



LANDMARK COMMISSION

MAY 4, 2026

FILE NUMBER: COA-26-000122
LOCATION: 3919 Waldron Ave.
STRUCTURE: Non-Contributing
COUNCIL DISTRICT: 7
ZONING: PD-595

PLANNER: Rhonda Dunn, Ph.D.
DATE FILED: March 4, 2026
DISTRICT: Predesignation Moratoriums
MAPSCO: 46-X
CENSUS TRACT: 0037.00

APPLICANT: Tracy Williams

REPRESENTATIVE: N/A

OWNER: DALLAS CITY HOMES INC

REQUEST

Courtesy Review (CR): Construct a new main residential building (on a vacant lot) with a rear detached two car garage.

STAFF RECOMMENDATION

Courtesy Review - no action required. That a request to construct a new main residential building (on a vacant lot) with a rear detached two car garage be conceptually approved with the understanding that the final design, as well as associated site plans, elevations, renderings, and details are to be submitted for Landmark Commission review.

TASK FORCE RECOMMENDATION

Courtesy Review – Comments only. Supportive, with the following comments:

1. The front dormer is too high up, on the front roof slope.
2. Windows of the dormer are too short.
3. Driveway appears to encroach on the neighbor's property.
4. Reduce the width of the driveway – too much hardscaping, not enough green space.
5. Two-part porch columns on front and rear porches should have square/rectangular bottoms, not flared.

6. Porch column bottoms should be brick and sit on grade.
7. The foundation should be raised with a crawl space (minimum height 18 inches) or a pier and beam.

BACKGROUND / HISTORY:

Presently, 3919 Waldron Avenue is a vacant interior lot; hence, the proposed building will be identified as non-contributing to the proposed Queen City Historic District.

There are no previous applications for Certificates of Appropriateness (or Demolition) filed for this property that are pertinent to this CR. However, a Demolition Permit was issued for this property on November 8, 1996.

RELEVANT SECRETARY OF THE INTERIOR'S STANDARDS FOR THE TREATMENT OF HISTORIC PROPERTIES:

Guidelines for Setting (District / Neighborhood)

- **Recommended:** *Identifying, retaining, and preserving building and landscape features that are important in defining the overall historic character of the setting. Such features can include circulation systems, such as roads and streets; furnishings and fixtures, such as light posts or benches; vegetation, gardens and yards; adjacent open space, such as fields, parks, commons, or woodlands; and important views or visual relationships.*
- **Not Recommended:** *Introducing a new building or landscape feature that is visually or otherwise incompatible with the setting's historic character (e.g., replacing low metal fencing with a high wood fence).*

RELEVANT DALLAS CITY CODE:

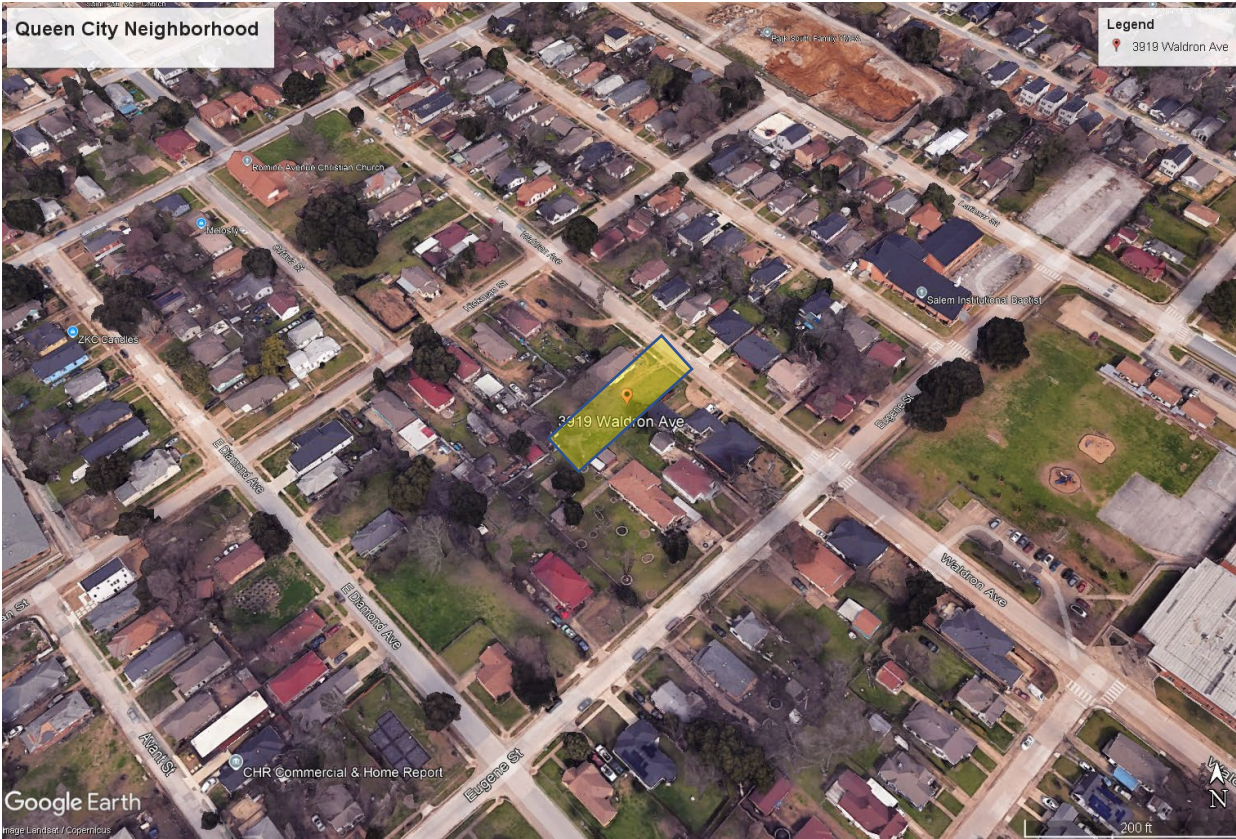
Section 51A-4.501. Historic Overlay District

