
RESIDENCE ROOF (METAL)	NOT APPLICABLE
GUTTERS	NOT APPLICABLE
WALLS (EXTERIOR)	2X6 WD. STUDS 16" O.C. WITH R-5 ZIP SHEATHING
WALLS (INTERIOR)	2X4 WD. STUDS 16" O.C. WITH 1/2" GYP. BD. NOT APPLICABLE
FLOOR JOISTS	
CEILING JOISTS	2X6 JOISTS 16" O.C.
ROOF RAFTERS	NOT APPLICABLE
SOFFIT	ROCKWOOL BATT INSULATION PROVIDE SOUND INSULATION AROUND ALL EXTERIOR WALLS
WALL INSULATION	
FLOOR INSULATION	R-19 BATT IN FLOOR ABOVE GARAGE
ATTIC INSULATION	R-38 SPRAY FOAM
EXTERIOR DOORS	CLAD WITH TEMPERED GLASS
FRONT DOOR	NOT APPLICABLE
WINDOWS	

**CABINET NOTES**

NOTES:  
 1). THE CABINET MAKER SHALL PROVIDE A SAMPLE DESIGN OF THE CABINETS FOR THE HOMEOWNERS APPROVAL BEFORE STARTING CABINET CONSTRUCTION.  
 2). THE CABINET MAKER SHALL FIELD VERIFY ALL MEASUREMENTS PRIOR TO CONSTRUCTION.  
 3). THE CABINET MAKER SHALL VERIFY THE PLUMB AND SQUARENESS OF THE EXISTING SPACE BEFORE CONSTRUCTION OF AND INSTALLATION OF THE CABINETS.  
 4). ALL BASE CABINET SHELVEING ARE TO BE ROLL OUT WHERE EVER POSSIBLE.  
 5). VERIFY WITH THE HOMEOWNER THE EXACT LOCATION OF THE HARDWARE. DO NOT PAINT OR STAIN HARDWARE UNLESS SPECIFICALLY INSTRUCTED TO DO SO.  
 6). ALIGN ALL CABINET HARDWARE UNLESS NOTED OTHERWISE. VERIFY LOCATIONS WITH THE HOMEOWNER.  
 7). VERIFY ALL APPLIANCE & PLUMBING SIZES, CUT OUT REQUIREMENTS, ELECTRICAL AND LIGHTING LOCATIONS PRIOR TO STARTING THE CABINETRY.  
 8). CABINETS DOOR CONSTRUCTION STYLE IS TO BE FULL OVERLAY WITH A RECESSED PANEL. VERIFY WITH HOMEOWNER FOR EXACT DETAIL.  
 9). CABINET FACE FRAMES AND SIDES ARE TO BE 3/4" BACKS AND DRAWER BOTTOMS CAN BE 1/2"  
 10) ALL HINGES ARE TO BE CONCEALED (VERIFY WITH HOMEOWNER)  
 11). THE DRAWERS ARE TO BE 4 SIDE BOXES WITH A DECORATIVE DRAWER FRONT.  
 12). FOR ADJUSTABLE SHELVEING USE AN INLINE BORING SYSTEM WITH METAL PINS  
 13). ALL CABINETS ARE TO HAVE 3/4" FACE FRAME, DOORS AND DRAWERS  
 14). PAINT GRADE CABINET INTERIORS ARE TO BE PAINTED. STAIN GRADE CABINETS INTERIOR TO BE STAINED  
 15). CABINET HARDWARE:  
 KITCHEN CABINET KNOBS: SEE CABINET NOTES BELOW  
 KITCHEN CABINET PULLS: SEE CABINET NOTES BELOW  
 KITCHEN CABINET HINGES: SEE CABINET NOTES BELOW  
 LAUNDRY CABINET KNOBS: SEE CABINET NOTES BELOW  
 LAUNDRY CABINET PULLS: SEE CABINET NOTES BELOW  
 LAUNDRY CABINET HINGES: SEE CABINET NOTES BELOW

16). CABINET GLAZING: ALLOW \$45/S.F.  
 17). ALL DRAWER GUIDES ARE TO BE BLUM, KV OR EQUAL W/ FULL EXTENSIONS AND SLOW CLOSE

COUNTERTOPS AND TILE SELECTIONS		
MARK	LOCATION	QUANTITY
SS-1	KITCHEN	
SS-2	KITCHEN ISLAND	
SS-3	BUTLERS PANTRY	
SS-4	LAUNDRY	
SS-5	BATH #2	
SS-6	BATH #3	

TILE SELECTIONS		
MARK	LOCATION	QUANTITY
CT-1	KITCHEN	
CT-2	BATH #2 FLOOR	
CT-3	BATH #2 WALLS	
CT-4	BATH #3 FLOOR	
CT-5	BATH #3 WALLS	

NOTE: SQUARE FOOTAGES ARE FOR BIDDING PURPOSES ONLY FINAL TAKE OFFS SHALL BE TAKEN FROM THE ACTUAL SPACE AND THE OWNERS WISHES

STAIR PARTS		
NOT APPLICABLE		
MAIN INTERIOR STAIR		
PART	PRODUCT	COLOR
HANDRAIL		
PICKETS		
TREADS		
RISERS		

MISC.	
KITCHEN	
PRODUCT	PRODUCT
LAUNDRY	
PRODUCT	PRODUCT
BUTLERS PANTRY	
PRODUCT	PRODUCT

CABINET NOTES			
CABINETS	COUNTERTOP	BACKSPLASH	
KITCHEN (PERIMETER)	PAINT GRADE PERIMETER PAINT GRADE UPPERS INSET DOORS RECESSED PANELS SOFT CLOSE DRAWERS STAIN GRADE INTERIOR AT CHEF'S PANTRY	STONE C.TOP SQUARE EDGE	FULL TILE
KITCHEN (ISLAND)	STAIN GRADE ISLAND FULL OVERLAY DOORS RECESSED PANELS SLAB DRAWERS SOFT CLOSE DRAWERS	STONE C.TOP SQUARE EDGE	NONE
PANTRY	PAINT GRADE SHELVEING	WOOD C.TOP	NONE
LAUNDRY	PAINT GRADE CABINETS INSET DOORS RECESSED PANELS SLAB DRAWERS SOFT CLOSE DRAWERS	STONE C.TOP SQUARE EDGE	NONE
BUTLERS PANTRY	STAIN GRADE RECESSED PANELS INSET DOORS SLAB DRAWERS SOFT CLOSE DRAWERS	STONE C.TOP SQUARE EDGE	4" TILE
BATH #2	PAINT GRADE RECESSED PANELS FULL OVERLAY DOORS SLAB DRAWERS SOFT CLOSE DRAWERS	STONE C.TOP SQUARE EDGE	4" TILE
BATH #3	PAINT GRADE RECESSED PANELS FULL OVERLAY DOORS SLAB DRAWERS SOFT CLOSE DRAWERS	STONE C.TOP SQUARE EDGE	4" TILE

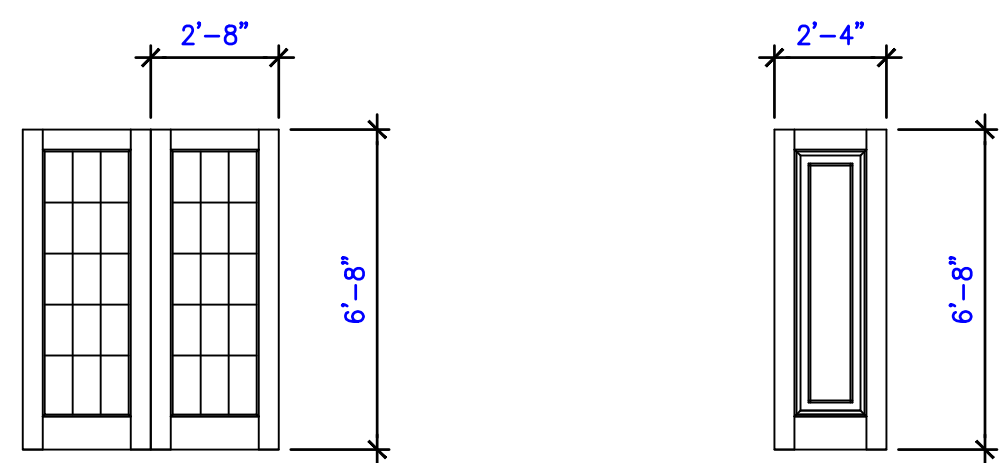
GLAZING SCHEDULE													
Type	Material	Thk.	Color	Insulating Glass					Safety Glass			Remarks	
				Inbd.	Air	Outbd.	SHGC	U-Value	Plys	Inbd.	Mid		Outbd.
GL-1	Low E 366	3/4"	Clear	1/4"	1/4"	1/4"	.25	.27	NA	NA	NA	NA	H'K Low E
GL-2	Decorative Glass												
GL-3	Tempered Glass												

**GLAZING AND WINDOW NOTES**

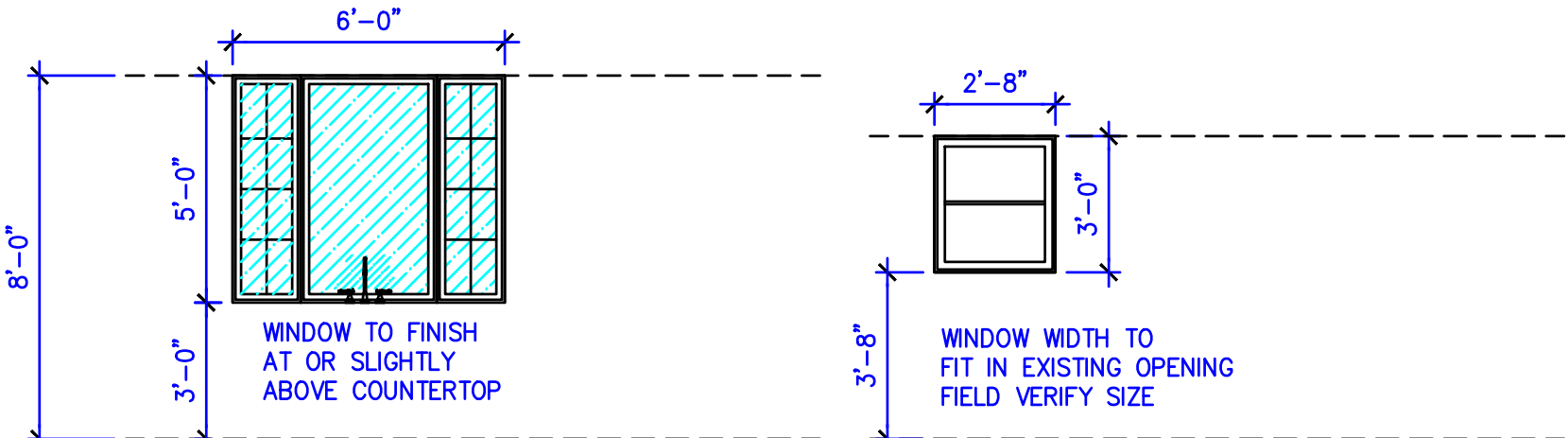
R-308.4 THE FOLLOWING WILL BE CONSIDERED SPECIFIC HAZARDOUS LOCATIONS FOR PURPOSES OF GLAZING

