

PROJECT INFORMATION

ADU AT THE GREENBRIAR RESIDENCE



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**802 W GREENBRIAR LN,
 DALLAS, TX 75208**

ADDRESS:

V0 - 07/30

REVISIONS:

CONSULTANT:

LEGAL DESCRIPTION:
 DEALEY SAMEST
 BLK 2/5824 LOT 4

PROJECT DATA:

SCALE:

AS NOTED

DATE:

12/09/25

SHEET DATA:

COVER SHEET

A0-0

THESE PLANS ARE INTENDED TO PROVIDE BASIC CONSTRUCTION INFORMATION NECESSARY TO SUBSTANTIALLY BUILD THIS STRUCTURE. THESE PLANS MUST BE VERIFIED AND CHECKED BY THE BUILDER, HOMEOWNER, AND ALL CONTRACTORS OF THIS JOB PRIOR TO CONSTRUCTION. BUILDER SHOULD OBTAIN COMPLETE ENGINEERING SERVICES, HVAC, AND STRUCTURAL ENGINEERING SERVICES PRIOR TO CONSTRUCTION OF ANY KIND. NOTE: ALL FEDERAL, STATE, AND LOCAL CODES AND RESTRICTIONS TAKE PRECEDENCE OVER ANY PART OF THESE PLANS.

GREAT CARE AND EFFORT HAVE GONE INTO THE CREATION OF THESE BLUEPRINTS. HOWEVER, BECAUSE OF THE VARIANCE IN GEOGRAPHIC LOCATIONS, THE CREATOR OF THESE PLANS WILL NOT ASSUME LIABILITY FOR ANY DAMAGES DUE TO ERRORS, OMISSIONS, OR DEFICIENCIES ON THESE PLANS. OWNER/BUILDER MUST COMPLY WITH LOCAL BUILDING CODES PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE PURCHASE OF THESE PLANS ENTITLES THE BUYER TO CONSTRUCT THIS HOUSE ONLY. NOTE: ANY COPYING, TRACKING, OR ALTERING OF THESE PLANS IS NOT PERMITTED. VIOLATORS WILL BE SUBJECT TO PROSECUTION UNDER COPYRIGHT LAWS.

SCALE: 24X36, 1/4" = 1'-0" || 11X17, 1/8" = 1'-0"

ABBREVIATIONS

V:	ABOVE HDW HARDWARE	REFR:	REFRIGERATOR
AFF:	ABOVE FINISHED FLOOR	EL:	ELEVATION
HR:	HAND RAIL	REINF:	REINFORCED
ADJ:	ADJUSTABLE	EQ:	EQUAL
HVAC:		REQ:	REQUIRED
HEATING/VENTILATING/AIR CONDITIONING		ROW:	RIGHT OF WAY
AB:	ANCHOR BOLT	RM:	ROOM
HM:	HOLLOW METAL	EB:	EXPANSION BOLT
ALT:	ALTERNATE	RO:	ROUGH OPENING
HORIZ.:	HORIZONTAL	EMB:	EMBED
ALUM:	ALUMINUM	RB:	RUBBER BASE
HT:	HEIGHT	EJ:	EXPANSION JOINT
ANOD:	ANODIZED	EXT:	EXTERIOR
HWH:	HOT WATER HEATER	SIM:	SIMILAR
APPROX:	APPROXIMATE	EN:	END NAIL
INSUL:	INSULATION	SHT:	SHEET
BM:	BENCH MARK	EIFS:	EXTERIOR INSULATION FINISH SYSTEM
INT:	INTERIOR	SAT:	SUSPENDED ACOUSTICAL TILE
BLK:	BLOCK		
JHA:	JURISDICTION HAVING AUTHORITY	EQUIP:	EQUIPMENT
BLKG:	BLOCKING	STL:	STEEL
JT:	JOINT	EXP:	EXPOSED
BLDG:	BUILDING	SPEC:	SPECIFICATION
LAV:	LAVATORY	FO:	FACE OF
BO:	BOTTOM OF	SF:	SQUARE FEET
LT WT:	LITE WEIGHT	FC:	FACE OF CONCRETE
CB:	CATCH BASIN	STOR:	STORAGE
MAX:	MAXIMUM	FOF:	FACE OF FRAMING
CLG:	CEILING	SUSP:	SUSPENDED
MECH:	MECHANICAL	FIN:	FINISH
CT:	CERAMIC TILE	SYS:	SYSTEM
CL:	CENTER LINE	FE:	FIRE EXTINGUISHER
MFR:	MANUFACTURER	TEL:	TELEPHONE
CLR:	CLEAR	FF:	FINISH FLOOR
MAT:	MATERIAL	T&G:	TONGUE & GROOVE
COL:	COLUMN	FEC:	FIRE EXTINGUISHER AND CABINET
MTL:	METAL	THK:	THICK
COMP:	COMPOSITE	FD:	FLOOR DRAIN
MIN:	MINIMUM	TB:	TOWEL BAR
CONC:	CONCRETE	FLR:	FLOOR OR FLOORING
MLD:	MOLDING	TOB:	TOP OF BEAM
CMU:	CONCRETE MASONRY	FTG:	FOOTING
UNIT CONT:	CONTINUOUS OR	TOS:	TOP OF SILL
NOM:	NOMINAL	TOW:	TOP OF WALL
CONST:	CONSTRUCTION	FND:	FOUNDATION
NIC:	NOT IN CONTRACT	TPD:	TOILET PAPER DISP.
CJ:	CONTROL JOINT	FOIC:	FURNISHED BY OWNER
NTS:	NOT TO SCALE	INSTALLED BY CONTRACTOR	
CPT:	CARPET	TPL:	TOP PLATE
DBL:	DOUBLE	TO:	TOP OF
O/C:	ON CENTER	GAL:	GAGE
DEMO:	DEMOLISH/DEMOLITION	TYP:	TYPICAL
OPG:	OPENING	GALV:	GALVANIZED
DIA:	DIAMETER	UNO:	UNLESS NOTED
OPP:	OPPOSITE	OTHERWISE	
DIM:	DIMENSION	GB:	GRAB BAR
OH:	OVERHEAD	UR:	URINAL
DISP:	DISPENSER	GEN:	GENERATOR
PTD:	PAPER TOWEL DISP.	VB:	VAPOR BARRIER
DR:	DOOR	GL:	GLASS
PVMT:	PAVEMENT	VENT:	VENTILATION
DW:	DISHWASHER	GLB:	GLU-LAM BEAM
PERF:	PERFORATED	VERT:	VERTICAL
DWG.S:	DRAWINGS	GR:	GUARD RAIL
PLAM:	PLASTIC LAMINATE	VG:	VERTICAL GRAIN
DWR:	DRAWER	GWB:	GYP SUM WALL BOARD
PVC:	POLYVINYL CHLORIDE	GYP:	GYP SUM
DF:	DRINKING FOUNTAIN	WP:	WATERPROOF(ING)
PT:	PRESSURE TREATED	HB:	HOSE BIB
DS:	DOWN SPOUT	WWF:	WELDED WIRE FABRIC
PL:	PROPERTY LINE OR PLATE	WR:	WATER RESISTANT
EA:	EACH	HD:	HOLD DOWN
PLY:	PLYWOOD	WND:	WINDOW
ELEC:	ELECTRIC	HDR:	HEADER
		WD:	WOOD
		NOTE:	

IF AN ABBREVIATION IS FOUND IN THE SET OF PLANS, IS NOT LISTED ABOVE, AND THERE IS ANY QUESTION AS TO ITS INTENDED MEANING, NOTIFY THE ARCHITECT IMMEDIATELY.

RESIDENTIAL GENERAL NOTES

- It is the responsibility of the contractor to become fully aware of any and all conditions related to the site and existing conditions that may affect the cost of advancing construction activities, prior to submitting a bid.
- Contractor shall verify all dimensions and conditions at the job site including soil conditions, and conditions related to the existing utilities and services before commencing work and be responsible for same. All discrepancies shall be reported to the owner immediately.
- Do not scale drawings or details - Use given dimensions. Check details for location of all items not dimensioned on plans. Dimension on plans are to face of framing or center line of columns typically. Door and casel openings without dimensions are to be six (6) inches from face of adjacent wall or centered between walls.
- The drawings indicate general and typical details of construction. Where conditions are not specifically indicated but are of similar character to details shown, similar details of construction shall be used, subject to review and approval by the architect and structural engineer.
- Building systems and components not specifically detailed shall be installed, as per minimum manufacturers recommendations. Notify the architect of any resulting conflicts.
- All work shall conform to applicable building codes and ordinances. In case of any conflict wherein the methods or standards of installation of the materials specified do no equal or exceed the requirements of the laws or ordinances, the laws or ordinances shall govern.
- Install dust barriers and other protection as required to protect installed finishes and facilities.
- Plumbing, mechanical and electrical drawings, etc. are supplementary to the architectural drawings. It shall be in the responsibility of each contractor to check with the architectural drawings before installation of their work. Any discrepancy between the architectural drawings and the consulting engineer(s) or other supplementary drawings shall be brought to the owner's attention in writing.
- This project contains glazing that will be subject to federal and local glazing standards and the glazing subcontractor shall be responsible for adherence to these requirements. If the glazing subcontractor finds anything in the documents not in compliance with the standards, he/she shall bring discrepancies to the attention of the architect before proceeding.
- All glazing in hazardous locations, defined by the IRC sec.R308.4, shall by safety glazing, including but not limited to the safety glazing identified in the construction documents.
- There shall be no exposed pipes, conduits, ducts, vents, etc. All such lines shall be concealed or finished, unless noted as exposed construction on drawings. Offset ducts where required, so that finished wall surface will be flush.
- Contractor shall provide temporary bracing for the structure and structural components until all final connections have been completed in accordance with the plans.
- Carry all footings to solid, undisturbed original earth. Remove all unsuitable material under footings and slab and replace with concrete or with compacted fill as directed by architect.
- All wood framing details not shown otherwise shall be constructed to the minimum standards of the IRC.
- All wood in direct contact with concrete or exposed to weather shall be pressure treated wood with an approved preservative unless decay resistant hardwood of cedar or redwood is used. Fasteners for pressure treated wood shall be hot dipped galvanized steel, stainless steel, silicon bronze, or copper.
- Nail gypsum wallboard to all studs, top and bottom plates and blocking with cooler nails @ 7 inches o.c. maximum spacing unless shown otherwise. Use 1/2" wallboard, 5/8" for all roof and wallboard.
- Provide galvanized insulation between dissimilar metals.
- No structural, electrical, mechanical, plumbing, etc. items are located within this set of drawings.
- The contractor is to verify the location of all utilities and services to the site prior to beginning any site improvements.
- No materials from the site or stock piled on public right-of-way. All such materials are to be removed from the site.
- Adjacent properties, streets and walks are to be protected from damage at all times.
- All downspouts and roof drains to be connected to storm sewer by lightning wires (permitted by local jurisdiction) site conditions allow for greys or surface drainage and unless noted otherwise in construction documents.
- All dimensions are face of stud wall, centerline of column, or face of concrete unless noted otherwise.
- The contractor shall secure permits required by the fire department prior to building occupation.
- The contractor shall take all necessary precautions to ensure the safety of the occupants and workers at all times during the course of the project.
- Approved plans shall be kept in a plan box and shall not be used by any workmen. All construction sets shall reflect the same information. The contractor shall also maintain in good condition, one complete set of plans with all revisions, addends and changes orders on the premises at all times. Said plans are to be under the care of the job superintendent.
- The contractor and/or the sub-contractors shall apply for, obtain and pay for all required permits and fees except for the building permit.
- Construction hours, per jurisdiction, are to be observed for all phases of the project.
- Class "A" roofing is required for fire protection.
- Ducts in the garage and ducts penetrating the walls or ceilings separating the dwelling from the garage shall be constructed of a minimum no. 26 gauge steel and shall have no openings in the garage.
- Remove all vegetation, organic material and wood formwork from under-floor grade before the building is occupied for any reason.
- Fireblocking shall be provided to cut off all concealed draft openings (both vertical & horizontal) and to form an effective fire barrier between stories, and between a top story and the roof space, including the following: vertically at ceiling and floor levels, horizontally at intervals not exceeding 10 feet, at all intersections between concealed vertical & horizontal spaces such as soffits, drop and cover ceilings, in concealed spaces between stud stringers at the top and bottom of the run, and at openings around vents, pipes and ducts at ceiling and floor level with an approved material to resist the free passage of flame.
- Wall covering products sensitive to adverse weather shall not be installed until adequate weather protection for the installation is provided. Exterior sheathing shall be dry before applying exterior cover.
- Interior coverings or wall finishes shall be installed in accordance with IRC chapter 7 and tables R702.1(1), R702.1(2), R702.1(3) and R702.1.5. Interior masonry veneer shall comply with the requirements of section R703.7.1 for support and section R703.7.4 for anchorage, except an air space is not required. Interior finishes and materials shall conform to the flame spread and smoke density requirements of section R022.9.
- Unless specified otherwise, all wall coverings shall be fastened in accordance with table R703.4 or with other approved aluminum, stainless steel, zinc-coated or other corrosion-resistant fasteners.
- Asphalt shingle base and cap flashing shall be installed in accordance with manufacturer's installation instructions. Base flashing shall be of either corrosion-resistant metal of 0.19 inch nominal thickness or mineral surface roll roofing weighing a minimum of 77 lbs. over 100 sq. ft. Cap flashing shall be corrosion-resistant metal of 0.019 minimum nominal thickness. Valley ironings shall be installed in accordance with manufacturer's installation instructions before applying shingles. See IRC R905.2.8.2 for valley ironing types allowed.
- Roofing requires an ice barrier that consists of at least two layers of underlayment cemented together or of a self-adhering polymer modified bitumen sheet used in lieu of normal underlayment and extend from the eaves edge to a point at least 24 inches inside the exterior wall line of the building.
- Metal roofing shall be applied to solid sheathing. Metal roofing over structural decking shall comply with table R905.10.3. The minimum slope for standing seam metal roofing systems is per IRC905.10.2. Install in accordance with IRC905. The following fasteners shall be used:
 - Galvanized fasteners for galvanized roofing
 - Three hundred series stainless steel fasteners for copper roofs
 - Stainless steel fasteners are acceptable for metal roofs
- Installation of appliances shall conform to the conditions of their listing and label and manufacturer's installation instructions. The manufacturer's operating and installation instructions shall remain attached to the appliance.
- A permanent factory-applied nameplate shall be affixed to appliances on which shall appear, in legible lettering, the manufacturer's name or trademark, the model number, serial number, and the label or mark of the listing agency. The hourly rate in blue/hrs, type of fuel or electrical rating and other information as described in IRC M1303.1 and G2404.3 shall be required on the label.
- Where conflicts occur between the IRC and the conditions of listing or the manufacturer's installation instructions occur, the provisions of the code shall apply.
- Fuel-fired appliances shall be designed for use with the type of fuel to which they will be connected and the altitude at which they are installed. Appliances that comprise parts of the building mechanical system shall not be converted. The fuel input rate shall not be increased or decreased beyond the limit rating for the altitude at which the appliance is installed.
- The building or structure shall not be weakened by the installation of mechanical systems. Where floors, walls, ceilings or any other portion of the building or structure are required to be altered or replaced in the process of installing or repairing any system, the building or structure shall be left in a safe structural condition in accordance with the IRC.
- Heat-producing equipment and appliances shall be installed to maintain the required clearances to combustible construction as specified in the listing and manufacturer's instructions. Reduction of clearances shall be in accordance with manufacturer's instructions and table M1306.2 (IRC) or IMC section 308. Clearances to combustibles shall include such considerations as door swing, shutters, coverings and drapes. Devices such as door stops or liners, closers, drapery ties or guards shall not be used to provide adequate clearances.