(d) Predesignation certificate of appropriateness.

(5) Standard for approval. The landmark commission must approve the application if it determines that:

- (B) for noncontributing structures, the proposed work is compatible with the historic overlay district.

SITE MAP
3919 Waldron Ave.



The yellow rectangle highlights 3919 Waldron Ave. The blue shading indicates neighboring Wheatley Place Historic District coverage. Basemap Source: Google Earth

CURRENT PHOTO(S)
3919 Waldron Ave.



Subject property: front, northeast elevation. Source: Google Maps, Street View.

CONTEXT PHOTO(S)
3919 Waldron Ave.



Subject Property: Shown between adjacent buildings. An existing lot (right of photo) is being subdivided to create requested legal build zone. *Source: Google Maps – Streetview.*



Across the street (northeast) of subject property. It shows a series of ranch style homes. *Source: Google Maps – Streetview.*



Across the street (north) of subject property. *Source: Google Maps – Streetview*

ATTACHMENTS:

- **Task Force Recommendation Form**
- **Courtesy Review Application**

TASK FORCE RECOMMENDATION REPORT
WHEATLEY PLACE / TENTH STREET / QUEEN CITY

DATE: 04/07/2026
TIME: **4:00 pm**
MEETING PLACE: **Preservation Dallas/Videoconference**

Applicant Name: Tracy Williams
Address: 3919 Waldron Ave. (Wheatley Place/ Tenth St Neighborhood HD / **Queen City**)
Date of CA/CD/**CR** Request: 03/23/2026 04/07/26

RECOMMENDATION:

Approve Approve with conditions Deny Deny without prejudice

Recommendation / **comments** / basis:
CHECK PROPERTY LINE CONCERNING DRIVEWAY APPROACH.
NEW CONSTRUCTION FORM, REMOVE, REDUCE THE AMOUNT OF CONCRETE IN FRONT
OF GARAGE, NO WINDOW FROM GARAGE, DOMES TO HIGH
REDUCE WINDOWS FROM 3 TO 2, BASE OF 2 PART COL. TO BE RECTANGLE BOTH
FRONT & REAR, RAISED FOUNDATION W/ 18" HIGH CRAWLSPACE MIN.,
GOOSE NECK LIGHTING NEED TO CHANGE TO CRAFTSMAN STYLE

Task force members present

<input checked="" type="checkbox"/> Barbara Wheeler (Chair)	<input type="checkbox"/> Alonzo Harris	<input type="checkbox"/> Benje Feehan
<input type="checkbox"/> Larry Johnson (Vice Chair)	<input checked="" type="checkbox"/> Shaní Dixon	<input checked="" type="checkbox"/> Jarod Fancher
<input type="checkbox"/> VACANT	<input type="checkbox"/> VACANT	

Ex Officio staff members Present: Dr. Rhonda Dunn

Simple Majority Quorum: yes no

Maker:
2nd:
Task Force members in favor:
Task Force members opposed:
Basis for opposition:

CHAIR, Task Force: Barbara Wheeler DATE: 04/7/2026

The task force recommendation will be reviewed by the landmark commission in Briefing Room 6ES, starting with a Staff briefing. The Landmark Commission public hearing begins at 1:00 pm in Room 6ES, which allows the applicant and citizens the opportunity to provide public comment(s).