- GLAZING IN ALL FIXED AND OPERABLE PANELS OF A SWINGING, SLIDING AND BIFOLD DOORS. EXCEPTIONS DECORATIVE GLAZING.
- GLAZING IN AN INDIVIDUAL OR OPERABLE PANEL ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE IS WITHIN A 24" ARC OF THE DOOR IN A CLOSED POSITION AND WHOSE BOTTOM EDGE IS LESS THAN 60" ABOVE THE FLOOR OR WALKING SURFACE. EXCEPTIONS: DECORATIVE GLASS, WITH AN INTERVENING WALL, GLAZING IN WALLS ON THE LATCH SIDE OF TAN PERPENDICULAR TO THE PLANE OF THE DOOR IN A CLOSED POSITION. GLAZING IS ADJACENT TO A FIXED PANEL OF A PATIO DOOR.
- GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL THAT MEETS ALL OF THE FOLLOWING:  
 THE EXPOSED AREA OF AN INDIVIDUAL PANE IS LARGER THAN 9'0"  
 THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 18" ABOVE THE FLOOR AND THE TOP EDGE OF THE GLAZING IS MORE THAN 36" ABOVE THE FLOOR AND ONE OR MORE WALKING SURFACES ARE WITHIN 36" MEASURED HORIZONTALLY AND IN A STRAIGHT LINE OF GLAZING  
 EXCEPTIONS: DECORATIVE GLAZING, WHEN HORIZONTAL RAILING IS 34" TO 38" ABOVE WALKING SURFACE, OUTBOARD PANES IN INSULATING GLASS UNITS WHEN BOTTOM EDGE IS 25' OR MORE ABOVE GRADE A ROOF OR WALKING SURFACE
- ALL GLAZING IN RAILINGS REGARDLESS OF THE AREA OR HEIGHT ABOVE A WALKING SURFACE.
- GLAZING IN ENCLOSURES FOR WALLS FACING HOT TUBS, WHIRLPOOLS, SHOWERS, BATHTUBS WHERE THE BOTTOM EDGE IS LESS THAN 60" ABOVE THE WALKING OR STANDING SURFACE.
- GLAZING IN WALLS AND FENCES ADJACENT TO INDOOR AND OUTDOOR POOLS, HOT TUBS AND SPAS.
- GLAZING ADJACENT TO STAIRWAYS, RAMPS AND LANDINGS WITH IN 36" HORIZONTALLY OF A WALKING SURFACE WHEN THE GLAZING IS LESS THAN 60" ABOVE WALKING SURFACE.
- GLAZING ADJACENT TO STAIRWAYS WITHIN 60" HORIZONTALLY OF THE BOTTOM TREAD OF A STAIR IN ANY DIRECTION WHEN THE EXPOSED SURFACE OF THE GLASS IS 60" ABOVE THE NOSE OF THE TREAD.

FALL PREVENTION  
 IN DWELLINGS WHERE THE OPENINGS OF AN OPERABLE WINDOW IS LOCATED MORE THAN 72" ABOVE THE GRADE OR SURFACE BELOW THE LOWEST PART OF THE WINDOW SHALL BE A MINIMUM OF 24" ABOVE THE FLOOR SURFACE. OPERABLE WINDOW CLOSER THAN 24" TO THE FLOOR SURFACE SHALL BE LIMITED TO 4" OPENING. EXCEPTION: WINDOWS THAT ARE PROVIDED WITH A FALL PREVENTION DEVICE, WINDOW THAT ARE PROVIDED WITH AN OPENING LIMITING DEVICE.



DOOR 1		DOOR 2	
WIDTH:	2'8" (PAIR)	WIDTH:	2'4"
HEIGHT:	6'8"	HEIGHT:	6'8"
THICKNESS:	1 3/8"	THICKNESS:	1 3/8"
DOOR TYPE:	EXTERIOR DOOR	DOOR TYPE:	INTERIOR DOOR
QUANTITY:	1 PAIR	QUANTITY:	1
FRAME:	WOOD	FRAME:	WOOD
DOOR MATERIAL:	WOOD	DOOR MATERIAL:	WOOD
DOOR FINISH INTERIOR:	PAINTED WOOD	DOOR FINISH INTERIOR:	PAINTED WOOD
DOOR FINISH EXTERIOR:	PAINTED WOOD	DOOR FINISH EXTERIOR:	PAINTED WOOD
GLAZING:	TEMPERED	GLAZING:	NO
FIRE RATING:	NO	FIRE RATING:	NO
SILL:	YES	SILL:	NO
HARDWARE SET:		HARDWARE SET:	
REMARK:	FRENCH DOOR	REMARK:	MATCH EXISTING



WINDOW A		WINDOW B	
WIDTH:	SEE PROFILE	WIDTH:	2'8"
HEIGHT:	5'0" (MAX.)	HEIGHT:	3'0"
THICKNESS:		THICKNESS:	
WINDOW TYPE:	FIXED	WINDOW TYPE:	DOUBLE HUNG
QUANTITY:	1	QUANTITY:	1
FRAME:	WOOD	FRAME:	WOOD
MATERIAL:	CLAD/WOOD	MATERIAL:	CLAD/WOOD
EXTERIOR FINISH:	CLAD	EXTERIOR FINISH:	CLAD
INTERIOR FINISH:	WOOD (PINE PAINT)	INTERIOR FINISH:	WOOD (PINE PAINT)
GLAZING:	INSUL. GL. LOW E 2	GLAZING:	INSUL. GL. LOW E 2
DIVIDED LITES:	YES	DIVIDED LITES:	YES
TEMPERED:	NO	TEMPERED:	NO
SCREENS:	NO	SCREENS:	NO
SHADES:	NO	SHADES:	NO
OPENING CONTROL:	NO	OPENING CONTROL:	NO
HARDWARE:	NO	HARDWARE:	NO
U-FACTOR:	.25	U-FACTOR:	.25
SHGC:	.27	SHGC:	.27
BRICK MOULD:	YES	BRICK MOULD:	YES
JAMB EXTENSION:	NO	JAMB EXTENSION:	NO
REMARKS:		REMARKS:	

DOOR SCHEDULE AND PROFILES

WINDOW SCHEDULE AND PROFILES



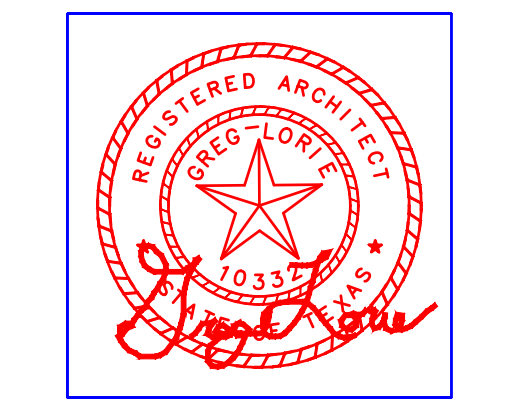
**MUNCK RESIDENCE**  
 LOT 13, PT. LOT 12 & 14 BLOCK: D / 682  
 5020 SWISS DALLAS, TEXAS

**REVISIONS:**

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DATE: 10/17/2025  
**SHEET NO.**

**A-5**  
 FINISH SCHEDULE

# ELECTRICAL NOTES

- ELECTRICAL AND SECURITY NOTES**
1. THE ELECTRICAL CONTRACTOR SHALL VERIFY PRIOR TO STARTING CONSTRUCTION SHALL VERIFY EXISTING FIELD CONDITIONS, INCLUDING EXISTING UTILITY LOCATIONS AND EXISTING SIZES. IF ANY CONDITIONS VARY FROM THE PLANS REPORT TO THE GENERAL CONTRACTOR AND ARCHITECT.
  2. ALL WORK SHALL CONFORM WITH ALL LOCAL, STATE AND NATIONAL ELECTRICAL CODES AND INSTALL ONLY U.L. RATED EQUIPMENT.
  3. VERIFY WITH HOMEOWNER PRIOR TO INSTALLATION LOCATIONS OF ALL ELECTRICAL PLUGS, SWITCHES AND EQUIPMENT. VERIFY MOUNTING HEIGHTS AND SPACING.
  4. ALL PLUGS ARE TO BE (VERIFY COLOR).
  5. ALL SWITCHES TO BE (VERIFY COLOR).
  6. USE 12GA WIRING MINIMUM FOR ALL 120V. WIRING.
  7. VERIFY LOCATIONS AND RUNS FOR TELEPHONE, TELEVISIONS, SECURITY SYSTEM AND ANY OTHER LOW VOLTAGE SYSTEMS.
  8. GARAGE DOOR WILL BE WIRED WITH LOW VOLTAGE WIRING AS REQUIRED BY MANUFACTURER FOR OPENER.
  9. PROVIDE GFI AT ALL EXTERIOR OUTLETS, BATHS, GARAGES, WET BARS, KITCHENS AND WHERE EVER A COUNTER TOP IS WITH IN 6' OF ANY WATER SOURCE.
  10. GROUND ALL METAL BOXES AS PER NEC.
  11. PROVIDE RECEPTACLE AND LIGHT WITH SWITCH TO ANY ACCESSIBLE ATTIC.
  12. ALL PLUGS SHALL BE MOUNTED 12" A.F.F. UNLESS NOTED OTHERWISE.
  13. ALL OUTDOOR RECEPTACLES SHALL BE MOUNTED IN A WATER PROOF BOX WITH A SPRING LOADED COVER.
  14. RECEPTACLES IN THE GARAGE AND ATTIC SHALL BE MOUNTED AT 42".
  15. OUTLETS SHALL BE INSTALLED SO THAT THEY ARE NO MORE THAN 12" APART AND ON ALL WALLS 24" OR GREATER.

- ELECTRICAL PANEL**
- ELECTRICAL PANEL SQUARE D RECESSED PANEL
  - SIZE: 120/240 400 AMP (VERIFY SIZE)

- SWITCHES**
- ELECTRICAL PLUGS: LUTRON CLARO 15 OR APPROVED EQUAL (VERIFY COLOR)
  - GFI ELECTRICAL PLUGS: LUTRON 15 AMP GFI (VERIFY COLOR)
  - ELECTRICAL SWITCHES: LUTRON MAESTRO OR APPROVED EQUAL VERIFY COLOR
  - ALL PLUGS ARE TO BE MOUNTED 12" ABOVE FINISHED FLOOR AND SWITCHES 42" ABOVE FINISHED FLOOR UNLESS OTHERWISE NOTED

- SECURITY SYSTEM**
1. PROVIDE SECURITY KEY PADS AS PER ELECTRICAL PLAN AND REVIEWED WITH THE HOMEOWNER ON THESE LOCATIONS
  2. INSTALL MONITERS AT ALL DOORS AND WINDOWS THAT ARE WITH IN REACH OF THE GROUND.
  3. PROVIDE MOTION AND GLASS BREAK DETECTION AS INDICATED ON PLAN.
  4. PROVIDE SMOKE AND CARBON DIOXIDE DETECTORS AS SHOWN ON PLANS AND HARD WIRED INTO ELECTRICAL WITH BATTERY BACK UP AND CONNECTED TO ALARM AND SECURITY SYSTEM.
  5. PROVIDE SMOKE ALARMS IN EACH SLEEPING ROOM, OUTSIDE OF EACH SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, ON EACH ADDITIONAL STORY OF THE HOUSE INCLUDING THE BASEMENT AND HABITABLE ATTIC.
  6. CARBON MONOXIDE DETECTORS SHALL BE PROVIDED IN EACH SLEEPING AREA, WHERE FUEL FIRED APPLIANCES ARE.
  7. PROVIDE SERVICE ENTRANCE BOXES FOR TELEPHONE, TELEVISION AND ALARM SYSTEM.
  8. PROVIDE ALARM SYSTEM PREFERING TO ALL EXTERIOR OPENINGS.
  9. SMOKE DETECTORS SHALL PROVIDE THEIR PRIMARY POWER FROM RESIDENCE AND SHALL BE PROVIDED WITH A BATTERY BACK UP.