PLUMBING NOTES

- All plumbing work is to be BIDDER DESIGNED. The final design shall be based on the mechanical drawings and specifications contained in this set, and shall comply with all applicable CODES, including but not limited to the CODES referenced in General Notes.
- The plumbing work must adhere to all requirements of the construction documents and performance specifications. Additional notes are contained in the drawings.
- It shall be the responsibility of each Contractor to check with the Architectural drawings before installation of their work. Any discrepancy between the Architectural drawings and the consulting engineer(s) or other supplementary drawings shall be brought to the Architect's attention in writing.
- Each Contractor shall obtain his/her ancillary permit(s) as required.
- Provide pressure relief valve for hot water tank. Drain to the outside of the building with drain end not more than two feet nor less than 6" above the ground, pointing down.
- Hot water tanks having flexible pipe connections and over four feet tall shall be strapped down to prevent overturn in an earthquake.
- Provide an approved back flow prevention device at all hose bibs.
- Each horizontal drainage pipe shall be provided with a cleanout at its upper terminal.
- Contractor to provide horizontal drainage piping that meets the UPC/IPC for slope requirements.

THE GENERAL CONTRACTOR SHALL

- BE RESPONSIBLE FOR INITIATING, MAINTAINING, AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK.
- EXECUTE THE WORK IN A CAREFUL AND ORDERLY MANNER, WITH THE LEAST DISTURBANCE TO THE PUBLIC.
- COORDINATE PRIOR TO PRICING ALL WORK AS REQUIRED WITH THE BUILDING MANAGEMENT INCLUDING USE OF TEMPORARY STORAGE, LOADING AREAS, BUILDING SYSTEMS, KEYING SYSTEMS, EXECUTION OF WORK OR STOCKING OF MATERIALS DURING OFF HOURS ETC.
- COORDINATE ALL FACETS OF THE WORK AND ALL TRADES INVOLVED SO AS TO AVOID CONFLICT IN THE LOCATION, INSTALLATION, AS CONSTRUCTION OF THE WORK AS INDICATED IN THE DRAWINGS.
- BE RESPONSIBLE FOR THE DEVELOPMENT COORDINATION AND EXAMINATION OF CONSTRUCTION METHODS AND PROCEDURES.
- BE RESPONSIBLE FOR CHECKING ALL FIELD CONDITIONS AND DIMENSIONS AND CONFIRMING THAT ALL DETAILS, DIMENSIONS, ETC. ARE BUILDABLE AS SHOWN. IF THERE ARE QUESTIONS, THE CONTRACTOR MUST FIRST OBTAIN CLARIFICATION FROM THE TENANT BEFORE PROCEEDING WITH SUCH WORK OR RELATED CONSTRUCTION.
- VERIFY ALL EXISTING CONDITIONS IN THE FIELD. ALL DIMENSIONS SHALL BE VERIFIED IN THE FIELD FOR COORDINATION WITH EXISTING AND NEW CONDITIONS. THE CONTRACTOR SHALL NOTIFY THE TENANT OF ANY DISCREPANCIES BETWEEN THE DRAWINGS AND THE EXISTING CONDITIONS PRIOR TO PRICING, ORDERING OR PROCEEDING WITH THE WORK.
- BE RESPONSIBLE FOR CORRECTION OF ALL WORK AT HIS OWN EXPENSE FOR ANY WORK INSTALLED IN CONFLICT WITH THE DRAWINGS, INCLUDING SEQUENCING OR COORDINATION INDUCED ERRORS.
- RESPONSIBLE FOR SAFE REMOVAL AND DISPOSAL OF INTERIOR CONSTRUCTION SHOWN TO BE REMOVED. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIR OF ANY DAMAGES ARISING OUT OF DEMOLITION WORK.
- INSTALL ALL EQUIPMENT AND APPLIANCES SPECIFIED ACCORDING TO MANUFACTURERS INSTRUCTIONS AND SPECIFICATIONS. THE GENERAL CONTRACTOR SHALL VERIFY THAT ALL CLEAR OPENING DIMENSIONS IN ASSOCIATED CABINETRY ADEQUATELY ACCOMMODATE THE SPECIFIED EQUIPMENT.
- REFINISH ENTIRE EXISTING SURFACE AS NECESSARY TO PROVIDE AN EVEN FINISH TO MATCH ADJACENT FINISHES.
- PROVIDE ALL NECESSARY BLOCKING, STIFFENERS, BRACING, FRAMING, HANGERS, OR OTHER ITEMS IN THIS CONTRACT OR EXISTING CONSTRUCTION REQUIRING THE SAME OR FOR N.I.C. ITEMS SPECIFICALLY NOTED.
- ALL TENANT DETAILS ARE TO BE COORDINATED WITH THE BASE BUILDING STRUCTURAL FRAMING AND OTHER BUILDING COMPONENTS, STRUCTURAL AND FIREPROOFING REQUIREMENTS SHALL COMPLY WITH ALL APPLICABLE CODES AND REGULATIONS.
- ALL DIMENSIONS ARE TAKEN FROM THE FACE OF THE FINISHED WALL, FLOOR, OR CEILING UNLESS NOTED OTHERWISE.
- NO DIMENSION SHALL BE TAKEN BY SCALING FROM THESE DRAWINGS.
- DATUM POINTS MUST BE SET WITH A LASER LEVEL AND REMAIN TRUE AND LEVEL THROUGHOUT THE SPACE.
- ALL STANDARD CONSTRUCTION SHALL CONFORM TO THE STANDARD DETAILS FOR TENANT IMPROVEMENT EXCEPT AS SUPERCEDED BY SPECIFIC DETAILS HEREIN.
- WORK DONE FOR ELECTRICAL, MECHANICAL, PLUMBING AND SPRINKLERS WILL BE DONE BY SUB-CONTRACTORS WITH CURRENT LOCAL LICENSE AND WILL FOLLOW THE CURRENT LOCAL AND STATE BUILDING CODE.
- EGRESS DOORS SHALL BE READILY OPERABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT. A READILY VISIBLE SIGN ON OR ADJACENT TO THE DOOR ON THE EGRESS SIDE IN ONE INCH HIGH LETTERS SHALL READ "THIS DOOR TO REMAINED UNLOCKED WHEN BUILDING IS OCCUPIED". LOCKING DEVICE IS READILY DISTINGUISHED AS A LOCK.
- THE FIRE ALARM SYSTEM IS TO BE IN WORKING ORDER AND BE IN COMPLIANCE WITH LOCAL REQUIREMENTS.
- MATERIALS CONTAINING ASBESTOS ARE NOT ALLOWED TO BE USED ON THIS PROJECT. CONTRACTOR IS TO COMPLY WITH STATE ASBESTOS LAWS. CONTRACTOR IS TO PROVIDE MATERIALS CUT SHEETS FOR ALL MATERIALS USED.

SCOPE OF PROJECT:

CONVERT THE EXISTING ATTACHED POOL HOUSE INTO AN ACCESSORY DWELLING UNIT (ADU) AT 802 W GREENBRIAR LN, DALLAS, TX, MAINTAINING THE EXISTING BUILDING FOOTPRINT AND PRIMARY STRUCTURE WHILE RECONFIGURING THE INTERIOR TO PROVIDE A LIVING/SLEEPING AREA, KITCHENETTE, AND FULL BATHROOM WITH NEW PARTITIONS, FINISHES, DOORS, AND WINDOWS AS NEEDED. WORK INCLUDES UPGRADING PLUMBING, MECHANICAL, AND ELECTRICAL SYSTEMS WITH NEW FIXTURES, LIGHTING, OUTLETS, HVAC, AND UTILITY CONNECTIONS TO COMPLY WITH CURRENT APPLICABLE CODES. THE BUILDING ENVELOPE WILL BE IMPROVED AS REQUIRED (INSULATION, WEATHERPROOFING, EXTERIOR REPAIRS, EGRESS) TO MEET CURRENT ENERGY AND LIFE-SAFETY STANDARDS. ASSOCIATED SITE WORK WILL PROVIDE CODE-COMPLIANT ACCESS, PARKING, AND ANY NECESSARY GRADING/DRAINAGE AND UTILITY ADJUSTMENTS RELATED TO THE ADU USE, ALONG WITH INSTALLATION OF A NEW 6'-0" PERIMETER PRIVACY FENCE.



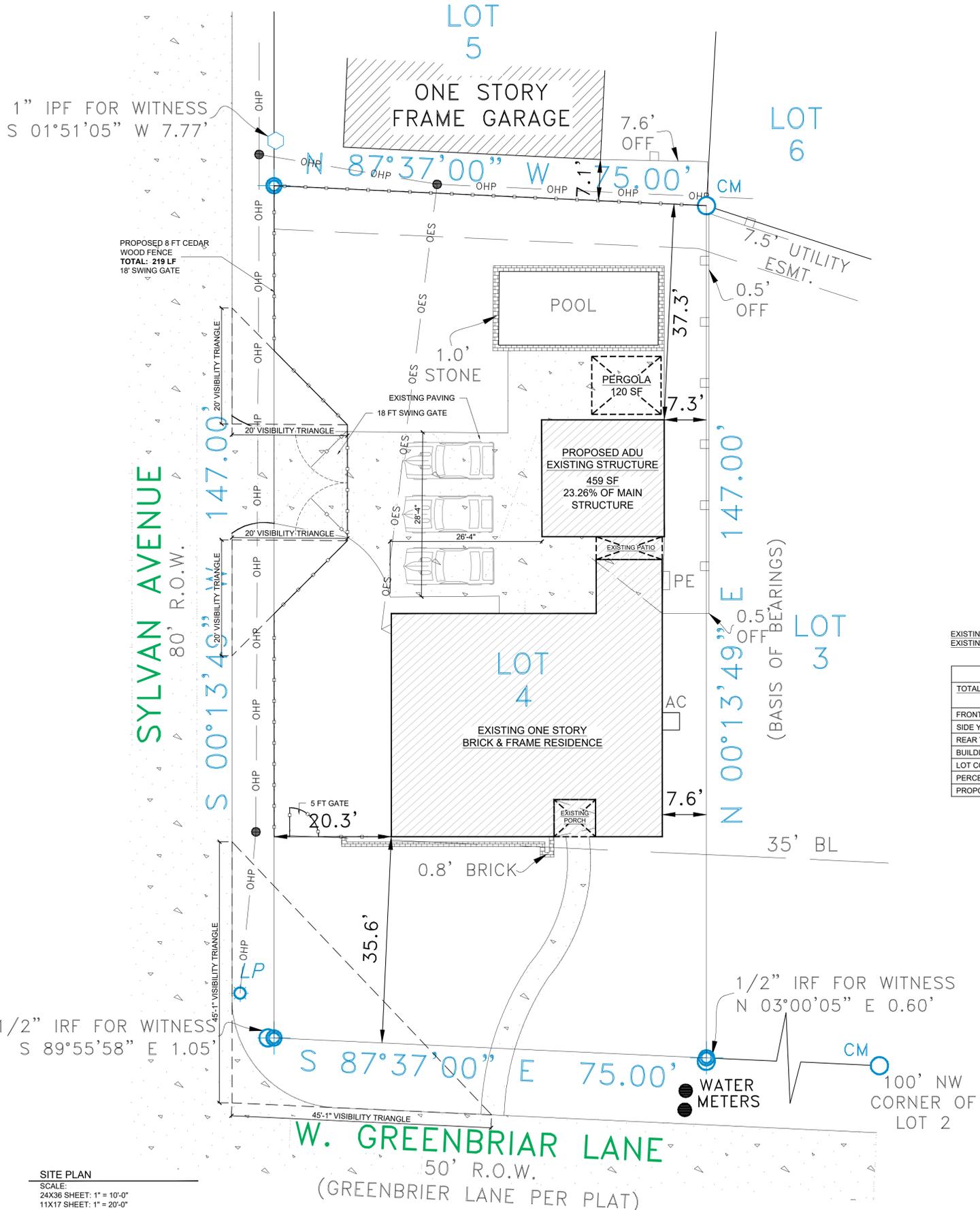
LOCATION MAP

SQUARE FOOTAGE TABULATION
EXISTING MAIN DWELLING LIVING AREA: 1,885 SF
COVERED PATIO: 45 SF
COVERED PORCH: 43 SF
TOTAL EXISTING: 1,973 SF
REMODEL CONVERTED GARAGE TO ADU: 459 SF
TOTAL REMODEL: 459 SF
TOTAL AUR: 2,432 SF

All construction shall comply with:

- 2021 International Residential Code (IRC) with statewide amendments
- 2021 International Mechanical Code (IMC) with statewide amendments
- 2021 International Fuel Gas Code both (IFGC), with state amendments
- 2021 International Plumbing Code (IPC) with with statewide amendments
- 2021 International Fire Code (IFC) with statewide amendments,
- 2020 National Electrical Code (NEC) (NFPA 70)
- 2021 International Energy Code (IEC) with statewide amendments

AND all applicable local and municipal codes, ordinances and standards.