WALDRON AVENUE

2701 SUNSET RIDGE DRIVE, STE 303
ROCKWALL, TEXAS 75032

BOUNDARY SURVEY



FIRM REGISTRATION NO. 10194366

BARRY S. RHODES Registered Professional Land Surveyor (214) 326-1090
This is to certify that I have, this date, made a careful and accurate survey on the ground of property located at 3919 WALDRON AVENUE, in the City of DALLAS, DALLAS County, Texas.

STATE OF TEXAS:
COUNTY OF DALLAS:

Being all of Lot 17 and a portion of Lot 14, E/1735, in the New Plat of Block E of Reeves Addition, an Addition to the City of Dallas, Dallas County, Texas, according to the Plat thereof recorded in Volume 1, Page 264, Map Records, Dallas County, Texas (M.R.D.C.T.), being a portion of a tract of land described in deed to Larry Wayne Brown and Zenoidia Hubbard Brown, recorded in Volume 99128, Page 5535, Deed Records, Dallas County, Texas (D.R.D.C.T.) and being more particularly described as follows:

BEGINNING at a 5/8 inch iron rod found for corner in the Southwest line of Waldron Avenue, at the common North corner of said Lot 17 and Lot 18 of said Block E/1735;

THENCE South 45 degrees 19 minutes 09 seconds East, a distance of 50.00 feet to a 1/2 inch yellow capped iron rod stamped "Burns Surveying" set at the intersection of the said Southwest line of Waldron Avenue and in the Northwest line of a 10 foot alley;

THENCE South 45 degrees 09 minutes 12 seconds West, a distance of 170.00 feet to a 1/2 inch yellow capped iron rod stamped "Burns Surveying" set in the Northeast line of Lot 13 of said Block E/1735 at the west corner of that portion of said Lot 14 described in deed to Marian Washington Tatum, recorded in Instrument No. 201600066732 (D.R.D.C.T.), from which a railroad spike found for reference bears North 10 degrees 19 minutes 37 seconds East, a distance of 1.77 feet;

THENCE North 45 degrees 19 minutes 09 seconds West, a distance of 34.00 feet to a 1/2 inch yellow capped iron rod stamped "Burns Surveying" set for corner in the said Northeast line of Lot 13 and in the Southeast line of a 16 foot alley;

THENCE North 45 degrees 09 minutes 12 seconds East, with the said Southeast line of a 16 foot alley, a distance of 50.00 feet to a 1/2 inch yellow capped iron rod stamped "Burns Surveying" set for corner;

THENCE North 45 degrees 19 minutes 09 seconds West, a distance of 16.00 feet to a 1/2 inch yellow capped iron rod stamped "Burns Surveying" set for corner in the southeast line of said Lot 18;

THENCE North 45 degrees 09 minutes 12 seconds East, a distance of 120.00 feet the PLACE OF BEGINNING and containing 7,699.74 square feet or 0.177 of an acre of land.

THIS CERTIFICATION DOES NOT TAKE INTO CONSIDERATION ADDITIONAL FACTS THAT AN ACCURATE TITLE SEARCH AND OR EXAMINATION MIGHT DISCLOSE.

The plat hereon is true, correct, and accurate representation of the property as determined by survey, the lines and dimensions of said property being as indicated by the plat: the size, location and type of buildings and improvements are as shown, all improvements being within the boundaries of the property, set back from property lines the distance indicated, or visible and apparent easement.

TITLE AND ABSTRACTING WORK FURNISHED BY BLUEPRINT INNOVATIONS, LLC
THERE ARE NO ENCROACHMENTS, CONFLICTS, OR PROTRUSIONS, EXCEPT AS SHOWN.