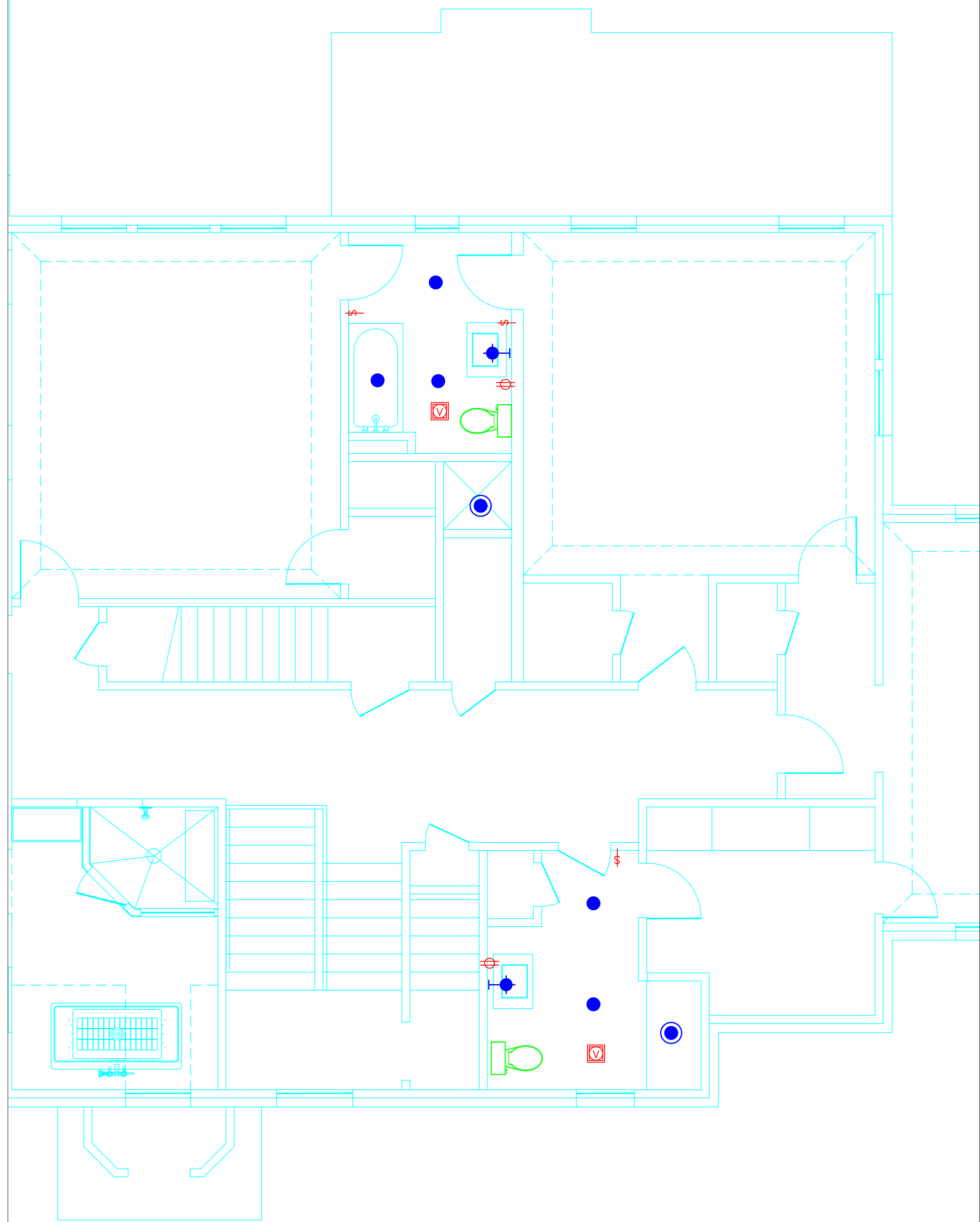
- CAT 6 WIRING**
- PROVIDE CAT 6 WIRING FROM CENTRAL EQUIPMENT LOCATION TO THE MAIN TV AND COMPUTER LOCATIONS IN THE HOUSE. SEE PLAN.
  - PROVIDE EMPTY TUBING FROM CENTRAL LOCATION TO POTENTIAL FUTURE LOCATIONS FOR CAT6 WIRING PER HOMEOWNERS

# LIGHTING SCHEDULE

MARK	DESCRIPTION	MARK
A	DOWNLIGHT	
A1	DOWNLIGHT	
B	DOWNLIGHT	
C	DOWNLIGHT	
D	DOWNLIGHT	
E	SURFACE MOUNTED	
F	SURFACE MOUNTED	
FL-1	INTERIOR FLUORESCENT	
P-1	INTERIOR PENDANT	
P-2	INTERIOR PENDANT	
P-3	INTERIOR PENDANT	
P-4	INTERIOR PENDANT	
P-5	INTERIOR PENDANT	
S-1	INTERIOR WALL SCONCE	
S-2	INTERIOR WALL SCONCE	
S-3	INTERIOR WALL SCONCE	
T-1	TRACK LIGHT	
T-2	TRACK LIGHT	
T-3	TRACK LIGHT	
UC-1	UNDER CABINET	
V-1	VENT FAN	1 CFM PER SQ. FT.
H-1	HUMIDITY SENSOR	

# ELECTRICAL LEGEND

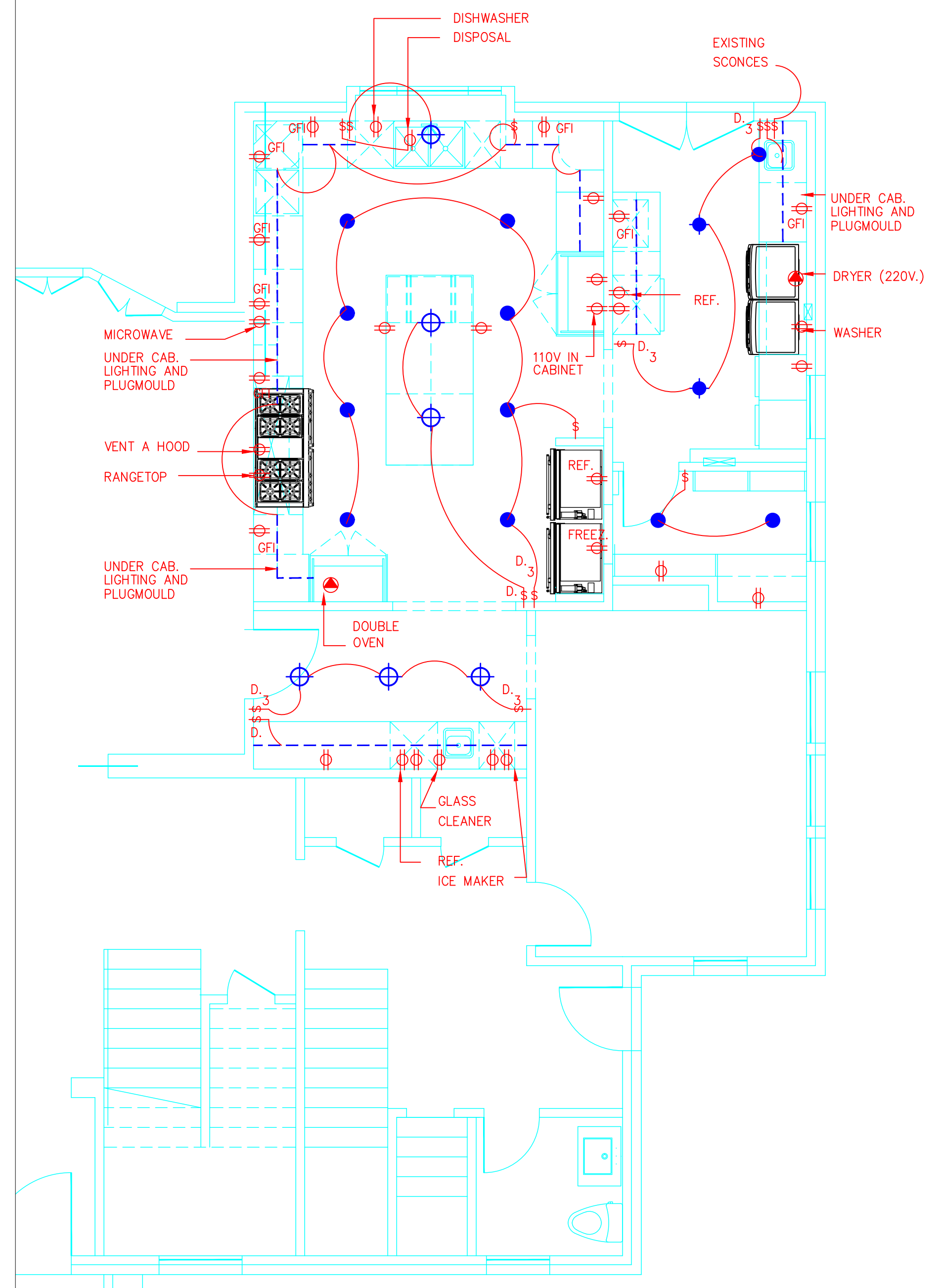
OUTLETS		FLOOR-MOUNTED 110V. OUTLET	
	DUPLEX: 110V. DUPLEX OUTLET @ 3" A.F.F.		110V. 4 PLEX OUTLET
	WP - 110V. DUPLEX GROUND FAULT OUTLET		EXISTING OUTLET
	GFI - 110V. WATERPROOF GROUND FAULT DUPLEX OUTLET		OV - 220V. FOR OVEN DRY - 220V. FOR DRYER HVAC - 220V. FOR HVAC
	HXL - HORIZONTAL FACEPLATE		
	110V. DUPLEX OUTLET WITH USB		
SWITCHES			
	SWITCH @ 45" A.F.F.		
	3- THREE - WAY		
	J- JAMB SWITCH		
	D- DIMMER SWITCH		
LIGHTS			
	RECESSED FIXTURE		WALL MOUNTED FIXTURE
	RECESSED WALL WASHER		SURFACE MOUNTED FIXTURE
	6" WATER RESISTANT RECESSED FIXTURE		PENDANT FIXTURE
	CEILING FAN NI - INTERIOR EXT. - EXTERIOR		FLUORESCENT FIXTURE
			CHANDELIER FIXTURE
MISC.			
	THERMOSTAT		VENT FAN
	SMOKE DETECTOR		ALARM KEYPAD
	CARBON MONOXIDE DETECTOR		SPEAKERS
	Electrical Panel		Door Bell
	TELEVISION		Chimes
	TELEPHONE		



02 - SECOND FLOOR ELECTRICAL PLAN  
SCALE: 1/4" = 1'-0"

# LIGHTING ALLOWANCE

DESCRIPTION	ALLOWANCE
FIRST FLOOR:	
2 PENDANT FIXTURES	\$1,500
2ND FLOOR:	
2 WALL SCONCES	\$700
DOWNLIGHTS	HALO, NORA, WAC, JUNO OR APPROVED EQUAL
VENT FANS	PANASONIC WHISPERFLO
UNDER CABINET LIGHTING	KICHLER, ALEAD, WAC OR APPROVED EQUAL

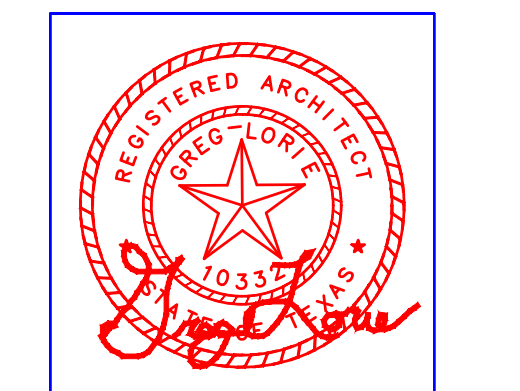


01 - FIRST FLOOR ELECTRICAL PLAN  
SCALE: 1/4" = 1'-0"