1" IPF FOR WITNESS
S 01°51'05" W 7.77'

PROPOSED 8 FT CEDAR
WOOD FENCE
TOTAL: 219 LF
18' SWING GATE

SYLVAN AVENUE
80' R.O.W.

147.00'
S 00°13'49" W

49-11' VISIBILITY TRIANGLE
S 89°55'58" E 1.05'

W. GREENBRIAR LANE
50' R.O.W.
(GREENBRIAR LANE PER PLAT)

147.00'
N 00°13'49" E

1/2" IRF FOR WITNESS
N 03°00'05" E 0.60'

WATER METERS
100' NW CORNER OF LOT 2

BUILDING INFORMATION

EXISTING ZONING: KESSLER PARK CONSERVATION DISTRICT; SUBAREA 3
EXISTING USE: RESIDENTIAL

GENERAL SITE SUMMARY		
TOTAL LOT AREA	11,560.00 SF	
	REQUIRED	PROVIDED
FRONT YARD	35 FT	35 FT
SIDE YARD	5 FT	5 FT
REAR YARD	5 FT	5 FT
BUILDING HEIGHT	35 FT	-- FT
LOT COVERAGE	AREA UNDER ROOF	2,552 SF
PERCENT OF LOT COVERED	50% MAXIMUM	22.08%
PROPOSED PAVING	NONE	= 0 SF

NOTICES TO CONTRACTOR

THE CONTRACTOR(S) SHALL BE RESPONSIBLE FOR CONFIRMING THE LOCATION (HORIZONTAL & VERTICAL) OF ANY BURIED CABLES, CONDUITS, PIPES AND STRUCTURES (STORM SEWER, SANITARY SEWER, WATER, GAS, TELEVISION, ETC.) WHICH IMPACT THE CONSTRUCTION SITE. THE CONTRACTOR(S) SHALL NOTIFY THE OWNER OF ANY DISCREPANCIES FOUND BETWEEN THE ACTUAL CONDITIONS VERSUS THE INCURRED AS THE RESULT OF NOT CONFIRMING THE ACTUAL LOCATION (HORIZONTAL AND VERTICAL) OF SAID CABLES, CONDUITS, PIPES AND STRUCTURES SHALL BE BORNE BY THE CONTRACTOR(S). IF THE CONTRACTOR(S) DOES NOT ACCEPT THE EXISTING TOPOGRAPHY AS SHOWN ON THESE PLANS OR CIVIL PLANS AS PROVIDED (IF APPLICABLE TO PROJECT SITE), WITHOUT EXCEPTION, HE SHALL HAVE MADE AT HIS EXPENSE A TOPOGRAPHIC SURVEY BY A REGISTERED PROFESSIONAL ENGINEER OR A REGISTERED PROFESSIONAL LAND SURVEYOR AND SUBMIT IT TO THE OWNER FOR REVIEW.

THE CONTRACTOR(S) SHALL CALL 811 FOR UTILITY LOCATIONS AND MARKING AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION OR CONSTRUCTION ON THE SITE.



- GENERAL NOTES**
- COMPLY WITH CODES, LAWS, ORDINANCES, RULES, AND REGULATIONS OF PUBLIC AUTHORITIES GOVERNING THE WORK.
 - OBTAIN AND PAY FOR PERMITS AND INSPECTIONS REQUIRED BY PUBLIC AUTHORITIES GOVERNING THE WORK.
 - REVIEW DOCUMENTS, VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT WORK IS BUILDABLE AS SHOWN. REPORT ANY CONFLICTS OR OMISSIONS TO THE DESIGNER FOR CLARIFICATION PRIOR TO PERFORMING ANY WORK IN QUESTION.
 - CONTRACTOR SHALL ENSURE THAT ALL EMPLOYEES, AND SUBCONTRACTORS SHALL COMPLY WITH ALL BUILDING RULES AND REGULATIONS.
 - COORDINATE TELECOMMUNICATIONS, DATA AND SECURITY SYSTEMS, MAINTAIN EXITS, EXIT LIGHTING, FIRE PROTECTIVE DEVICES, AND ALARMS IN CONFORMANCE WITH CODES AND ORDINANCES.
 - PROTECT AREA OF WORK AND ADJACENT AREAS FROM DAMAGE.
 - DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE DESIGNER.
 - PARTITIONS ARE DIMENSIONED FROM FACE OF STUD TO FACED OF STUD U.N.O. MAINTAIN DIMENSIONS MARKED "CLEAR". ALLOW FOR THICKNESS OF FINISHES.
 - CONTRACTOR TO FIELD TO VERIFY ALL EXISTING SIZES, LOCATIONS, AND CHARACTERISTICS OF EXISTING EQUIPMENT BEFORE CONSTRUCTION AND TO FULLY COORDINATE TO DESIGN DOCUMENTS TO CORRECT ANY FIELD CONDITIONS OR CONFLICTS AS REQUIRED.
 - UNDERCUT DOORS TO CLEAR TOP OF FLOOR FINISHES BY 1/4-INCH, U.N.O.
 - PROVIDE CEILING BRACING, WHERE REQUIRED, IN ACCORDANCE WITH REQUIREMENTS OR APPLICABLE CODES AND AS INDICATED ON DRAWINGS.
 - GLAZING SHALL CONFORM WITH ALL FEDERAL AND LOCAL GLAZING CODES AND ORDINANCES.
 - FIELD VERIFY DIMENSIONS, UTILITY LOCATIONS AND CONDITIONS PRIOR TO AND DURING CONSTRUCTION.

- TREE PROTECTION NOTES**
- EXISTING TREES SHOWN TO REMAIN ARE TO BE PROTECTED DURING CONSTRUCTION. CHAIN LINK FENCING (MIN. 4'-0" HEIGHT) SHALL BE INSTALLED AT THE DRIP LINE OF ALL TREES OR TREE GROUPS TO REMAIN. PARKING OF VEHICLES OR PERFORMING WORK WITHIN THESE AREA OTHER THAN SHOWN ON THE PLAN WILL NOT BE ALLOWED. THE TREE PROTECTION MEASURES SHALL BE IN ACCORDANCE WITH THE CITY'S STANDARDS AND ORDINANCES.
 - DISPOSAL OF ANY WASTE MATERIAL SUCH AS, BUT NOT LIMITED TO, PAINT, ASPHALT, OIL, SOLVENTS, CONCRETE, MORTAR, ETC. WITHIN THE CANOPY AREA OF THE EXISTING TREES SHALL NOT BE ALLOWED.
 - NO ATTACHMENTS OR WIRES OF ANY KIND, OTHER THAN THOSE OF A PROTECTIVE NATURE, SHALL BE ATTACHED TO ANY TREE.
 - NO FILL OR EXCAVATION OF ANY NATURE SHALL OCCUR WITHIN THE DRIP LINE OF A TREE TO BE PRESERVED, UNLESS THERE IS A SPECIFIED WELL OR RETAINING WALL SHOWN ON THE GRADING PLAN.
 - NO MATERIALS SHALL BE STORED WITHIN THE DRIP LINE AREA OF A TREE TO BE PRESERVED.

- MAINTENANCE NOTES**
- FENCE TO BE MAINTAINED AND REPAIRED AS NEEDED DURING CONSTRUCTION.
 - NO CONSTRUCTION TRAFFIC, GRADING, STORAGE OR WASTE DISPOSAL ALLOWED WITHIN THE FENCED AREA AROUND TREES.

SITE PLAN
SCALE:
24X36 SHEET: 1" = 10'-0"
11X17 SHEET: 1" = 20'-0"

INNOVA DESIGN GROUP
1111 W. MOCKINGBIRD IN DALLAS, TX 75247
F: 214.343.9900
P: 214.343.9900

ADDRESS:
802 W GREENBRIAR LN,
DALLAS, TX 75208

REVISIONS:
V0 - 07/30

CONSULTANT:

PROJECT DATA:
LEGAL DESCRIPTION:
DEALEY SAMEST
BLK 2/5924 LOT 4

SCALE:
AS NOTED

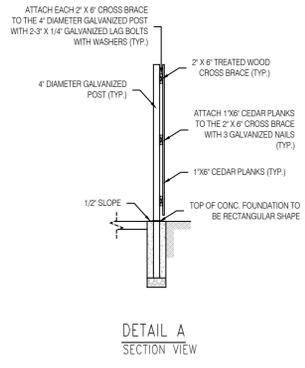
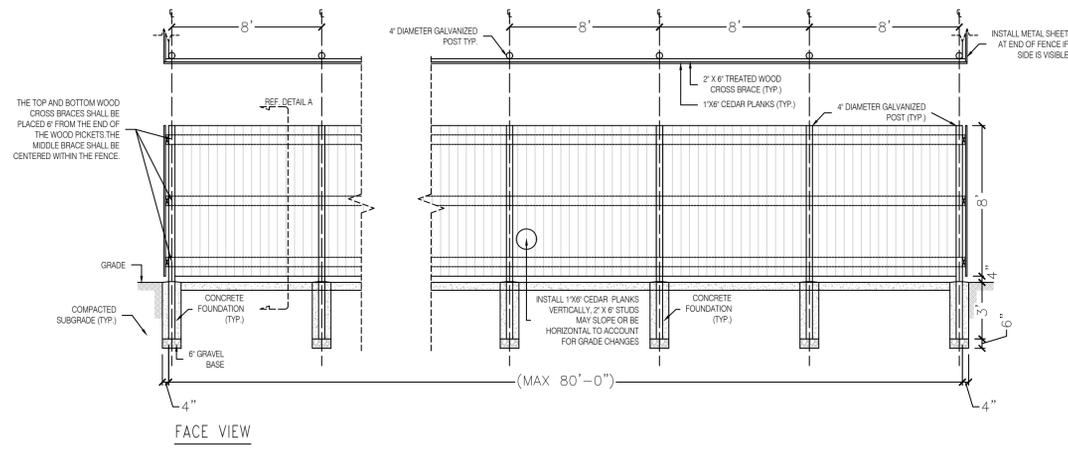
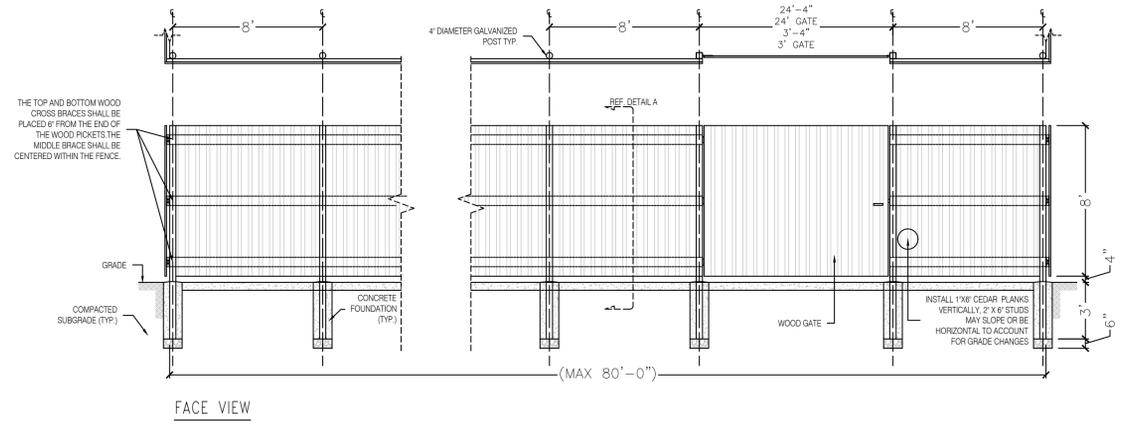
DATE:
12/09/25

SHEET DATA:
SITE PLAN
A1-0

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SCALE: 24X36: 1/4" = 1'-0" | 11X17: 1/8" = 1'-0"