Scale: 1" = 20'

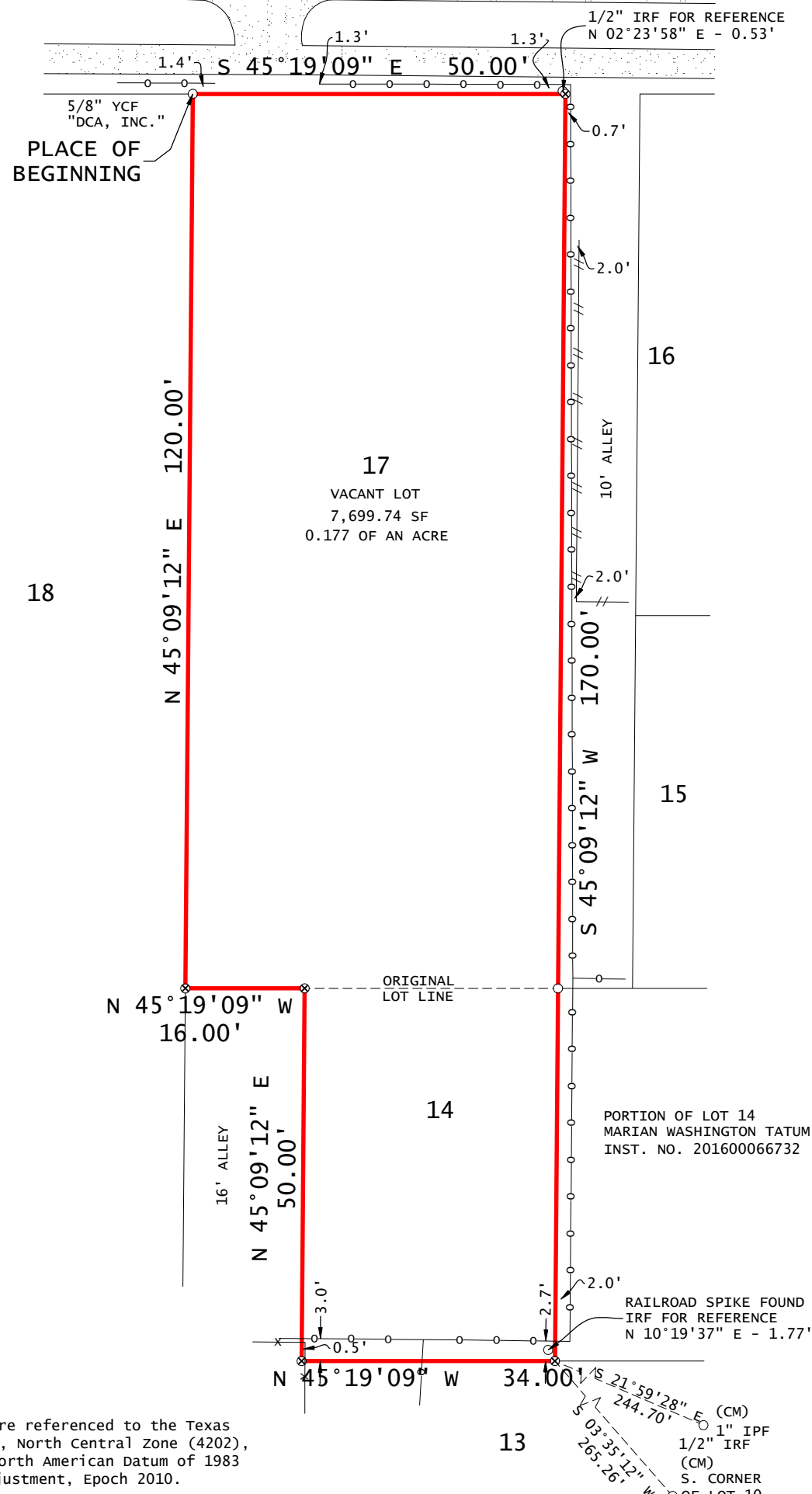
Date: 03/12/2025

G. F. No.: N/A

Job no.: 202502016

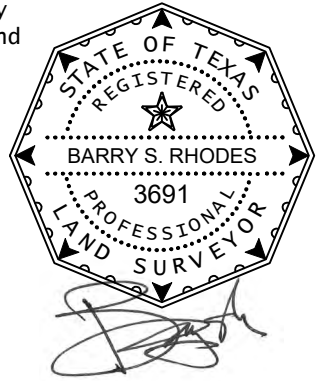
Drawn by: CMR

USE OF THIS SURVEY FOR ANY OTHER PURPOSE OR OTHER PARTIES SHALL BE AT THEIR RISK AND UNDERSIGNED IS NOT RESPONSIBLE TO OTHER FOR ANY LOSS RESULTING THEREFROM.
THIS SURVEY WAS PERFORMED EXCLUSIVELY FOR
BLUEPRINT INNOVATIONS, LLC