MUNCK RESIDENCE  
LOT 13, PT. LOT 12 & 14 BLOCK: D/682  
5020 SWISS  
DALLAS, TEXAS

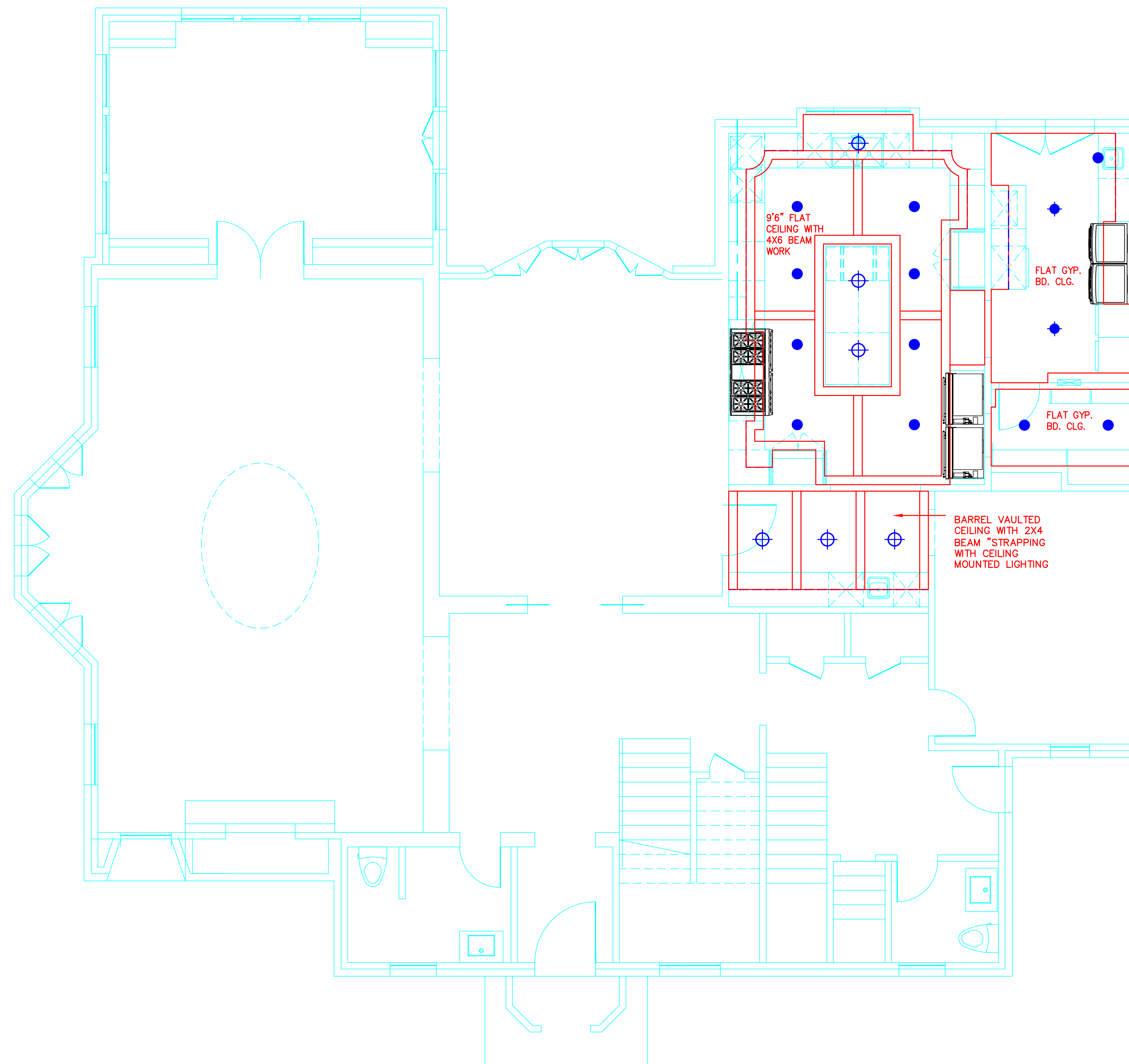
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**A-6**  
ELECTRICAL PLAN



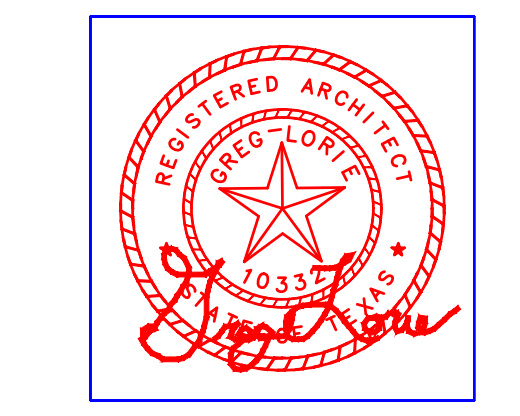
01 - FIRST FLOOR REFLECTED CEILING PLAN  
SCALE: 1/4"=1'-0"



**MUNCK RESIDENCE**  
 LOT 13, PT. LOT 12 & 14 BLOCK: D/682  
 5020 SWISS  
 DALLAS, TEXAS

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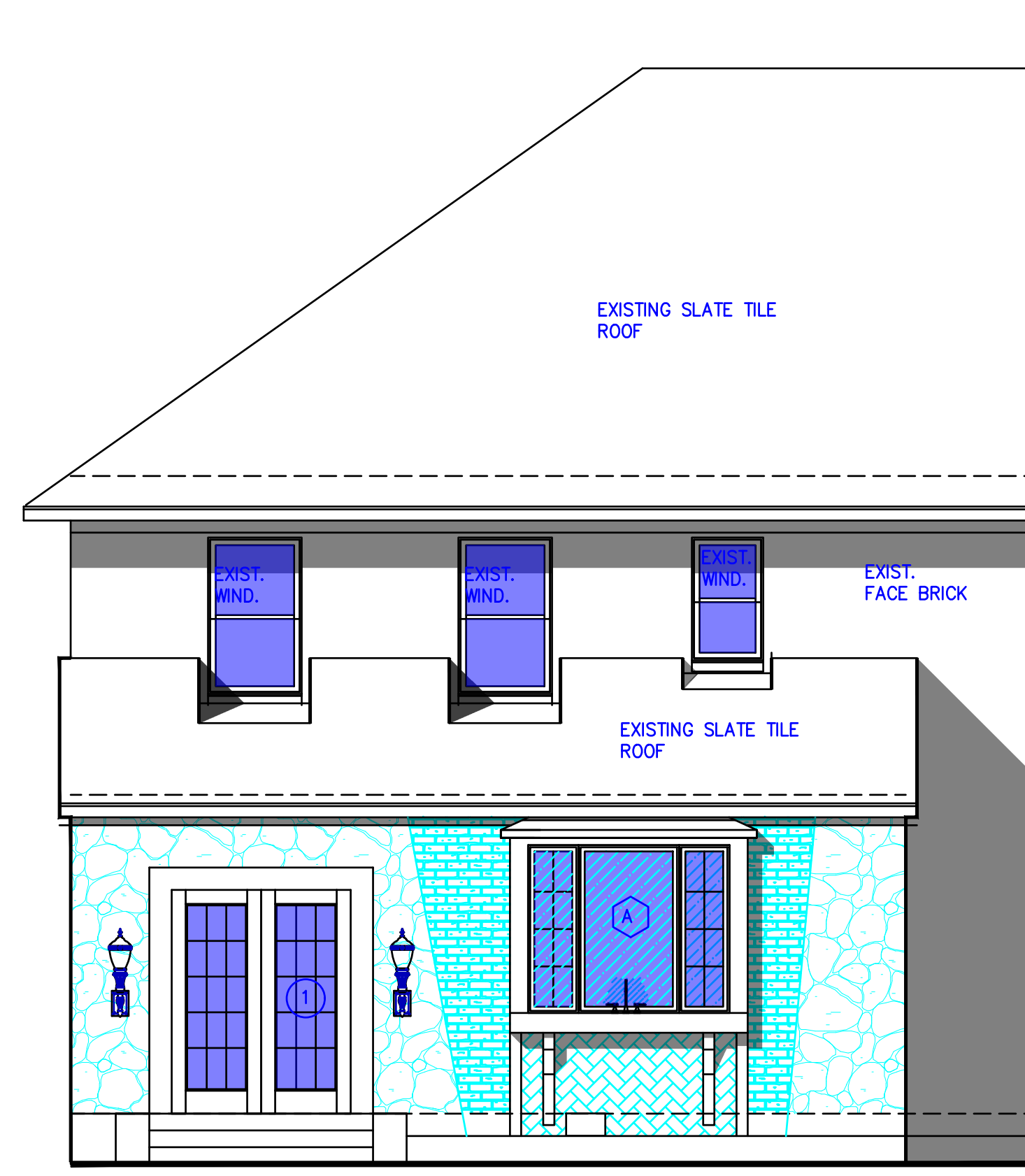
DATE: 10/17/2025  
 SHEET NO.

**A-7**  
 REFLECTED CEILING PLAN

EXTERIOR MATERIAL LEGEND						
DESIGNATION	MATERIAL	MANUFACTURER	TYPE	COLOR	FINISH	REMARKS
	STONE (WALL)		NOT APPLICABLE			
	STONE (DECKING)		NOT APPLICABLE			
	FACE BRICK		MATCH EXISTING			
	SIDING		MATCH EXISTING			
	STUCCO		NOT APPLICABLE			
	4" BATTEN STRIPS		MATCH EXISTING			
	WINDOW	SIERRA PACIFIC OR EQUAL		MATCH EXISTING		
	DOOR/WINDOW TRIM		MATCH EXISTING	MATCH EXISTING		
	GUTTERS		Ogee	MATCH EXISTING		
	DOWNSPOUTS		Ogee	MATCH EXISTING		
	FASCIA	HARDIE OR EQUAL	MATCH EXISTING	MATCH EXISTING		
	ROOFING			MATCH EXISTING		
	GABLE VENT					

PAINT LEGEND	
LOCATION	PAINT COLOR
FACE BRICK	NOT APPLICABLE
PLANK SIDING	TO BE DETERMINED
STUCCO	NOT APPLICABLE
BATTEN STRIPS	NOT APPLICABLE
WINDOW SASH	TO BE DETERMINED
DOOR/WINDOW TRIM	TO BE DETERMINED
GABLE VENT	TO BE DETERMINED
FASCIA	TO BE DETERMINED
GUTTER AND DOWNSPOUT	TO BE DETERMINED