FENCE DETAIL

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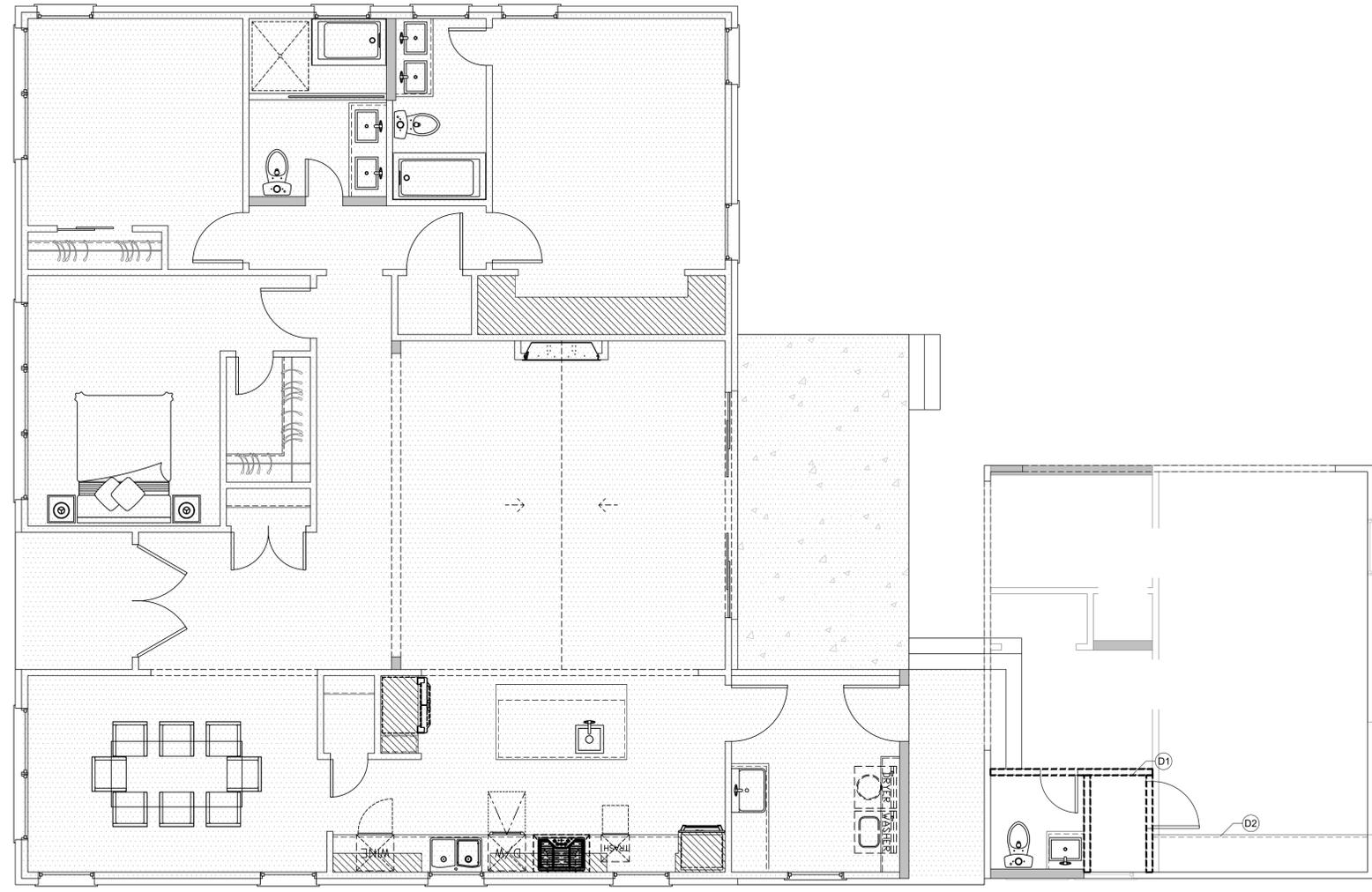
CONSULTANT:

PROJECT DATA: LEGAL DESCRIPTION: DEALEY SAM EST BLK 2/5924 LOT 4

SHEET DATA: SCALE: AS NOTED DATE: 12/09/25 SITE PLAN A1-1

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DEMOLITION NOTES BY NUMBER

- D1. DEMO EXISTING POWDER BATH AND EXTEND EXISTING PLUMBING THROUGH WALLS FOR NEW PROPOSED FULL BATHROOM.
- D2. DEMO CABINENTRY.

DEMOLITION PLAN LEGEND

	EXISTING PARTITION TO REMAIN.		EXTENT OF DEMOLITION.
	EXISTING PARTITION TO BE REMOVED.		NOT IN CONTRACT.
	PROPOSED WALLS.		PLAN NOTE SYMBOL.
	DENOTES EXISTING TO REMAIN.		CMU BLOCK WALL.
	DENOTES EXISTING TO BE RELOCATED.		PARTIAL WALL PARTITION.
	DENOTES EXISTING TO BE DEMOLISHED.		DEMO AREA, RE NOTES FOR ITEMS TO BE DEMOED.

FLOOR PLAN - AS-BUILT

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FLOOR PLAN

A2-0

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SQUARE FOOTAGE TABULATION

EXISTING MAIN DWELLING
 LIVING AREA: 1,885 SF
 COVERED PATIO: 45 SF
 COVERED PORCH: 43 SF

TOTAL EXISTING: 1,973 SF

REMODEL
 CONVERTED GARAGE TO ADU: 459 SF

TOTAL REMODEL: 459 SF

TOTAL AUR: 2,432 SF

WINDOW AND DOOR SCHEDULE SYMBOL

2068 REPRESENTS A 2'-8" WIDE X 6'-8" HIGH WINDOW AND DOOR

T.O.S. REPRESENTS "TOP OF SILL"

HC REPRESENTS "HOLLOW CORE"

SC REPRESENTS "SOLID CORE"

CS REPRESENTS "CASED OPENING"

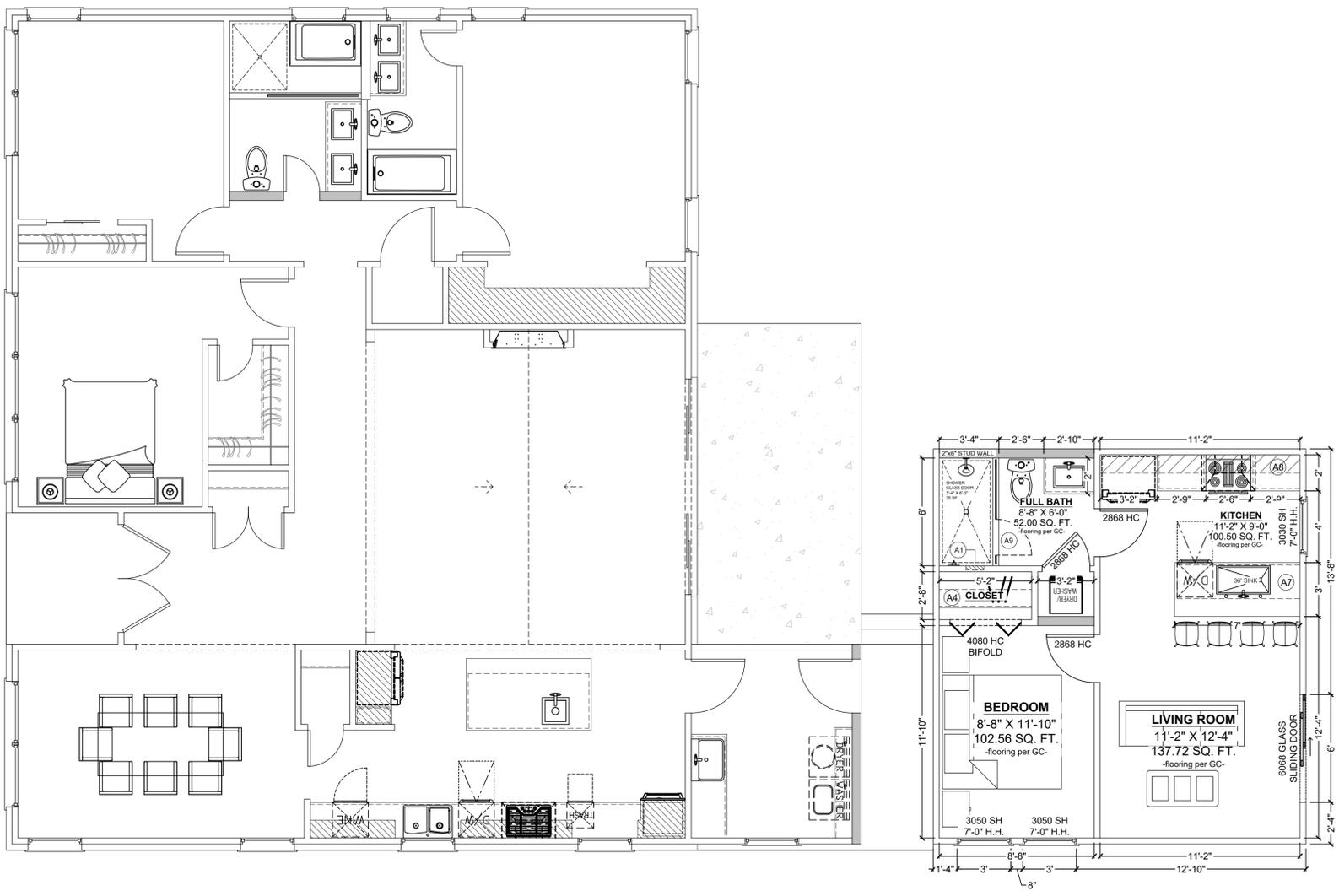
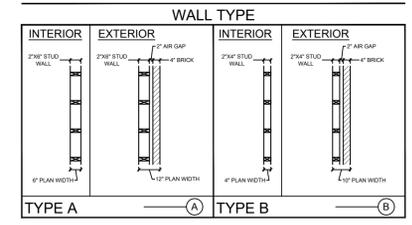
BI REPRESENTS "BIFOLD"

H.H. REPRESENTS HEADER HEIGHT

FX REPRESENTS "FIXED"

HT REPRESENTS "HEIGHT"

VIF REPRESENTS "VERIFY IN FIELD"



PROPOSED FLOOR PLAN
 SCALE:
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PLAN NOTES BY NUMBER

- A1. WALL NICHE. CORRELATE WITH FRAMING CONTRACTOR AND PLUMBING CONTRACTOR. 12" OR 16" WIDE.
- A2. BUILT-IN CABINETS WITH SHELVING. FINAL DESIGN BY CABINET CONTRACTOR.
- A3. 33" HEIGHT VANITY, WIDTH PER PLAN.
- A4. FINAL MASTER CLOSET DESIGN BY OTHERS, MUST FOLLOW BASIC WALK-IN CLOSET DESIGN SHOWN ON FLOOR PLAN.
- A5. ALL COAT CLOSETS, STORAGE, AND LINEN CLOSETS TO HAVE SHELVING AND RODS PER GC/OWNER'S REQUEST. CORRELATE WITH CARPENTER.
- A6. BEDROOM CLOSETS TO BE FITTED WITH 2 SHELVES AND 2 RODS, EQUALLY SPACED APART WITH THE HIGHEST SHELVE BEING 2 FT FROM THE CEILING.
- A7. 3' X 7' PENINSULA. CABINETS UNDERNEATH. FIELD VERIFY LOCATION OF 2" X 6" PARTIAL WALL.
- A8. 34-1/2" HEIGHT COUNTER CABINETS ABOVE AND BELOW.
- A9. GLASS PARTITION 24" DOOR.
- A10. VERIFY IN FIELD (VIF) DIMENSIONS ARE VARIABLE. VERIFY ON SITE.

THESE NOTES ARE ONLY APPLICABLE ON THIS PAGE.

PLAN LEGEND

	PARTIAL HEIGHT WALL.		WALL TYPE.
	2"x6" STUD WALL.		REVISION MARK.
	2"x4" STUD WALL.		CABINETS.
	PLAN NOTE SYMBOL.		WALL NICHE.
	BRICK WALL.		ADDITIONAL INSULATED WALL.
	CEILING HEIGHT		

BUILDING INFORMATION

EXISTING ZONING: KESSLER PARK CONSERVATION DISTRICT; SUBAREA 3
 EXISTING USE: RESIDENTIAL

GENERAL SITE SUMMARY

	11,560.00 SF	
	REQUIRED	PROVIDED
FRONT YARD	35 FT	35 FT
SIDE YARD	5 FT	5 FT
REAR YARD	5 FT	5 FT
BUILDING HEIGHT	35 FT	-- FT
LOT COVERAGE	AREA UNDER ROOF	2,552 SF
PERCENT OF LOT COVERED	50% MAXIMUM	22.08%
PROPOSED PAVING	NONE	= 0 SF



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 F: 469.319.9000
 P: 469.319.9000

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FLOOR
 PLAN
 NOTES

A2-2

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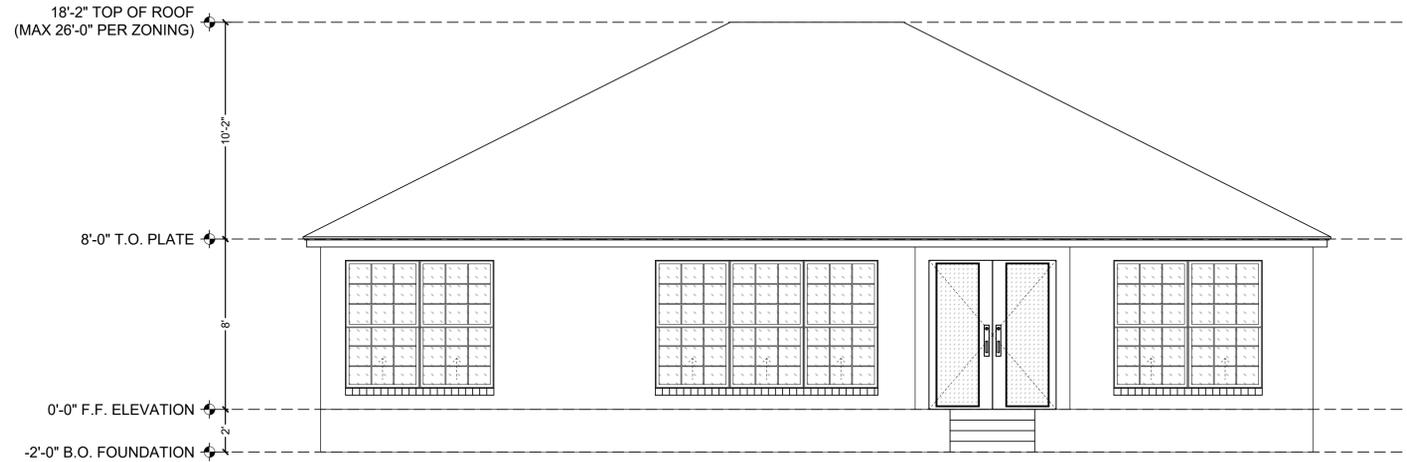
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FLOOR PLAN NOTES:

1. ALL STRUCTURAL INFORMATION SHOWN FOR REFERENCE PURPOSES ONLY. CONTRACTOR SHALL HAVE LICENSED STRUCTURAL ENGINEER REVIEW AND DESIGN ALL STRUCTURAL ELEMENTS SUCH AS ALL FRAMING WALLS, BEAMS, CONNECTION, HEADERS, JOIST AND RAFTERS.
2. ALL DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUDS UNLESS NOTED OTHERWISE.
3. WINDOW SIZES INDICATED ON PLANS ARE NOTED BY APPROXIMATE ROUGH OPENING SIZE, REFER TO PLANS AND EXTERIOR ELEVATIONS FOR WINDOW TYPES.
4. COORDINATE LOCATION OF UTILITY METERS WITH SITE PLAN AND LOCATE AWAY FROM PUBLIC VIEW. VISUAL IMPACT SHALL BE MINIMIZED, I.E. MOUNT AS LOW AS POSSIBLE.
5. CONTRACTOR SHALL COORDINATE ALL CLOSET SHELVING REQUIREMENTS.
6. DO NOT SCALE DRAWINGS, FOLLOW DIMENSIONS ONLY.
7. CONTRACTOR SHALL FIELD VERIFY ALL CABINET DIMENSIONS BEFORE FABRICATION.
8. BEDROOM WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQ.FT. A MINIMUM NET CLEAR OPENABLE WIDTH OF 20", A MINIMUM NET CLEAR OPENABLE HEIGHT OF 24" AND HAVE A MAXIMUM FINISH SILL HEIGHT OF 43" FROM FINISH FLOOR.
9. ALL GLASS LOCATED WITHIN 18" OF FLOOR, 12" OF A DOOR OR LOCATED WITHIN 60" OF FLOOR AT BATHTUBS, WHIRLPOOLS, SHOWERS, SAUNAS, STEAM ROOMS OR HOT TUBS SHALL BE TEMPERED.
10. ALL EXPOSED INSULATION SHALL HAVE A FLAME SPREAD RATING OF LESS THAN 25 AND A SMOKE DENSITY RATING OF LESS THAN 450.
11. PROVIDE COMBUSTION AIR VENTS, WITH SCREEN AND BACK DAMPER, FOR FIREPLACES, WOOD STOVES AND ANY APPLIANCE WITH AN OPEN FLAME.
12. BATHROOMS AND UTILITY ROOMS SHALL BE VENTED TO THE OUTSIDE WITH A MINIMUM OF A 90 CFM FAN. RANGE HOODS SHALL ALSO BE VENTED TO OUTSIDE.
13. ATTIC HVAC UNITS SHALL BE LOCATED WITHIN 20' OF ITS SERVICE OPENING. RETURN AIR GRILLES SHALL NOT BE LOCATED WITHIN 10 FEET OF A GAS FIRED APPLIANCE.
14. ALL WALLS AND CEILINGS IN GARAGE AND GARAGE STORAGE AREAS TO HAVE 5/8" TYPE-X GYP. BOARD W/ 1-HOUR FIRE RATING. ALL EXT. DOORS IN GARAGE TO BE METAL OR SOLID CORE DOORS INCLUDING DOORS ENTERING HEAT/COOLED PORTION OF RESIDENCE.
15. ALL FIREPLACE CHASE WALLS SHALL BE INSULATED INSIDE AND OUTSIDE. PROVIDE HORIZONTAL 'DRAFT STOPS' AT EACH FLOOR LEVEL BY PACKING 6" (R-19) INSULATION BETWEEN 2x4 JOISTS.
16. ALL INTERIOR WALLS SHALL BE COVERED WITH 1/2" GYPSUM BOARD, WITH METAL CORNER REINFORCING, TAPE FLOAT AND SAND. (3 COATS) USE 5/8" GYPSUM BOARD ON CEILING WHEN SUPPORTING MEMBERS ARE 24" O.C. OR GREATER USE 1/2" GYP. BOARD ON CEILING MEMBERS LESS THAN 24" O.C.
17. ALL BATH AND TOILET AREA WALLS AND CEILINGS SHALL HAVE WATER RESISTANT GYPSUM BOARD.

NOTE:

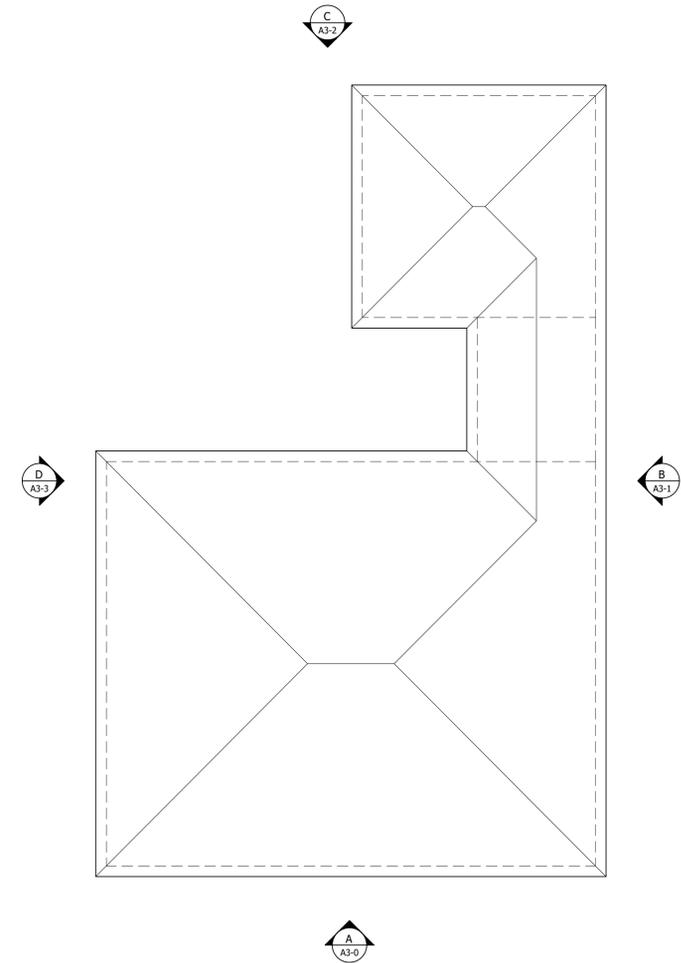
1. ALL CEILINGS TO BE 8'-0" HIGH UNLESS NOTED.
2. BUILDER TO APPROVE & VERIFY ALL PLANS BEFORE CONSTRUCTION.
3. VERIFY ALL PLANS W/ LOCAL BUILDING CODES.
4. HVAC TO BE IN ATTIC UNLESS OTHERWISE NOTED.
5. W.H. IN MECH CLOSET.
6. PROVIDE SHUT-OFF VALVE FOR ALL GAS APPLIANCES REFERENCE IRC SECTION G2419.
7. ALL GLASS LOCATED WITHIN 18" OF FLOOR, 12" OF A DOOR OR LOCATED WITHIN 60" OF FLOOR AT BATHTUBS, WHIRLPOOLS, SHOWERS, SAUNAS, STEAM ROOM OR HOT TUBS SHALL BE TEMPERED. TO COMELY W/ IRC SECTION R308.4.8.



A FRONT ELEVATION
 SCALE:
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 11X17 SHEET: 1/8" = 1'-0"

GREEN/ENERGY CODE COMPLIANCE OUTLINE 2021 IECC

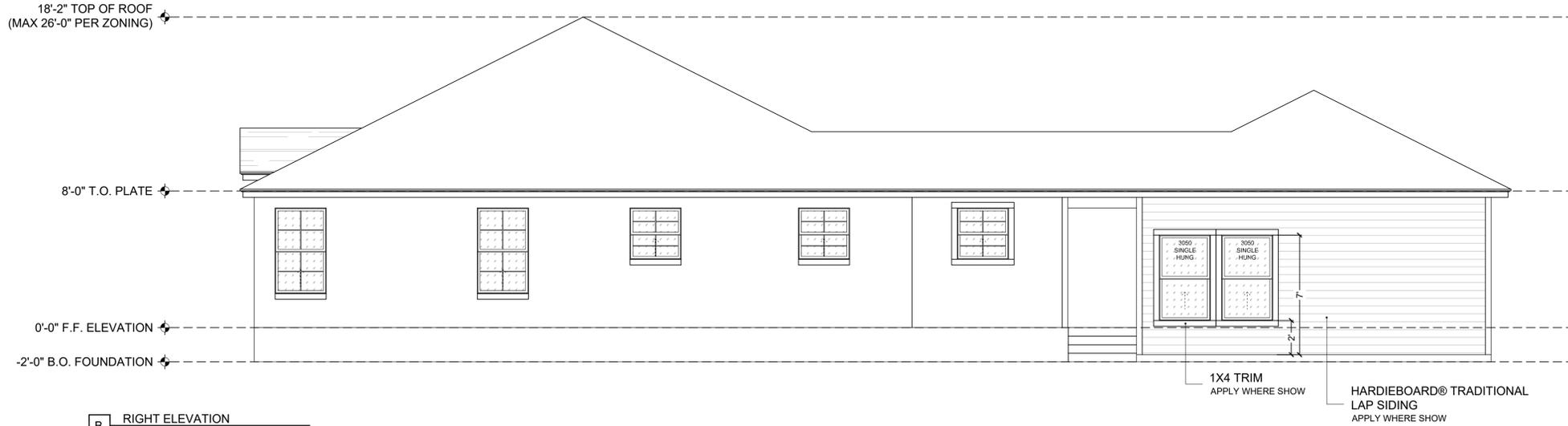
1. WATER EFFICIENCY:
 - 1.1. ALL LAV. FAUCETS TO HAVE AN AVERAGE FLOW OF 2.0 GAL./MIN. OR LOWER
 - 1.2. ALL SHOWER HEADS TO HAVE AN AVERAGE FLOW OF 2.0 GAL./MIN. OR LOWER
 - 1.3. ALL TOILETS TO BE 1.3 GAL. PER FLUSH OR DUAL FLUSH OR WATER SENSE
2. STORM WATER:
 - 2.1. 70% OF NON-ROOF AREA MUST BE LANDSCAPED, HAVE PERMEABLE PAVING AND SLOPED FOR RUNOFF TO FILTRATION FEATURE
3. POLY SEAL:
 - 3.1. WINDOWS AND DOORS MUST BE SEALED WITH FOAM OR CAULK
 - 3.2. SILL PLATE MUST BE SEALED ON THE INSIDE WITH FOAM OR CAULK
 - 3.3. ALL PENETRATIONS OF TOP PLATE/CEILING INTO ATTIC, MUST BE SEALED WITH FOAM OR CAULK
 - 3.4. ALL WALL PENETRATIONS TO THE EXTERIOR MUST BE SEALED WITH FOAM OR CAULK
 - 3.5. BLOWER DOOR TESTING IS MANDATORY. NOT TO EXCEED 4 AIR CHANGES PER HOUR AT 50 PASCALS
 - 3.6. DUCT TIGHTNESS TESTING IS MANDATORY. TESTED AT 25 PASCALS, TOTAL LEAKAGE, LESS THAN OR EQUAL TO 4 FT³/MIN PER 100 SQUARE FOOT OF CONDITIONED FLOOR AREA.
 - 3.6.1. EXCEPT, WHEN THE DUCTS AND AIR HANDLERS ARE ENTIRELY WITHIN THE BUILDING THERMAL ENVELOPE
4. INSULATION:
 - 4.1. 2:12 OR GREATER SLOPED ROOFS MUST BE ENERGY STAR QUALIFIED OR MAY USE A RADIANT BARRIER OR USE SPRAY FOAM INSULATION AT THE ROOF DECK OR BE A VEGETATED ROOF
 - 4.2. ALL PIER AND BEAM/ RAISED FLOORS MUST BE INSULATED WITH R - 19 INSULATION OR HIGHER
 - 4.2.1. EXCEPT, UNVENTED CRAWL SPACE WALLS MUST BE INSULATED R - 5 CONTINUOUS OR R - 13 CAVITY INSULATION, WITH VAPOR BARRIER OVER EXPOSED EARTH
 - 4.3. ALL EXTERIOR WALLS MUST BE INSULATED WITH R - 20 CAVITY OR R - 13 CAVITY WITH R - 5 CONTINUOUS INSULATION OR HIGHER
 - 4.4. CEILINGS MUST BE INSULATED WITH R - 49 IF THERE IS ATTIC SPACE AND R - 30 IF NO ATTIC SPACE (CATHERDRAL) AND THAT IS LIMITED TO 500 SQ. FT. TOTAL OR 20% OF CEILING WHICHEVER IS LESS
 - 4.5. ATTIC ACCESS LADDERS AND OR HATCHES, MUST BE INSULATED THE SAME AS THE ATTIC AND HAVE A WEATHER SEAL
5. HVAC/SERVICE WATER:
 - 5.1. ALL DUCTS IN UNCONDITIONED SPACE/ATTICS MUST USE R - 8 DUCTING
 - 5.2. MECHANICAL SYSTEM PIPING CARRYING FLUID OVER 104° OR BELOW 55° MUST BE INSULATED WITH R - 13 INSULATION
6. WINDOWS AND DOORS:
 - 6.1. MUST HAVE A U-FACTOR OF .32 OR LESS
 - 6.2. MUST HAVE A SHGC OF .25 OR LESS
7. LIGHTING:
 - 7.1. ALL CAN LIGHTS MUST BE AIR-TIGHT TYPE
 - 7.2. MINIMUM OF 75% OF LIGHTING MUST BE HIGH EFFICIENCY (ANYTHING BUT INCANDESCENT)