LEGEND	
WOOD FENCE	--- IRON FENCE ---
CHAIN LINK	-o- WIRE FENCE -x-
BOUNDARY LINE	---
EASEMENT SETBACK	---
CM - CONTROLLING MONUMENT	
MRD - MONUMENT OF RECORD DIGNITY	
* POINT FOR CORNER	
⊗ 1/2" YELLOW-CAPPED IRON ROD SET STAMPED "BURNS SURVEYING"	
⊗ X-CUT FOUND OR SET (AS NOTED)	
□ FENCE POST FOR CORNER	
○ MONUMENT FOUND	EM - ELECTRIC METER
⊙ - CABLE	⊖ - ELECTRIC
⊙ - CLEAN OUT	PE - POOL EQUIP
⊙ - GAS METER	● - POWER POLE
⊕ - FIRE HYDRANT	Ⓣ - TELEPHONE
Ⓛ - LIGHT POLE	Ⓜ - WATER METER
Ⓜ - MANHOLE	Ⓜ - WATER VALVE
(UNLESS OTHERWISE NOTED)	

Bearings shown hereon are referenced to the Texas Coordinate System of 1983, North Central Zone (4202), and are based upon the North American Datum of 1983 adjustment, Epoch 2010.



GENERAL NOTES

ZONING

BUILDING

TRADES

SHEET LIST			
SHEET NO.	SHEET NAME	SHEET ISSUE DATE	CURRENT REVISION
A.00	COVER PAGE	12/10/25	
A.01	GENERAL NOTES	12/10/25	
A.02	OVERALL SITE PLAN	12/10/25	
A.03	SITE PLAN	12/10/25	
A.04	FIRST FLOOR PLAN	12/10/25	
A.05	NORTH & SOUTH SIDE ELEVATION	12/10/25	
A.06	EAST & WEST SIDE ELEVATION	12/10/25	
A.07	GARAGE ELEVATION	12/10/25	
A.08	FRONT & REAR MASSING SECTION	12/10/25	
A.09	SECTION	12/10/25	
A.10	DOOR WINDOW SCHEDULE & WALL TYPE	12/10/25	
A.11	FIRST FLOOR PLAN-ELECTRICAL	12/10/25	
A.12	FIRST FLOOR PLAN-HVAC & PLUMBING	12/10/25	
A.13	PLUMBING DETAILS	12/10/25	
A.14	FOUNDATION DETAILS	12/10/25	
A.15	DAY VIEWS	12/10/25	
A.16	NIGHT VIEWS	12/10/25	
A.17	SITE VIEW	12/10/25	

3919 WALDRON AVE DALLAS TX



BUILDING INFORMATION

ZONING

PROPOSED

EXISTING UNDEVELOPED LOT. NEW 1 STORY SINGLE-FAMILY HOME WITH DETACHED GARAGE

AREA CALCULATION

FIRST FLOOR - 1869.13 SQ.FT

TOTAL - 1869.13 SQ.FT

DETACHED GARAGE - 504.00 SQ.FT

GENERAL NOTES

FOLLOW LATEST BUILDING CODE: IRC 2021
DESIGN LOADS (MIN)