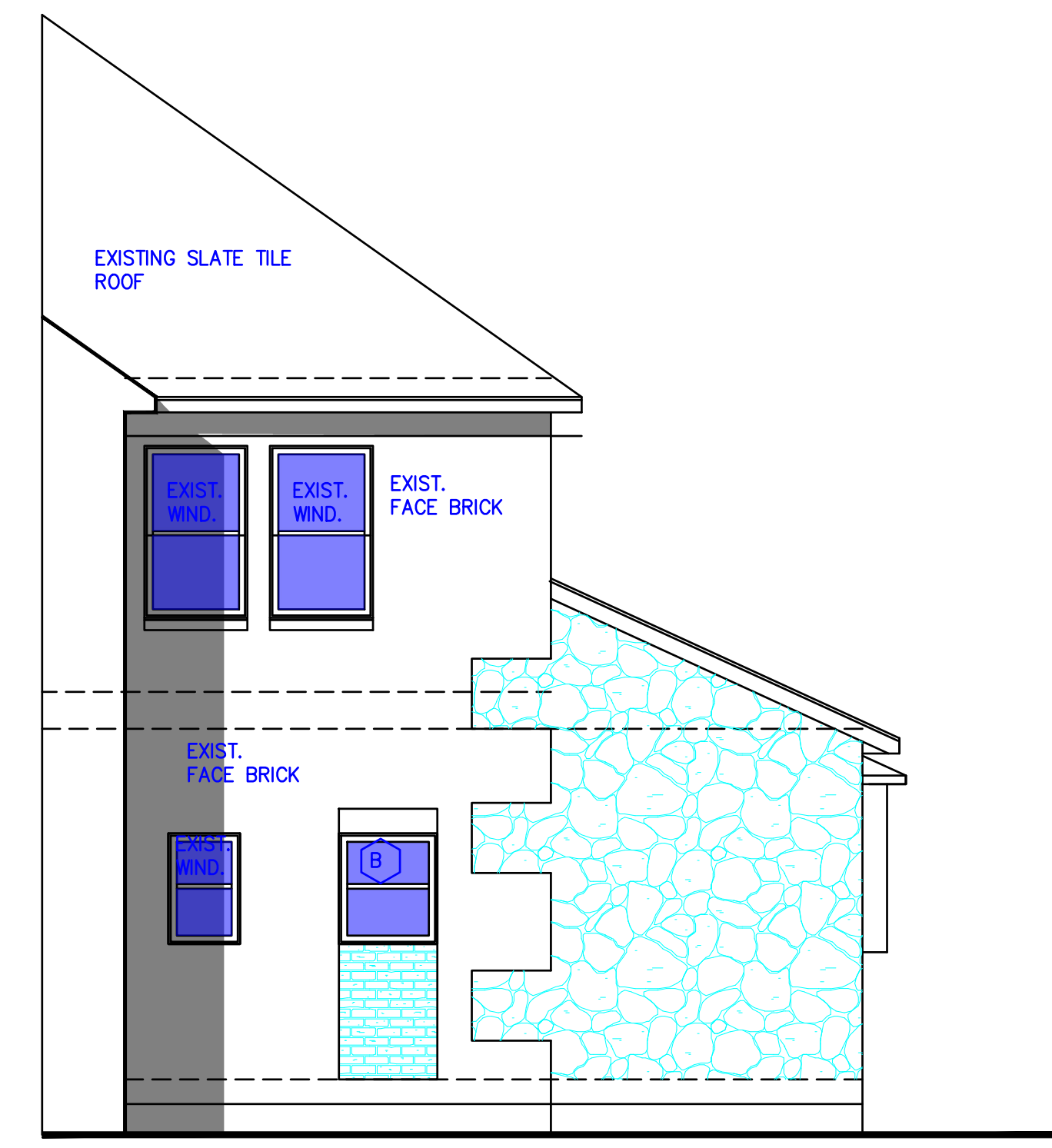
INSULATION NOTES		
LOCATION	DESCRIPTION	
FLOOR	NONE	
WALLS	2x4 STUDS (CELLULOSE INSULATION) 7/16 RADIANT BARRIER W/ R-5 CONTINUOUS INSULATION	
ATTIC	R-38 CLOSED CELL SPRAY FOAM	
CRAWL SPACE VENTILATION	PROVIDE 1 SQ. FT. OF VENTILATION IN THE CRAWL SPACE PER 150 SQ. FT. OF FIRST FLOOR AREA	
INTERIOR WALLS	SOUND INSULATION BATTS ON INTERIOR WALLS OF ALL EXTERIOR WALLS AND LAUNDRY	
CAULKING AND SEALING	CAULK AROUND ALL WINDWS AND EXTERIOR DOORS AS WELL AS PROVIDING WEATHER STRIPPING AND SILL AT DOORS  PROPERLY CAULK ALL EXTERIOR PENETRATIONS NEATLY SO THAT IT PREVENTS BUGS AND AIR INFILTRATION AND IS MATCHING TO ITS SURROUNDING	



REPLACE EXISTING  
DOOR WITH NEW DOOR  
TO FIT IN EXISTING  
OPENING

REPLACE THIS WINDOW EXTEND  
THE WINDOW DOWN AND REWORK  
BAY AND BRICK WORK BELOW

02 - PARTIAL EXTERIOR ELEVATION - SOUTH  
SCALE: 1/4"=1'-0"



REPLACE EXISTING  
DOOR WITH NEW  
WINDOW PATCH  
BRICKWORK TO MATCH  
KEEP SOLDIER COURSE  
HEADER

EXIST.  
STONE VENEER

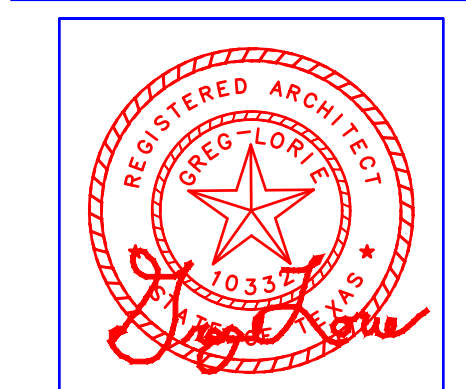
01 - PARTIAL EXTERIOR ELEVATION - WEST  
SCALE: 1/4"=1'-0"



MUNCK RESIDENCE  
LOT 13, PT. LOT 12 & 14 BLOCK: D/682  
5020 SWISS  
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REVISIONS:

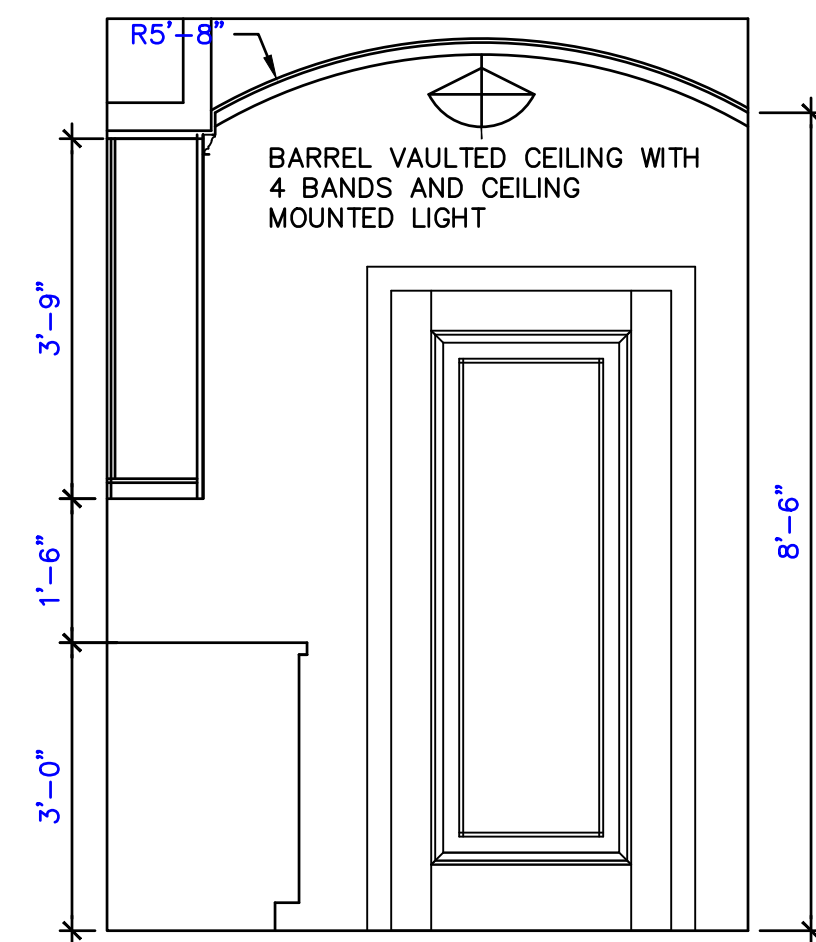
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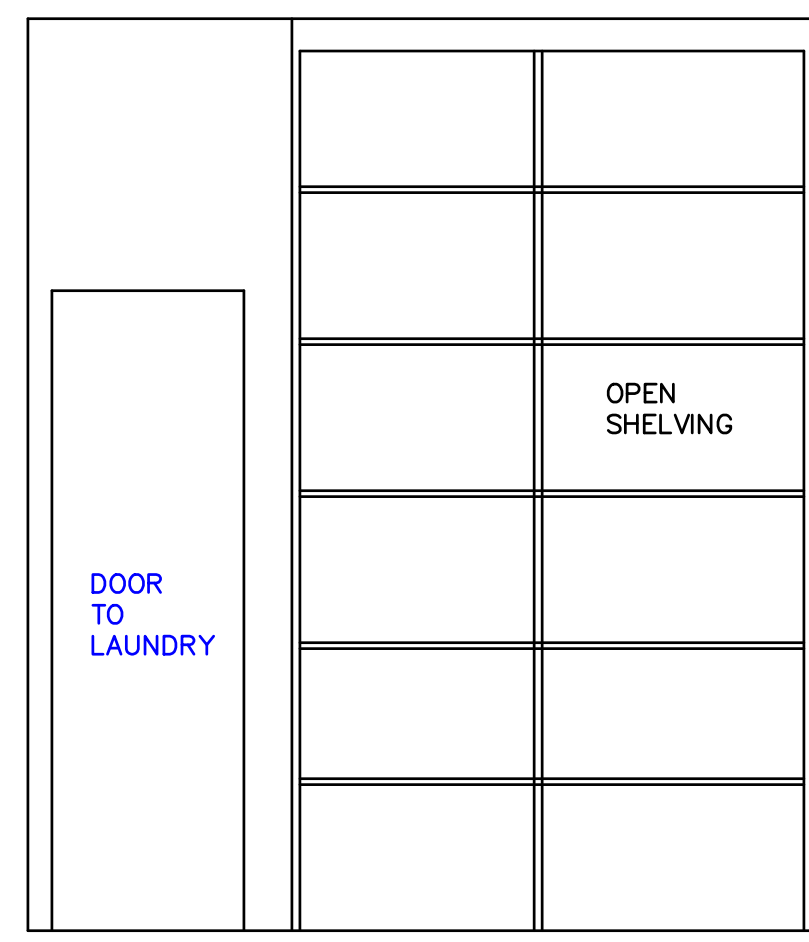
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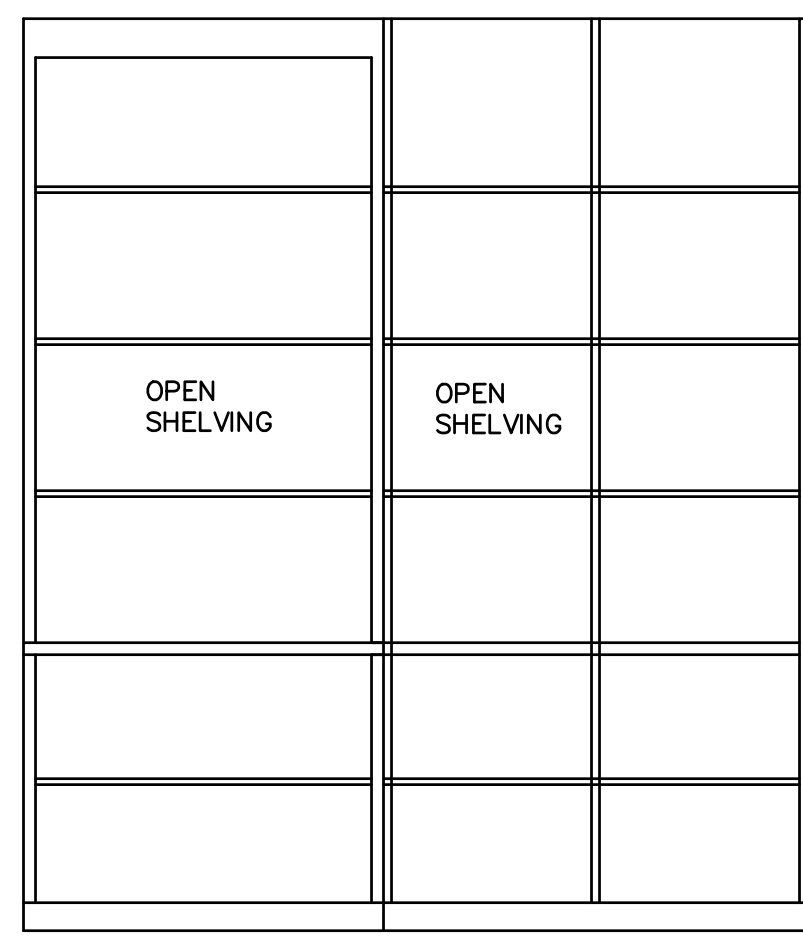
**A-8**  
SECOND FLOOR PLAN