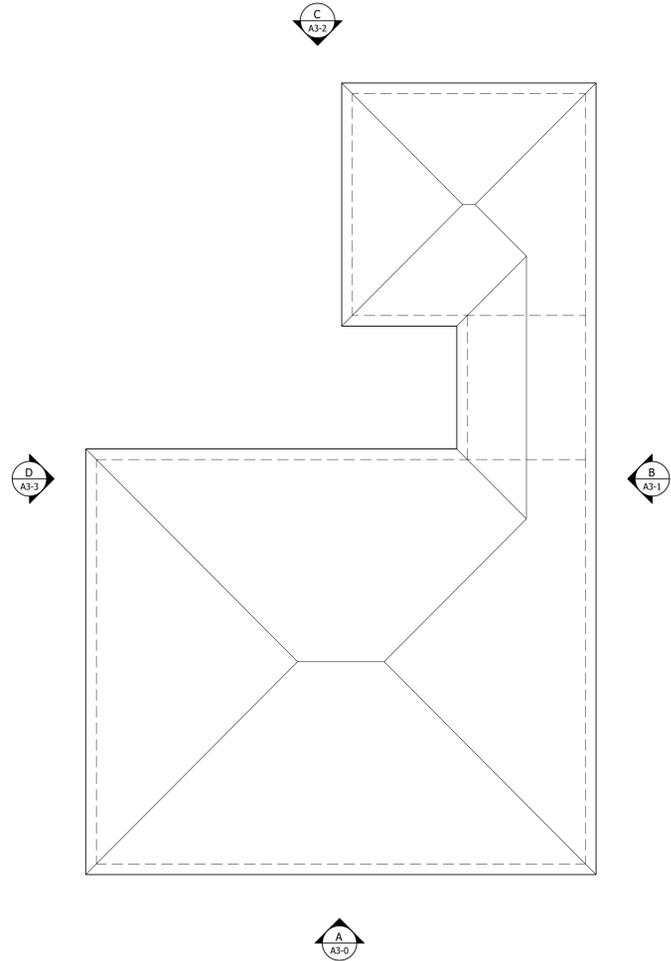
KEY ROOF PLAN
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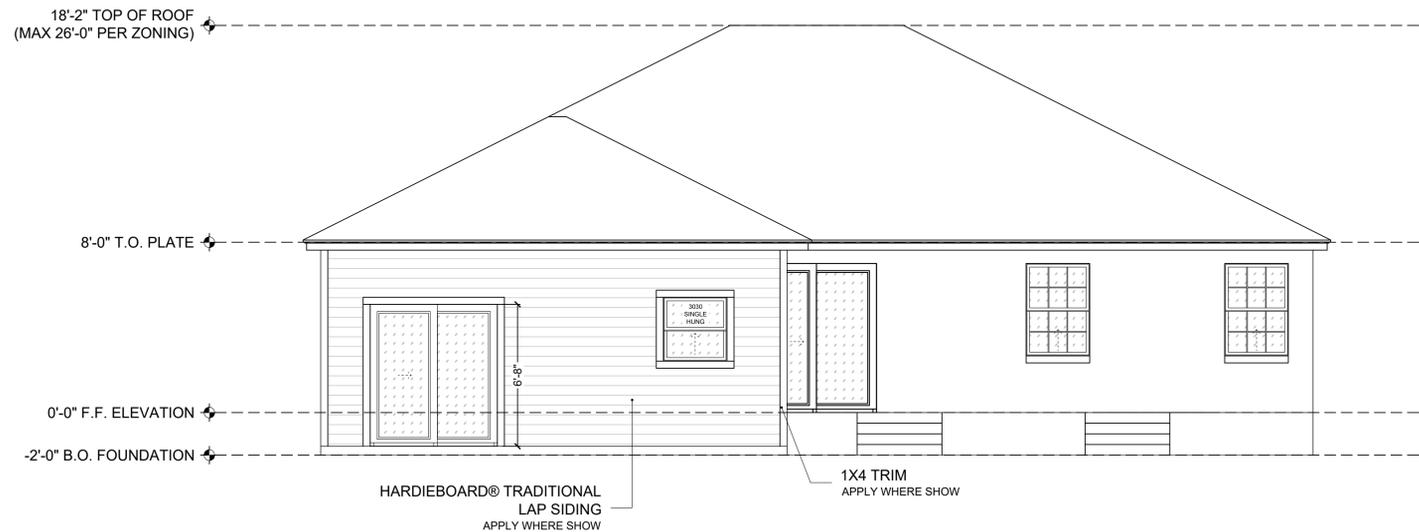


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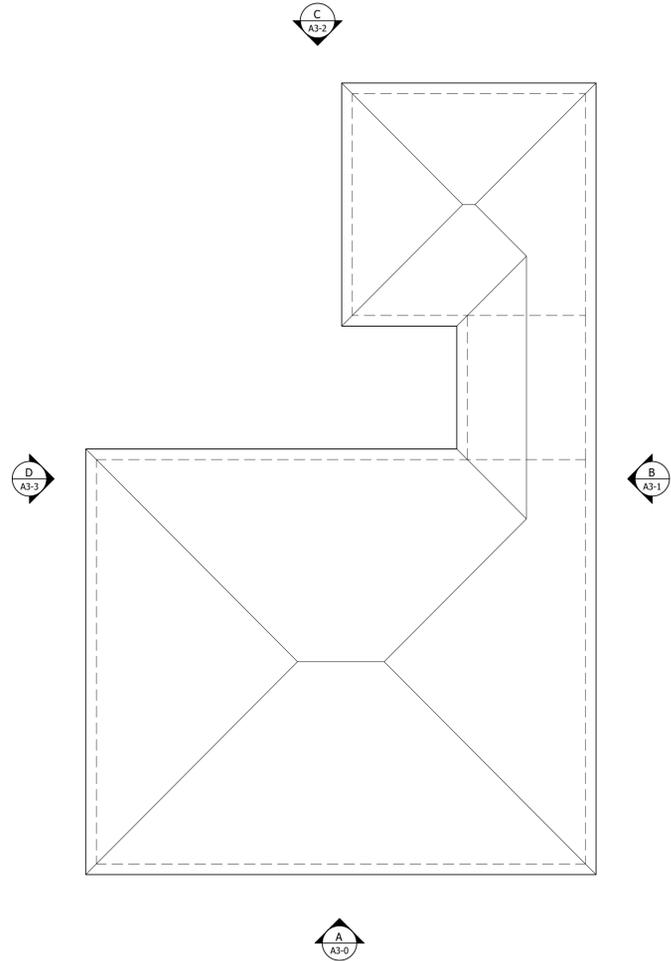
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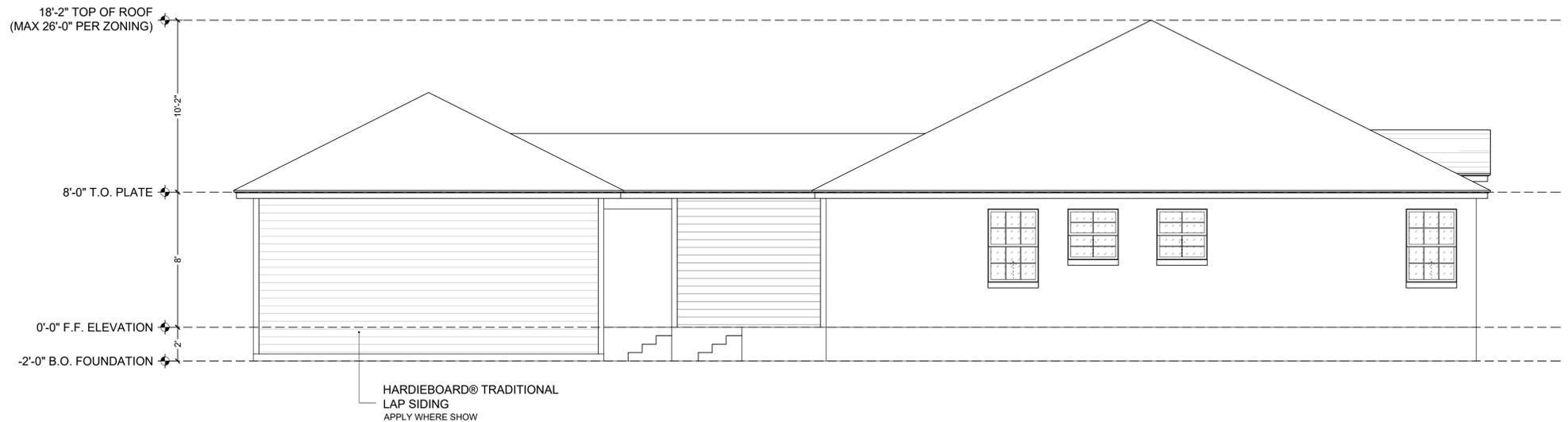
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	ELEVATIONS	A3-2

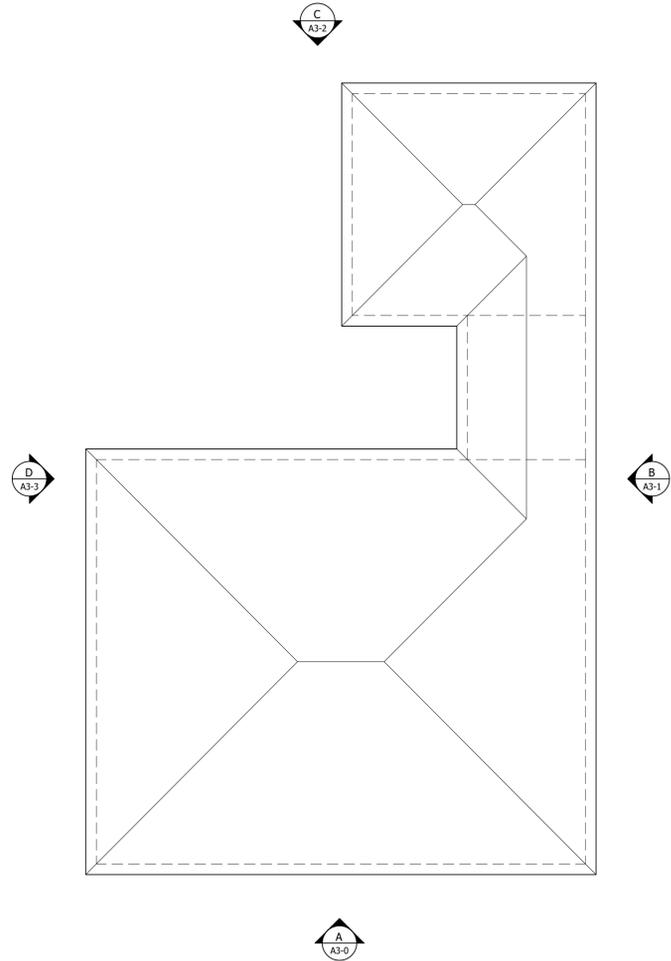
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SCALE: 24X36: 1/4" = 1'-0" | 11X17: 1/8" = 1'-0"



D LEFT ELEVATION
 SCALE:
 24X36 SHEET: 1/4" = 1'-0"
 11X17 SHEET: 1/8" = 1'-0"



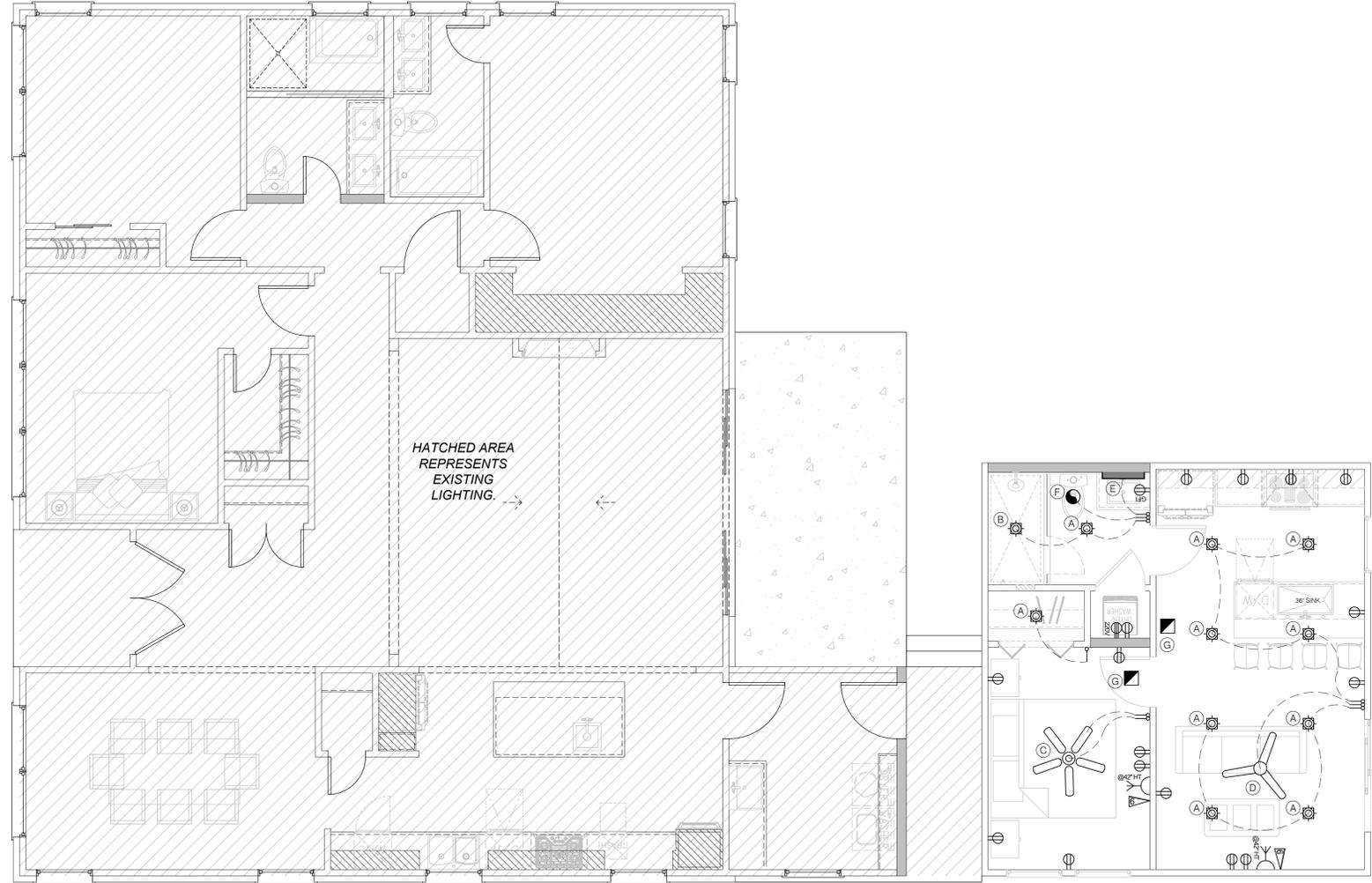
KEY ROOF PLAN
 SCALE:
 24X36 SHEET: 1/8" = 1'-0"
 11X17 SHEET: 1/16" = 1'-0"

REVISIONS:	ADDRESS:	802 W GREENBRIAR LN, DALLAS, TX 75208
	REVISIONS:	V0 - 07/30
CONSULTANT:	PROJECT DATA:	LEGAL DESCRIPTION: DEALEY SAM EST BLK 2/5924 LOT 4
	CONSULTANT:	
SHEET DATA:	SCALE:	AS NOTED
	DATE:	12/09/25
SHEET DATA:	ELEVATIONS	
SHEET DATA:	A3-3	

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- ELECTRIC KEY NOTES**
 THESE NOTES ONLY REFER TO THIS PAGE
1. GC TO VERIFY LIGHTING FIXTURE COUNT DURING BIDDING PROCESS.
 2. FIELD VERIFY FINAL PANEL REQUIREMENTS WITH LICENSED ELECTRICIAN ON RECORD.
 3. VERIFY ALL APPLIANCE/FIXTURE POWER REQUIREMENTS WITH APPLIANCE/FIXTURE SPECS AND ELECTRICAL CONTRACTOR.