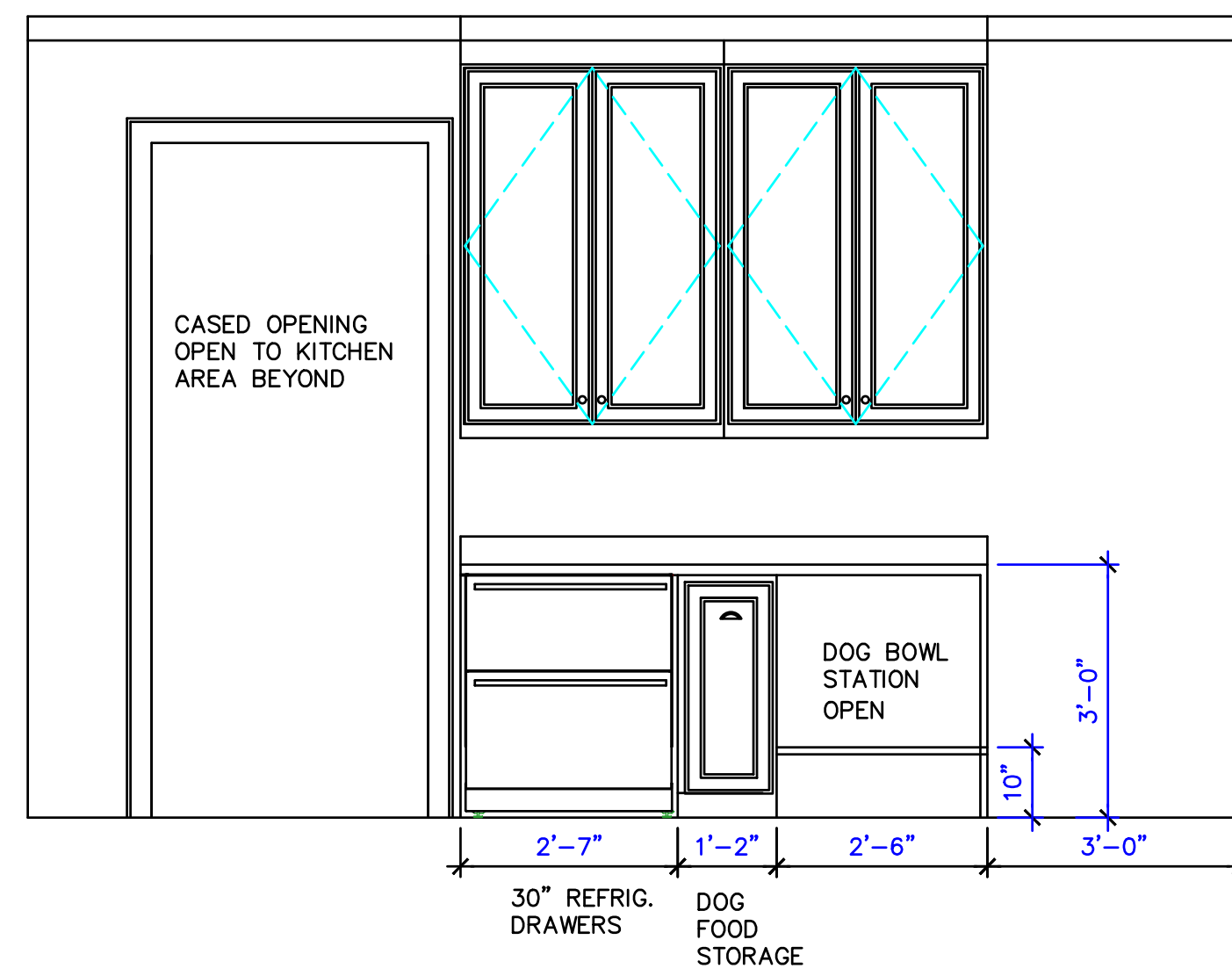
11 - INT. ELEV. @ BUTLERS PANTRY  
SCALE: 1/2"=1'-0"



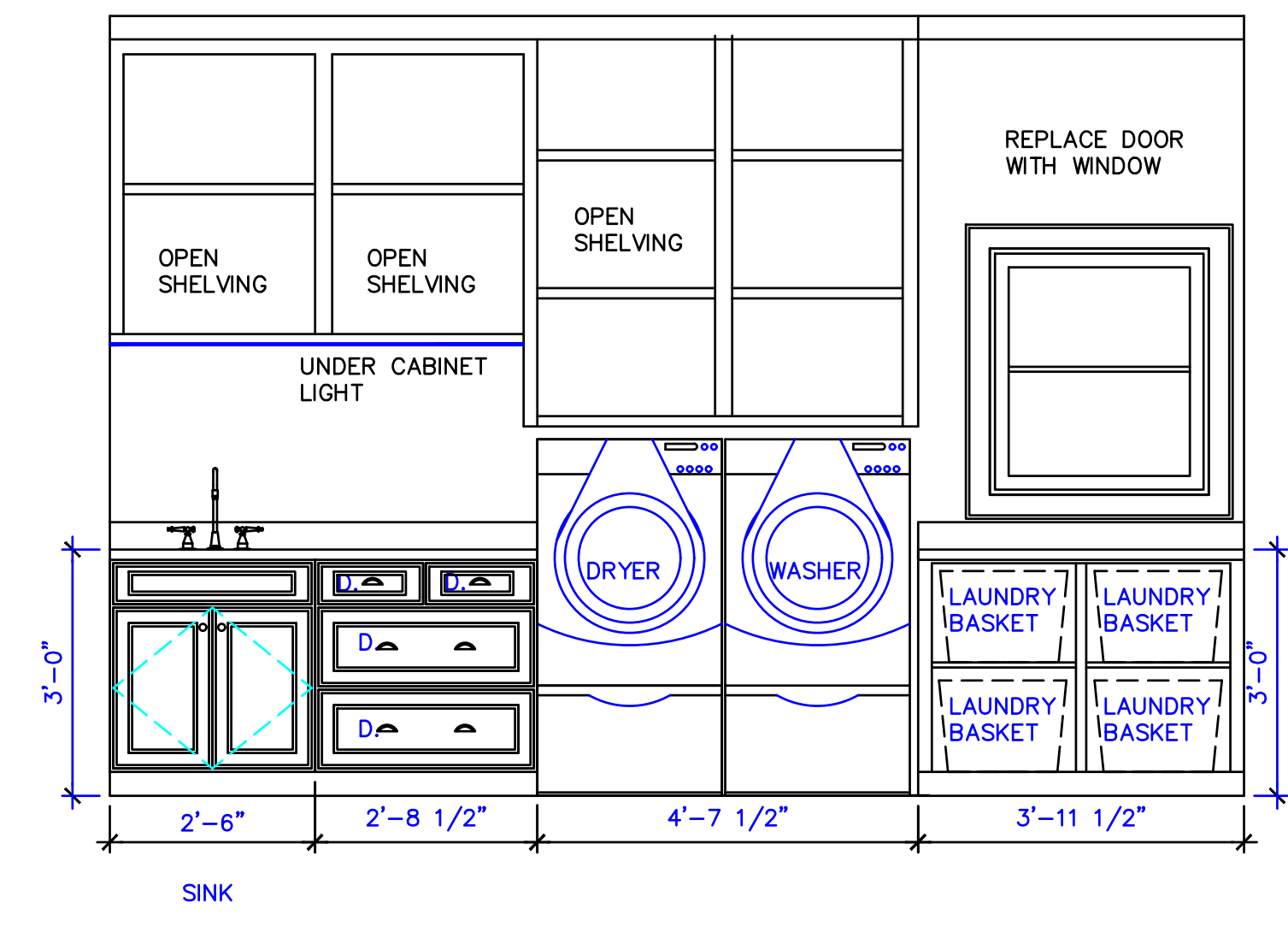
10 - INT. ELEV. @ PANTRY  
SCALE: 1/2"=1'-0"



09 - INT. ELEV. @ PANTRY  
SCALE: 1/2"=1'-0"

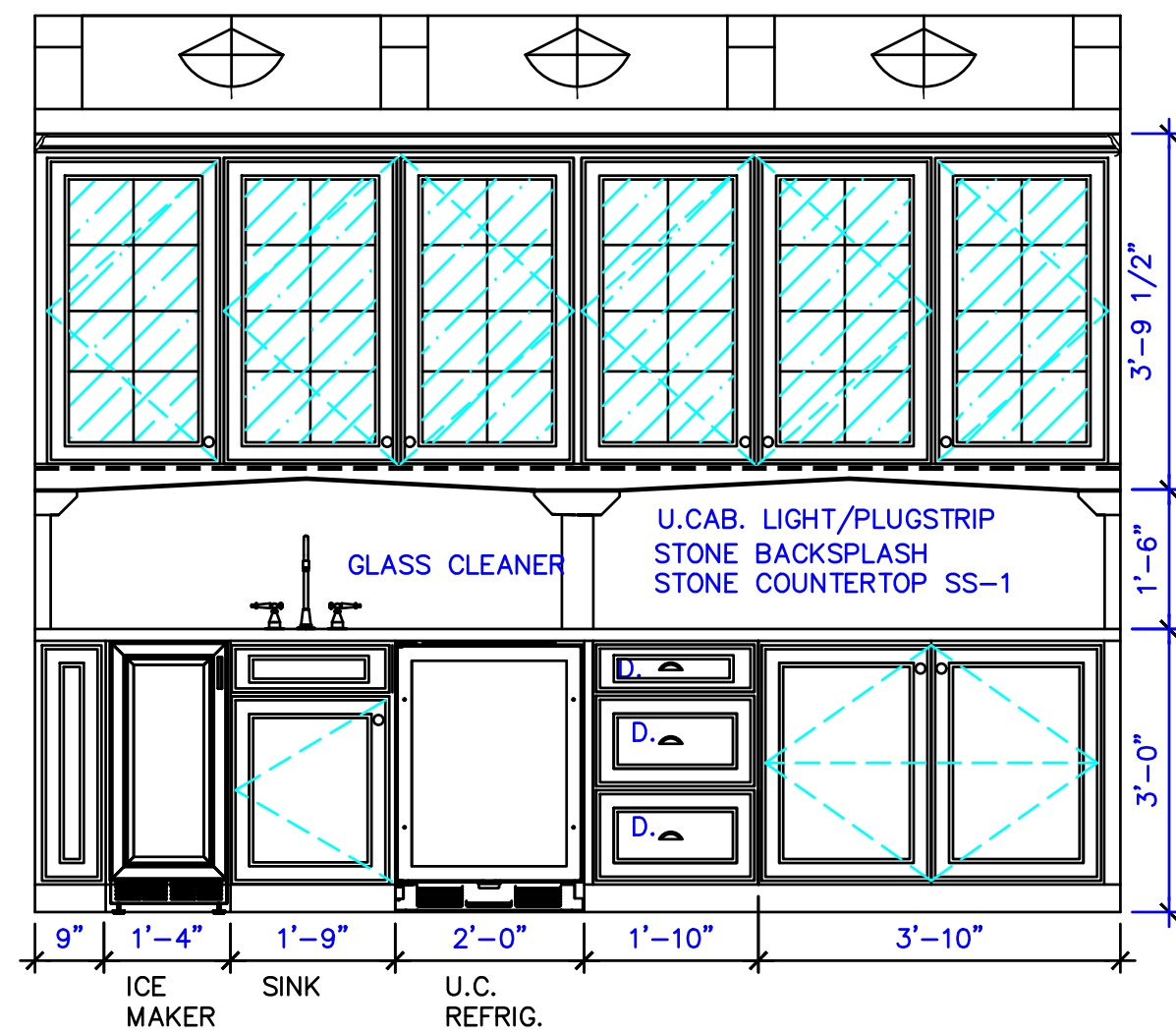


08 - INT. ELEV. @ LAUNDRY  
SCALE: 1/2"=1'-0"

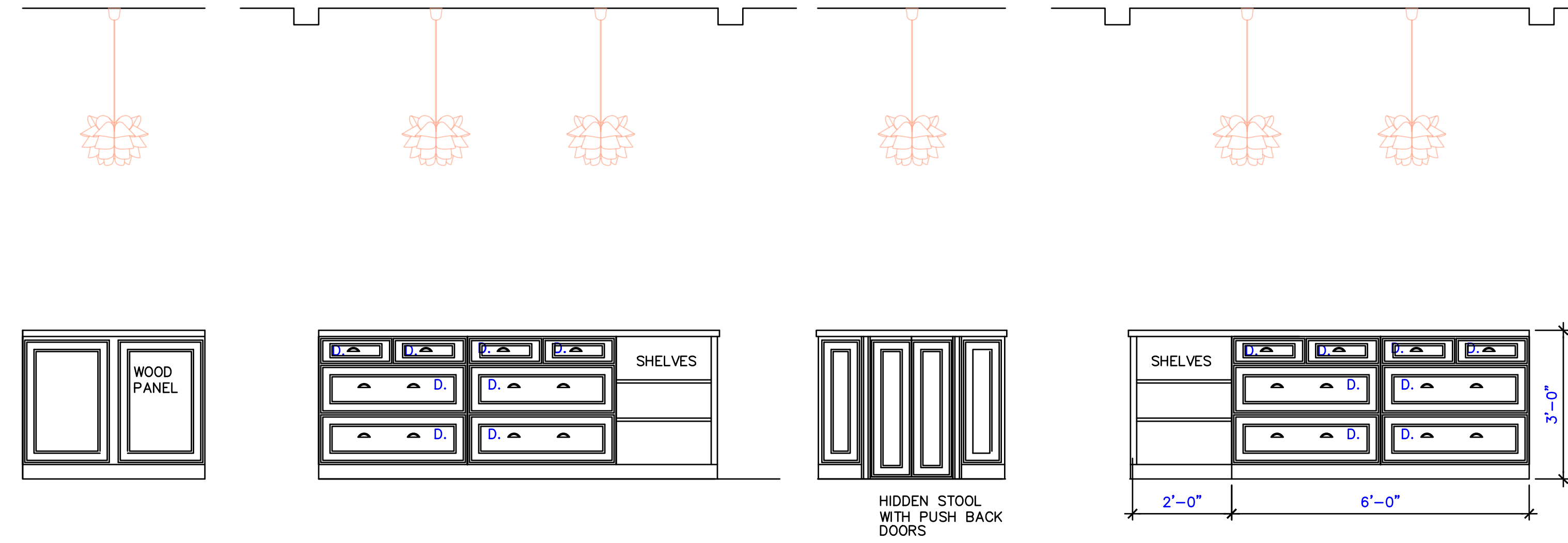


07 - INT. ELEV. @ LAUNDRY  
SCALE: 1/2"=1'-0"

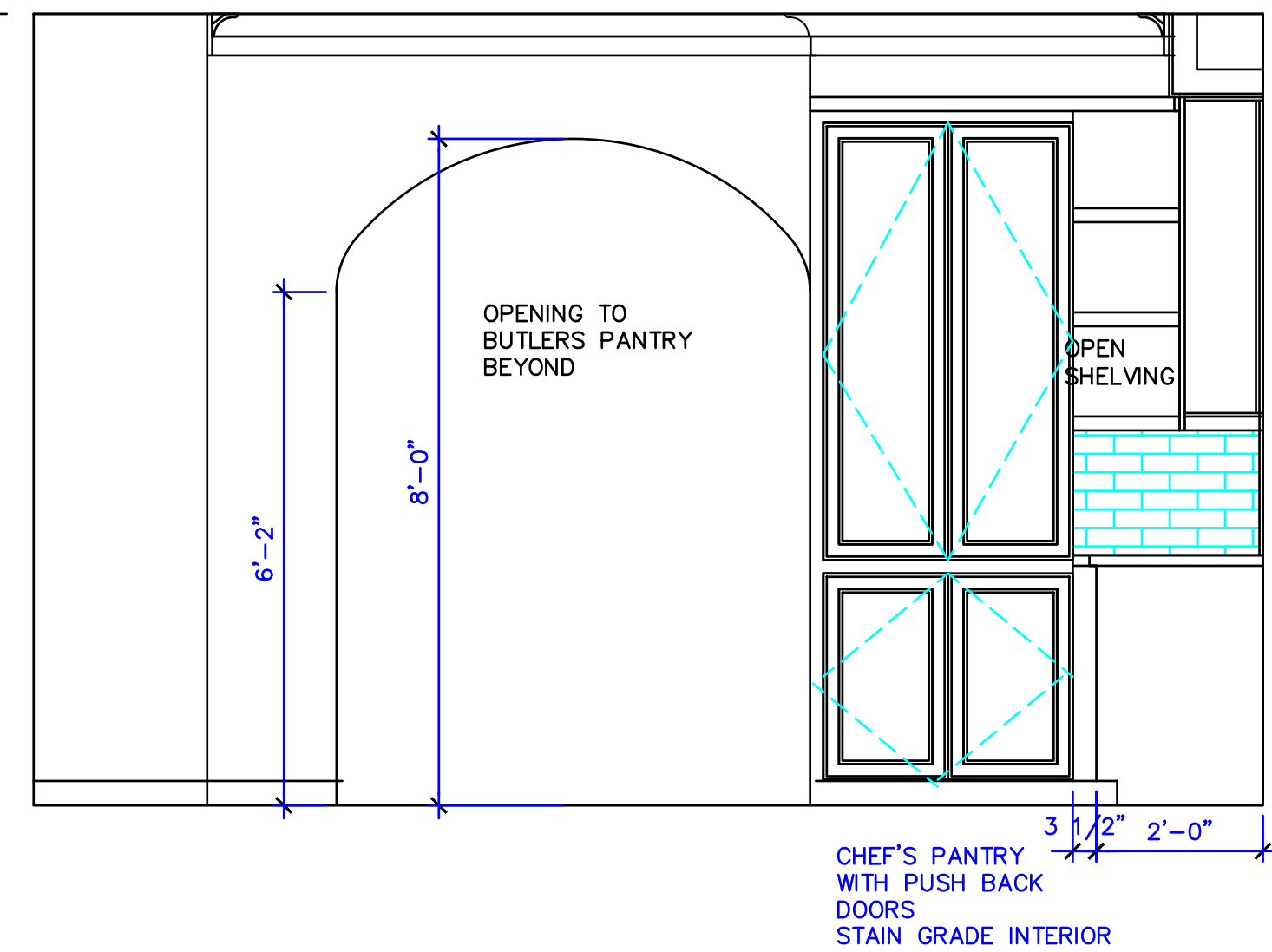
BARREL VAULTED CEILING WITH 2X4 BEAM STRAPPING WITH CEILING MOUNTED LIGHTING



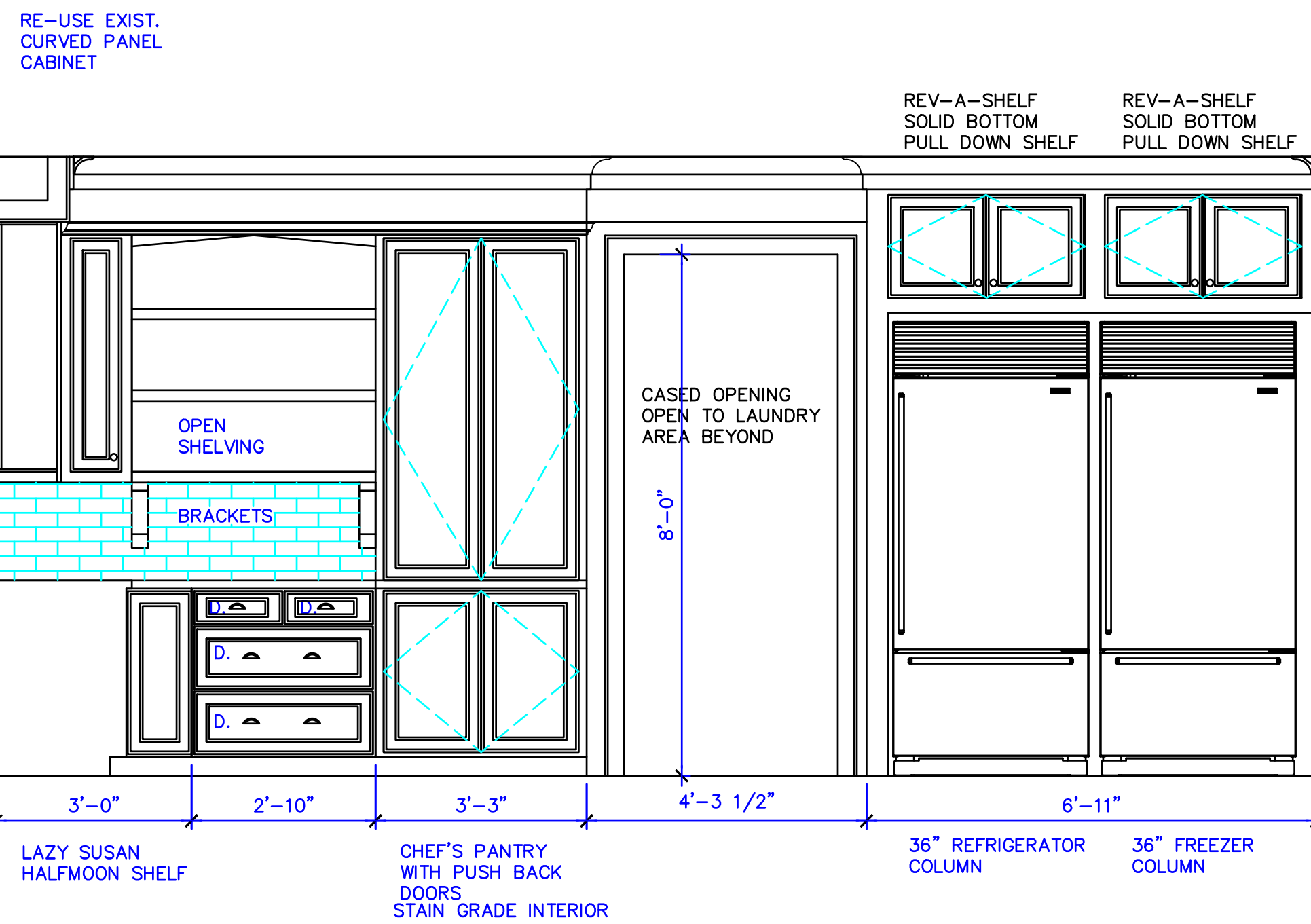
06 - INT. ELEV. @ BUTLERS PANTRY  
SCALE: 1/2"=1'-0"