ELECTRICAL PLAN - 1ST LVL
 SCALE:
 24X36 SHEET: 1/4" = 1'-0"
 11X17 SHEET: 1/8" = 1'-0"

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	LEGAL DESCRIPTION: DEALEY SAM EST BLK 2/5924 LOT 4	802 W GREENBRIAR LN, DALLAS, TX 75208
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SHEET DATA:	ELECTRICAL PLAN	E1-0
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ELECTRICAL PLAN NOTES FOR PAGE E1-0

LIGHTING & POWER SCHEDULE				
TAG	QUANTITY	DESCRIPTION	BRAND/SUPPLIER	NOTES
LIGHTING				
(A)	10	RECESSED CAN LIGHTS - INTERIOR		
(B)	01	RECESSED CAN LIGHTS - WATERPROOF (ABOVE TUB, PORCH, PATIO)		
(C)	01	FAN WITH LIGHTING FIXTURE		
(D)	01	FAN W/OUT LIGHTING FIXTURE		
(E)	01	VANITY LIGHTS	BY OWNERS	
(F)	01	EXHAUST FAN (50cfm min.)	TYPICAL BY ELECTRICIAN	
(G)	02	SMOKE DETECTORS W/ CARBON MONOXIDE	BY OWNERS	
(H)		LED STRIP/ TOE KICK/COVE LIGHT	LED LIGHTING V5-SPEC 3000K	
(J)		UNDER CABINET LIGHTS	LED LIGHTING V5-SPEC 3000K	
(K)		CHANDELIER	BY OWNERS	
(L)		TRACK LIGHTS	BY OWNERS	
(M)		PENDANT/ HANGING LIGHTS	BY OWNERS	
(N)		WALL LIGHTS (INTERIOR)	BY OWNERS	
(P)		WALL LIGHTS (EXTERIOR)	BY OWNERS	
(Q)		GARAGE LIGHTS	BY OWNERS	
(R)		STEP/CORRIDOR LIGHTS (MOTION SENSOR)	BY OWNERS	
(S)		EXTERIOR WALL LIGHTS (MOTION SENSOR)	BY OWNERS	
(T)		4" RECESSED LIGHTING (SOFFIT LIGHTING)	BY OWNERS	
(U)		2" RECESSED CAN LIGHTS - INTERIOR		
(V)				
(W)				
(X)				
(Y)				
(Z)				

LIGHTING SYMBOL LEGEND

- 1 GANG LIGHT SWITCH
- 2 GANG LIGHT SWITCH
- 2 GANG LIGHT SWITCH
- 1 GANG - 3 WAY LIGHT SWITCH
- 2 GANG - 3 WAY LIGHT SWITCH
- 1 GANG - 4 WAY LIGHT SWITCH
- 2 GANG - 4 WAY LIGHT SWITCH
- 3 GANG - 4 WAY LIGHT SWITCH
- 1 GANG - DIMMER SWITCH
- 2 GANG - DIMMER SWITCH
- 1 GANG - RHEOSTAT SWITCH
- 2 GANG - RHEOSTAT SWITCH
- 1 GANG PULL CORD LIGHT SWITCH
- EXTERNAL LIGHT
- EXTERNAL LIGHT - BULKHEAD TYPE
- MOTION SENSING 2" WALL LIGHT, HARDWIRE LIGHT POINT - PENDANT HOLDER (4 INCH)
- LIGHT POINT - PENDANT HOLDER (6 INCH)
- LIGHT POINT - BATTEN HOLDER
- COOKER SWITCH
- MECHANICAL EXTRACT FAN
- COOKER HOB HOOD
- AUDIO SPEAKER
- MOTION DETECTOR-WALL MOUNT
- CEILING MOUNTED LIGHT
- HANGING LIGHT
- MINI LED 3 LIGHT RECESSED MULTIPLE SPOT LIGHT KIT

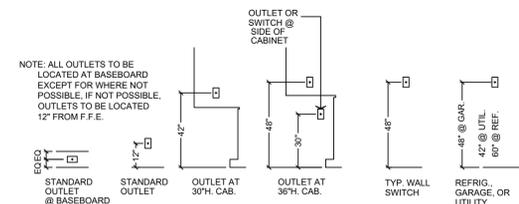
POWER SYMBOL LEGEND

- 110 VOLT RECEPTACLE
- WATERPROOF RECEPTACLE
- 110 VOLT IN CEILING
- 110 VOLT with GROUND FAULT INTERRUPTER
- 110 VOLT IN FLOOR
- 220 VOLT RECEPTACLE
- 110 VOLT DIRECT HARD WIRE
- SINGLE SWITCHED WALL RECEPTACLE
- DOUBLE SWITCHED WALL RECEPTACLE
- SINGLE SWITCHED WALL RECEPTACLE 48" ABOVE FLOOR LEVEL
- DOUBLE SWITCHED WALL RECEPTACLE 48" ABOVE FLOOR LEVEL
- DOUBLE SWITCHED FLOOR RECEPTACLE
- TV AERIAL POINT
- TELEPHONE POINT
- CAT 6 DATA SOCKET
- RADIATOR
- THERMOSTAT
- ELEC. PANEL
- HOSE BIBB

NOTE: VERIFY W/ OWNER - ALL ELECTRICAL AND LIGHTING LOCATIONS AND SPECS...INCLUDING SECURITY, AUDIO/VISUAL, OUTDOOR ELECTRICAL, PANEL LOCATIONS, ETC.

LIGHTING SYMBOL LEGEND

- 6" RECESSED, ADJUSTABLE CAN LIGHT
- 6" WATERPROOF RECESSED ADJUSTABLE CAN LIGHT
- INTERIOR - WALL MOUNTED LIGHT
- LED STRIP LIGHTING, TOE KICK, COVE LIGHTING
- UNDER-CABINET LED FIXTURE
- TRACK LIGHTING (LENGTH PER PLAN)
- VANITY LIGHT
- EXHAUST FAN (50 cfm MIN.)
- EXHAUST FAN (50 cfm MIN.) W/ LIGHT
- PUSH BUTTON (DOORBELL OR GARAGE DOOR OPENER)
- SMOKE DETECTOR W/ CARBON MONOXIDE DETECTOR (HARD WIRE WITH BATTERY BACKUP)
- CHIMES (FOR DOOR BELL)
- ELEC. PANEL
- 2x4 LIGHT FLUORESCENT FIXTURE [32 W] T-8 4 LAMPS
- LIGHT FLUORESCENT FIXTURE [32 W] T-8 2 LAMPS
- CEILING FAN with LIGHT KIT
- CEILING FAN without LIGHT KIT
- CHANDELIER



ELECTRIC FIXTURE HEIGHTS (UNLESS NOTED OTHERWISE)

GENERAL ELECTRICAL NOTES

- ALL WIRING TO BE 12 GAUGE ROMEX WIRE AT A MINIMUM. LOCAL NEC CODE AND AMENDMENTS TO SUPERSEDE THIS REQUIREMENT.
- ALL ELECTRICAL DEVICES AND WORK SHALL COMPLY WITH THE HIGHEST STANDARD OF THE GOVERNING ELECTRICAL CODE.
- PERFORMANCE STANDARDS SHALL CONFORM TO ALL APPLICABLE CODES AND REGULATIONS AS ESTABLISHED BY GOVERNING AND APPROVAL AGENCIES.
- ALL DEVICES SHALL BE U.L. APPROVED AND BEAR U.L. LABELS.
- UNLESS NOTED OTHERWISE, ALL SWITCHES AND OUTLET HEIGHTS SHALL BE AS NOTED ON THESE DRAWINGS.
- SWITCH AND DUPLEX OUTLETS OF MULTIPLE SWITCHES UP TO (4) FOUR WHEN SHOWN ADJACENT TO EACH OTHER ON PLAN SHALL BE GROUPED UNDER (1) ONE PLATE.
- VERIFY SERVICES AND LOCATION REQUIREMENTS FOR ALL APPLIANCES AND MECHANICAL EQUIPMENT PRIOR TO INSTALLATION.
- PROVIDE A MINIMUM OF TWO SEPARATE 20 AMP CIRCUITS TO KITCHEN APPLIANCES.
- PROVIDE A MINIMUM OF ONE SEPARATE 20 AMP CIRCUIT TO LAUNDRY APPLIANCES.



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 F: 469.399.8001

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 DALLAS, TX 75208**

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REVISIONS:

CONSULTANT:

PROJECT DATA:

LEGAL DESCRIPTION:
 DEALEY SAM EST
 BLK 2/5924 LOT 4

SCALE:

AS NOTED

DATE:

12/09/25

ELECTRICAL
 PLAN
 NOTES

E1-1

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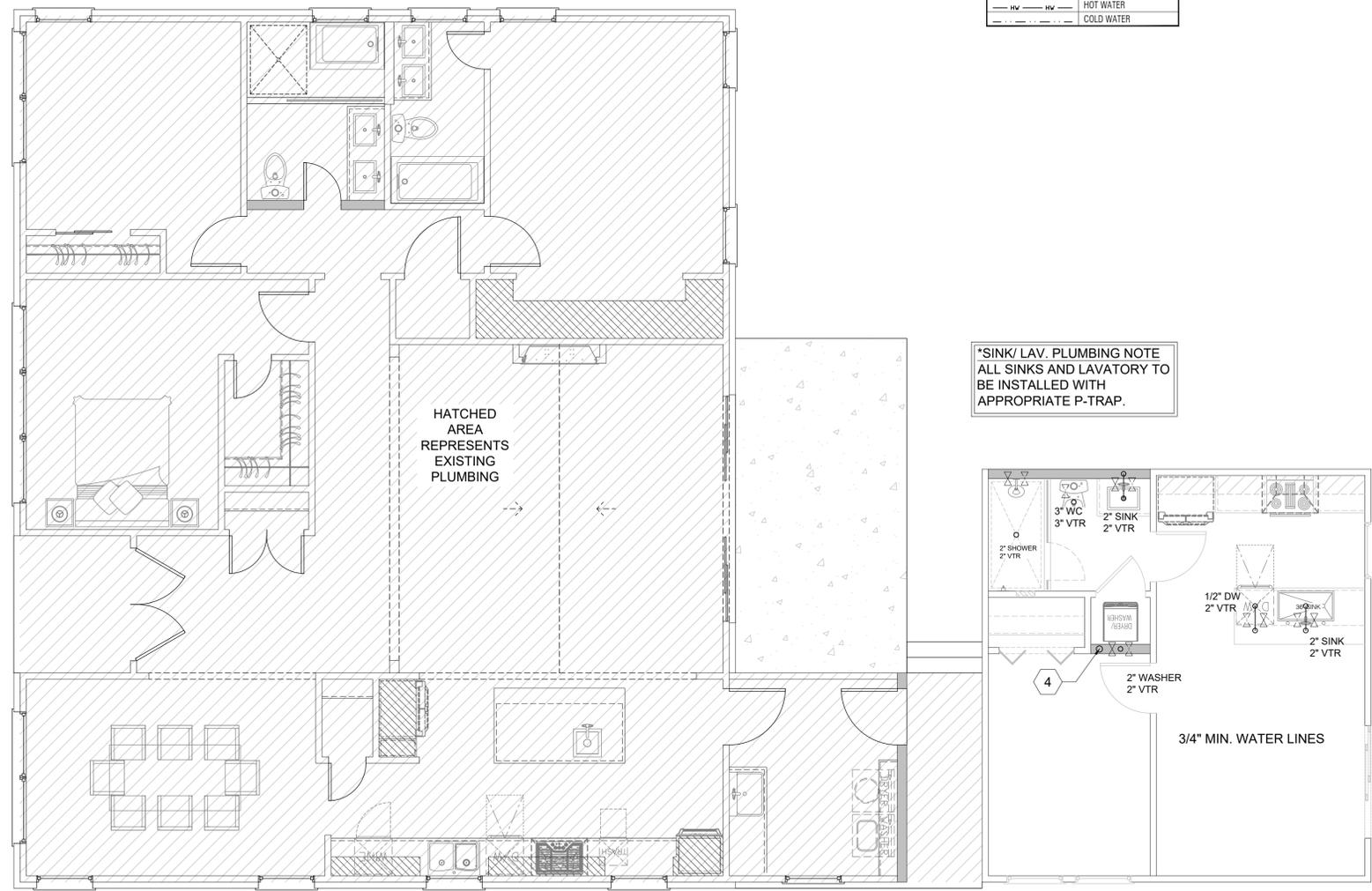
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 12/09/25

SHEET DATA:
 PLUMBING PLAN
 P1-0

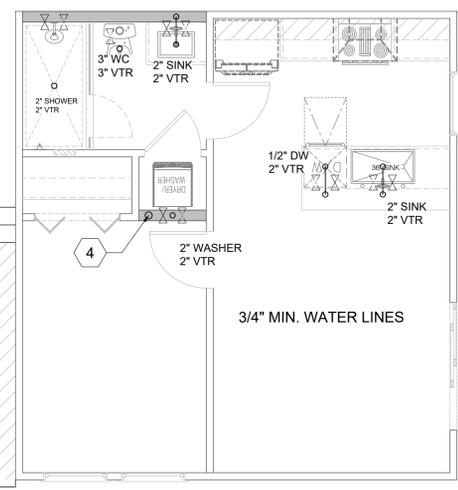
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PLUMBING LEGEND	
SYMBOL	ITEM DESCRIPTION
—	SANITARY SEWER
— HW —	HOT WATER
— C —	COLD WATER



***SINK/ LAV. PLUMBING NOTE**
 ALL SINKS AND LAVATORY TO BE INSTALLED WITH APPROPRIATE P-TRAP.



- PLUMBING KEY NOTES** ○
 THESE NOTES ONLY REFER TO THIS PAGE
1. CONNECT PROPOSED PLUMBING FIXTURES TO EXISTING SANITARY SEWER LINE.
 2. CONNECT PROPOSED PLUMBING FIXTURES TO EXISTING WATER LINES, MIN. 3/4" LINES.
 3. CONNECT PROPOSED FIXTURES TO EXISTING WATER HEATER. FIELD VERIFY WATER HEATER SIZE TO ENSURE CAPACITY FOR NEW FIXTURES.
 4. MINIMUM 4" DRYER VENT, ROUTE THRU WALL TO CEILING.

PLUMBING PLAN
 SCALE:
 24X36 SHEET: 1/4" = 1'-0"
 11X17 SHEET: 1/8" = 1'-0"

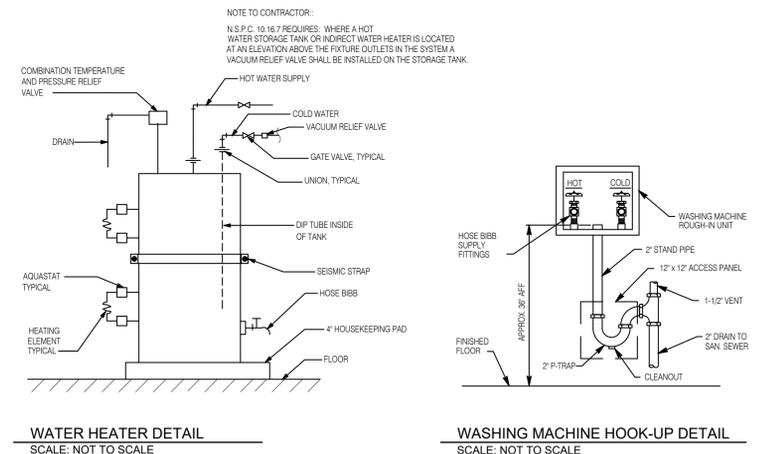
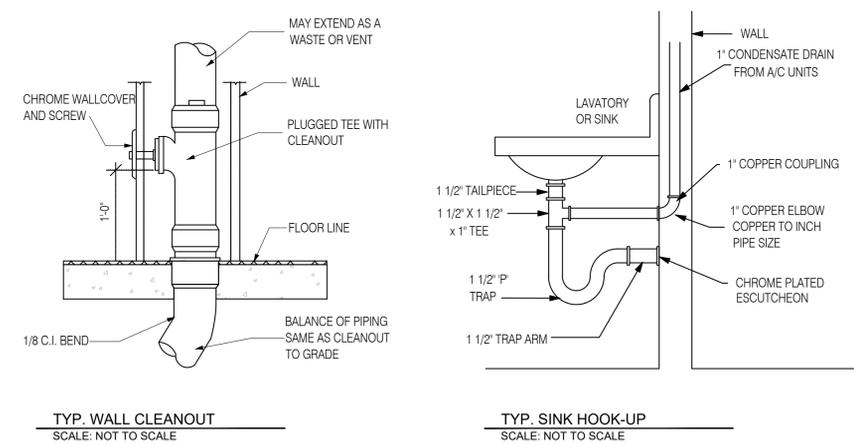
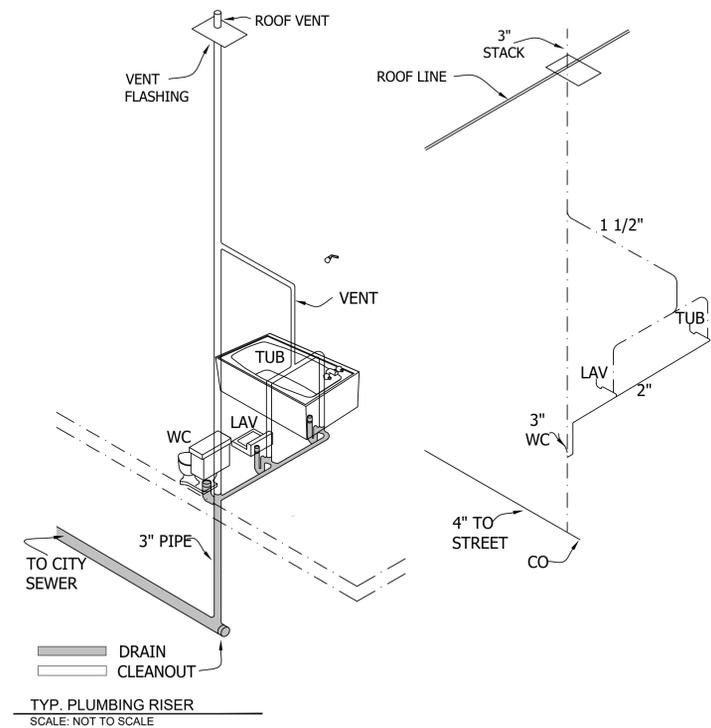
PLUMBING GENERAL NOTES

- ALL PIPING SHALL BE ROUTED ABOVE CEILING UNLESS OTHERWISE INDICATED. ALL PIPING EXPOSED TO VIEW SHALL BE ROUTED AS HIGH AS POSSIBLE AND TIGHT TO THE UNDERSIDE OF STRUCTURE.
- ALL PIPING SHALL BE CONCEALED IN WALLS AND BEHIND FIXED FURNISHINGS UNLESS OTHERWISE INDICATED.
- EXPOSED PIPING IN FINISHED AREAS SHALL BE CHROME PLATED WITH CHROME PLATED ESCUTCHEON AT PIPE ENTRY TO FINISHED AREA.
- SLEEVE OR CORE-DRILL FLOOR SLABS, WALLS, ETC. AS REQUIRED FOR PIPING AND FIRE-STOP OPENING AROUND PIPE. VERIFY LOCATION OF STRUCTURAL BEAMS, JOISTS, ETC. BEFORE DRILLING.
- ALL OPENINGS IN DRAINAGE AND/OR VENT SYSTEMS AS A RESULT OF INSTALLATION ROUGH-IN SHALL BE PROTECTED WITH A TEST PLUG THAT IS SECURELY LOCKED IN PLACE UNTIL FINAL FINISHED CONNECTIONS ARE INSTALLED.
- WHEREVER FOUNDATION WALLS, OUTSIDE WALLS, ROOFS, ETC. ARE PENETRATED FOR INSTALLATION OF SYSTEMS, THEY SHALL BE PATCHED TO MATCH EXISTING CONSTRUCTION AND SEALED WEATHER TIGHT.
- PROVIDE CLEANOUTS AT THE END OF EACH HORIZONTAL RUN, AND AT THE BASE OF ALL VERTICAL WASTE AND DRAIN PIPES. CLEANOUTS SHALL BE OF THE SAME SIZE AS THE PIPES THEY SERVE.
- ACCESS PANELS SHALL BE PROVIDED WHERE CONCEALED CONTROL DEVICES, VALVES, ETC. ARE CONCEALED WITHIN WALLS. WHERE ACCESS FOR ADJUSTMENT AND MAINTENANCE IS POSSIBLE THROUGH LAY-IN SUSPENDED CEILINGS, ACCESS PANELS ARE NOT REQUIRED.
- ALL PIPING SHALL BE RUN PARALLEL TO BUILDING LINES AND SUPPORTED AND ANCHORED AS REQUIRED TO FACILITATE EXPANSION AND CONTRACTION.
- INSTALL ALL PIPING AS REQUIRED TO MEET ALL CONSTRUCTION CONDITIONS AND TO ALLOW FOR INSTALLATION OF OTHER WORK INCLUDING DUCTS AND ELECTRICAL CONDUIT.
- PROVIDE AN ISOLATING, DIELECTRIC UNION AT ALL CONNECTIONS BETWEEN FERROUS AND NONFERROUS PIPING.
- PROVIDE ALL FITTINGS, ACCESSORIES, OFFSETS, AND MATERIALS NECESSARY TO FACILITATE THE PLUMBING SYSTEMS FUNCTIONING AS INDICATED BY THE DESIGN AND THE EQUIPMENT INDICATED.
- COORDINATE LOCATION OF FLOOR DRAINS IN MECHANICAL ROOMS WITH MECHANICAL EQUIPMENT.

PLUMBING NOTES

- PLUMBER TO CONNECT ALL WATER LINES, GAS LINES, WASTE LINES, ETC. TO FULLY CONNECT ALL EQUIPMENT AND RUN CONDENSATE LINES FROM UNITS TO DRAINS AND THESE LINES TO BE NO SMALLER THAN THE STUB-OUT OF THE FIXTURE. PLUMBER TO PROVIDE SHUTOFF VALVES ON ALL WATER AND GAS LINES, ALL VALVES, CUTOFFS, TRAPS, HYDROSTATIC SHOCK ELIMINATORS, PRESSURE REGULATORS AND MATERIALS NECESSARY TO CONNECT ALL LINES, UNLESS OTHERWISE SPECIFIED IN THE ITEM SPECIFICATIONS. FAUCETS, DRAIN OUTLET FITTINGS IN FIXTURES AND SPECIALTY ITEMS ARE TO BE FURNISHED BY THE KITCHEN EQUIPMENT SUPPLIER AS OUTLINED IN THE ITEM SPECIFICATIONS. ALL WORK TO BE PERFORMED IN FULL ACCORDANCE WITH ALL APPLICABLE CODES RELATING TO INSTALLATION AND HOOKUP OF EQUIPMENT OMISSIONS OR ERRORS ON THE SCHEDULE DO NOT RELIEVE THE PLUMBING CONTRACTOR FROM COMPLETE FINAL PLUMBING RESPONSIBILITY.

- ALL OUTLETS AND CONNECTIONS SHOWN RELATE TO KITCHEN EQUIPMENT ONLY. REFER TO ARCHITECTURAL/ENGINEERING PLANS FOR AREA FLOOR DRAINS OR ADDITIONAL REQUIREMENTS.
 - ALL DIMENSIONS GIVEN ARE FROM COLUMN CENTERLINES AND/OR FINISHED WALLS AND ARE IN INCHES TO 4'-0". ELEVATIONS GIVEN ARE FROM FINISHED FLOORS. ALL ROUGH-INS SHOWN ARE TO BE RUN INSIDE WALLS (EXCEPT STUB-UPS) LOCATIONS INDICATE POINT OF EXIT FROM WALLS, CEILINGS OR FLOORS.
 - ALL FLOOR DRAINS TO SET 1/2" BELOW FINISHED FLOOR UNLESS OTHERWISE NOTED. DO NOT SLOPE FLOORS SO CLOSE TO DRAINS AS TO CREATE "PITS" OR "DIPS" IN FLOOR. MINIMUM RADIUS OF SLOPE TO BE 24" FROM CENTERLINE OF DRAIN.
 - PLUMBING CONTRACTOR (P.C.) TO RUN ALL INDIRECT WASTES FROM EQUIPMENT TO FLOOR SINK OR FLOOR DRAIN.
 - NOT USED.
 - Waste piping underground and not exposed can be PVC Schedule 40, while that piping exposed (HVAC drains from ceiling units) must be Cast Iron, both materials meeting the 2009 International Plumbing Code.
 - Drawings on this sheet are for illustration only. Actual routing and arrangements may change in the field and this is the responsibility of the Plumbing Contractor.
 - Every trap in the plumbing arrangement must be vented to the atmosphere according to the City Plumbing Code. Traps that are close together may be tied to a combined vent as long as it meets Table 912.3, Chapters 9 and 10 of the 2003 International Plumbing Code.
- Air Gaps specified must be at least 6 inches or more.
- Code requirements call for main drain pipes to floor drains must be 2 pipe sizes larger than the floor drain trap.



FIXTURE SCHEDULE					
FIXTURE	DESCRIPTION	CW	HW	WASTE	VENT
TOILET	AMERICAN STANDARD CADET # EL. 1.8 GPF 2162.170- WHITE	3/4"	-	4"	4"
LAVATORY	AMERICAN STANDARD "LUCERNE" 0356.015.020 FAUCET: CHICAGO FAUCET - 2 GAL.(895-317-E29-327A-60)	3/4"	3/4"	2"	1 1/2"
SHOWER	BY OWNER 2 GPM	3/4"	3/4"	2"	1 1/2"
FLOOR CLEANOUT	PLASTIC ODDITIES #PCO-700-RS W/ SQ. MTL. TOP	-	-	4"	-
EXT. CLEANOUT	PLASTIC ODDITIES #PCA-4BP W/ RECESSED HEAD BRASS PLUG	-	-	3/4"	-
WALL CLEANOUT	PLASTIC ODDITIES #PCA-4 W/ RECESSED HEAD PLASTIC PLUG INSTALLED IN PVC TEE W/ PLASTIC ODDITIES A-1212 ACCESS	-	-	4"	-
WATER HEATER	OWNER SPECIFIC MODEL (MIN 60 GAL CAPACITY/EQUAL TANKLESS)	-	-	1"	1"

NOTE: 1) PROVIDE FIXTURES SPECIFIED OR EQUALS.



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CONSULTANT:

LEGAL DESCRIPTION:
DEALEY SAMEST
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PLUMBING
PLAN
NOTES

P1-1

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