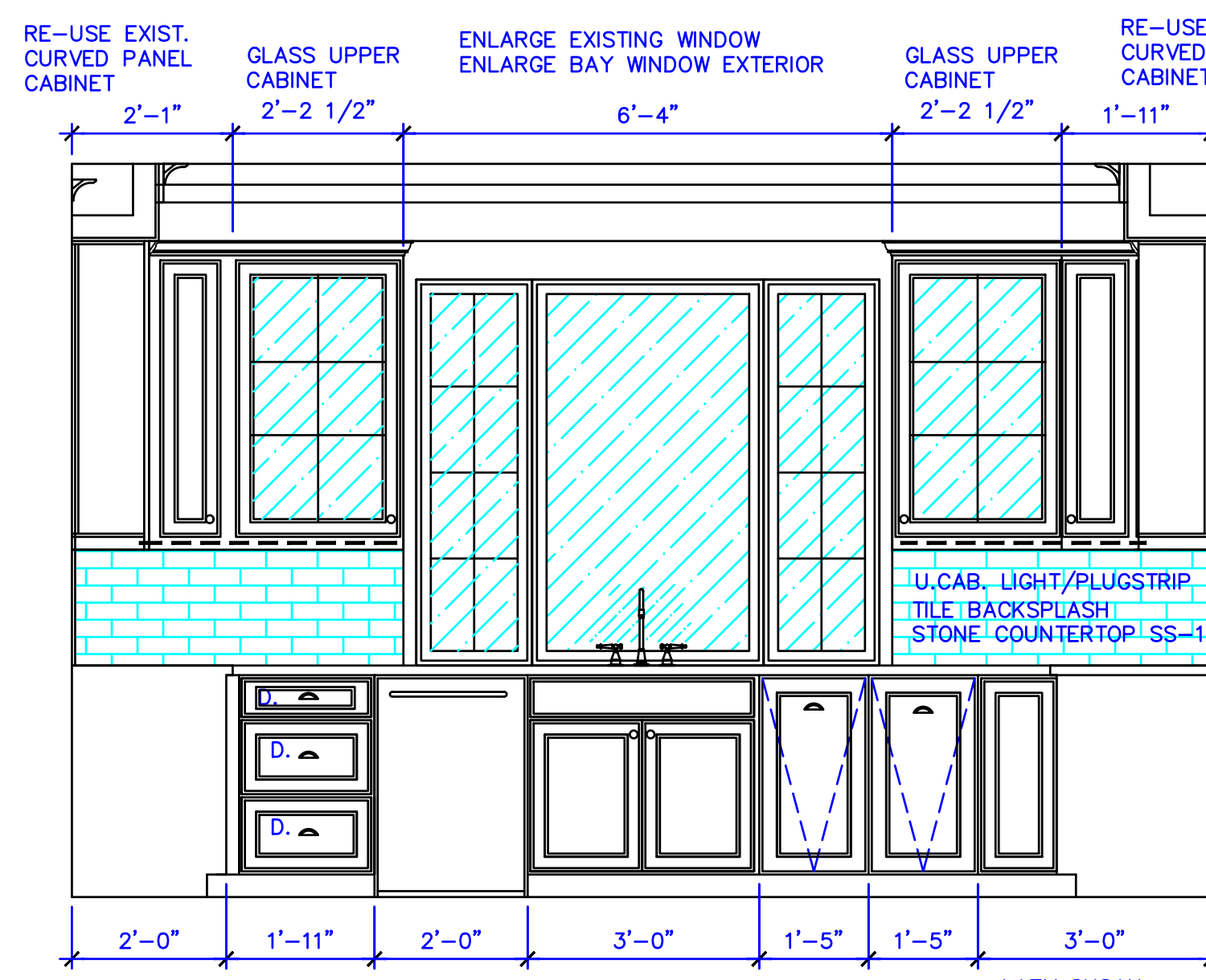
05 - INT. ELEV. @ KITCHEN  
SCALE: 1/2"=1'-0"



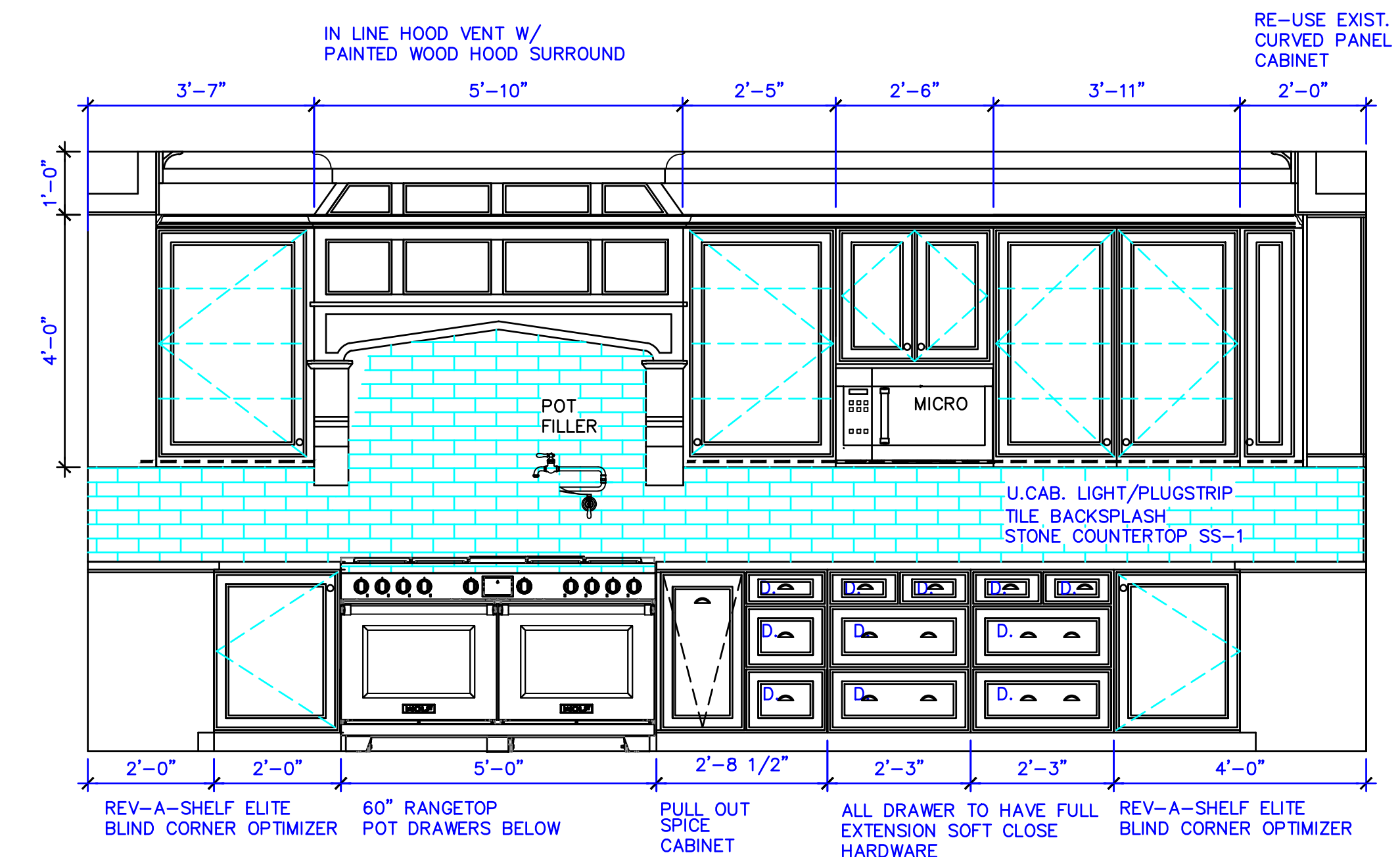
04 - INT. ELEV. @ KITCHEN  
SCALE: 1/2"=1'-0"



03 - INT. ELEV. @ KITCHEN  
SCALE: 1/2"=1'-0"



02 - INT. ELEV. @ KITCHEN  
SCALE: 1/2"=1'-0"



01 - INT. ELEV. @ KITCHEN  
SCALE: 1/2"=1'-0"



MUNCK RESIDENCE  
LOT 13, PT. LOT 12 & 14 BLOCK: D/682  
5020 SWISS  
DALLAS, TEXAS

REVISIONS:

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DATE: 10/17/2025

SHEET NO.

**A-9**

SECOND FLOOR PLAN

COA— 26 - 000056  
Applicant Name: EHH

Date Received: \_\_\_\_\_  
Received by: \_\_\_\_\_

### Window Survey Form—Window Condition Report

Window #	Window Condition
1	Kitchen Not original to home. In bad condition Being replaced in place.
2	
3	
4	
5	Double Doors Not original to home and in bad condition Being replaced in place.
6	
7	
8	
9	
10	Side Door Not original to home and in poor condition.
11	
12	
13	This will be replaced with a window.
14	
15	
16	
17	
18	
19	
20	

Window #	Window Condition
21	
22	
23	
24	
25	
26	
27	
28	
29	
30	
31	
32	
33	
34	
35	
36	
37	
38	
39	
40	

## Window Survey Form

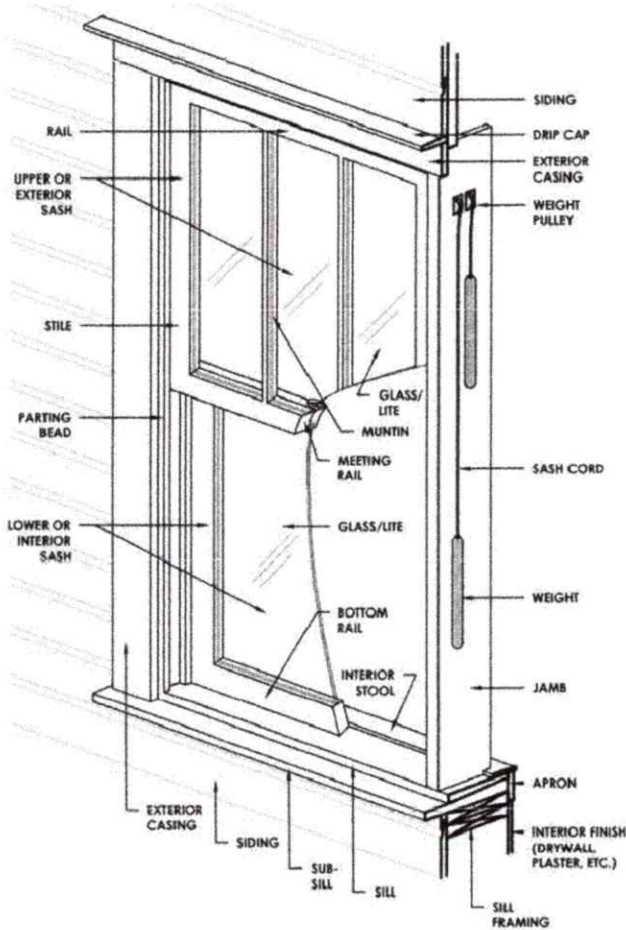
Have	Basic Requirements
<input type="checkbox"/>	1. Photographs or drawing of each elevation of the structure, with all the window openings on each elevation numbered.
<input type="checkbox"/>	2. Photographs of each window opening <i>numbered</i> corresponding to the photographs or drawings from #1.
<input type="checkbox"/>	3. Condition Evaluation of each window (see reverse).
<input type="checkbox"/>	4. Proposed window design (casement, fixed, etc.) , pattern (3/1, 6/6, 1/1, etc.) , materials (wood, vinyl, clad, etc.), etc. Specify if different for certain openings.
<input type="checkbox"/>	5. Proposed window product brochure/information that includes the company's depiction or photograph (not wind load information) of actual windows. We need to know what they look like on the exterior.
<input type="checkbox"/>	6. Other _____

**ALL window openings** on the structure should be assigned a **number** and **described** under the same number on the back of this sheet. Even those not being replaced should be assigned a number, however a photograph of those windows is not necessary, note on the second page that you aren't looking to replace that window number.

Windows in **pairs** or **groupings** should be assigned **separate** numbers. Windows in dormers and small fixed windows *should* also be included, but *not* door sidelights or transoms associated with a door.

On the second page, describe the issues and conditions of each window in detail, referring to the specific parts of the window (see diagram to the left). The photographs can be from the interior, exterior, or both. *Additional close-up photographs*, showing evidence of window condition, **MUST** be provided to better document problem areas.

The Planning and Development Department's evaluation and recommendation is based on deterioration/damage to the window unit, and associated trim. Broken glass and windows that are painted shut are not necessarily grounds for approving replacement.



Total Number of Window Openings on the Structure	
Number of Historic Windows on the Structure	
Number of Existing Replacement/Non-Historic Windows	3
Number of Windows Completely Missing	
Total Number of Windows to be Replaced	3

≠ Doors