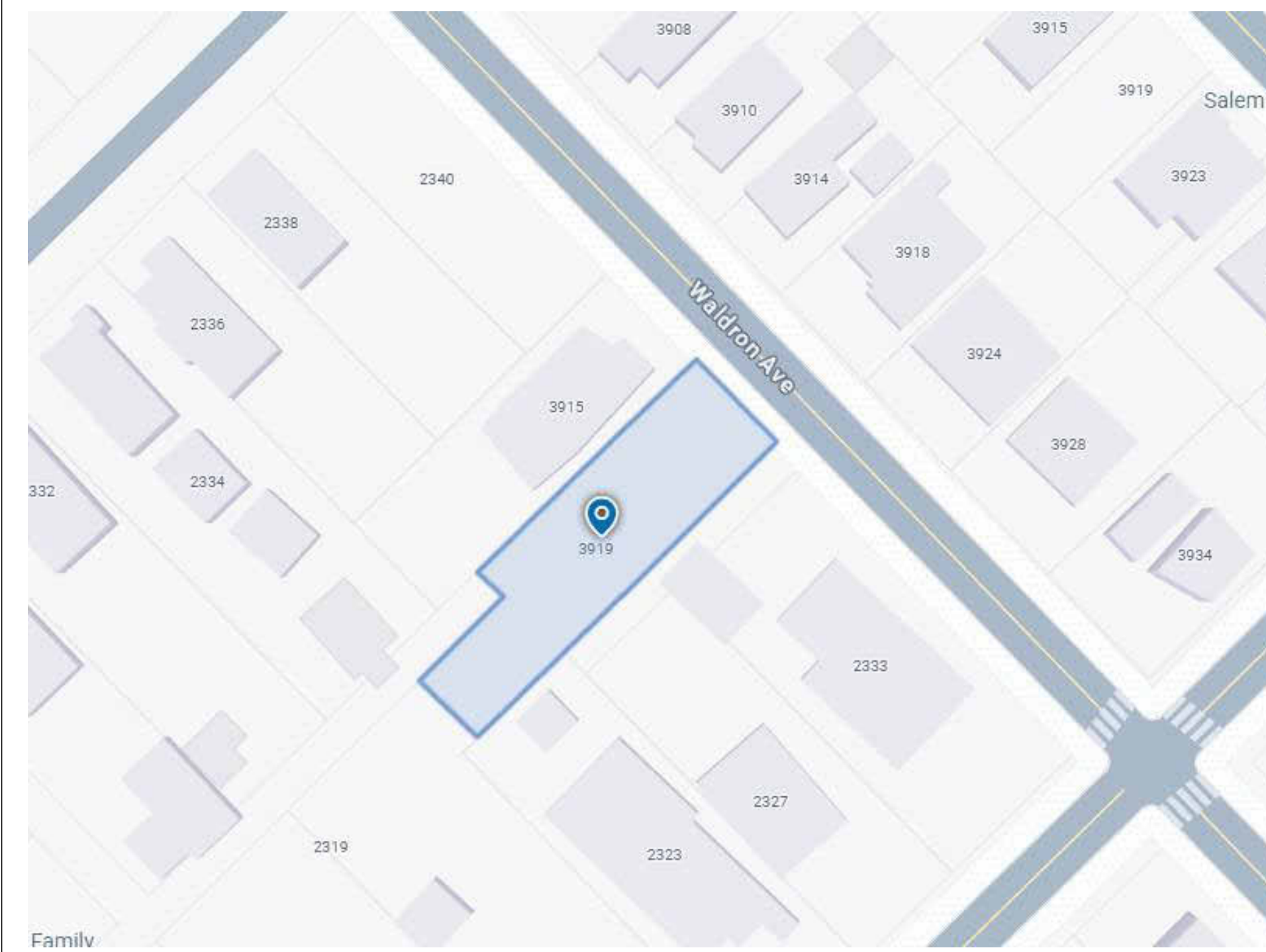
FLOOR: 40 PSF LIVE LOAD CEILING: 20 PSF LIVE LOAD
10 PSF DEAD LOAD 10 PSF DEAD LOAD
ROOF: 20 PSF LIVE LOAD ROOF DESIGN WIND SPEED: 90MPH
10 PSF DEAD LOAD (TRUSSES: TC AND BC DEAD LOAD OF 10 PSF EACH)
SLEEPING AREAS: 30 PSF LIVE LOAD
SOIL BEARING ASSUMED CAPACITY: ASSUMED 2000 PSF

LIVE LOADS, DEAD LOADS, WIND LOADS, SNOW LOADS, LATERAL LOADS, SEISMIC ZONING AND ANY OTHER SPECIALTY LOADING WILL NEED TO BE CONFIRMED BEFORE CONSTRUCTION AND DEALT WITH ACCORDINGLY.

FRAMING MEMBERS:
UNLESS OTHERWISE NOTED, ALL FRAMING LUMBER TO BE SYP #2 OR BETTER. CONTRACTOR TO CONFIRM THE SIZE, SPACING, AND SPECIES OF ALL FRAMING AND STRUCTURAL MEMBERS. ALL EXTERIOR WALLS AND CEILING/ROOF ARE TO BE INSULATED BY CODE. ENGINEERED WOOD PRODUCTS TO BE ENGINEERED BY MANUFACTURER/SUPPLIER. TRUSSES TO BE ENGINEERED BY TRUSS MANUFACTURER/SUPPLIER. FOLLOW BRACING GUIDELINES SUBMITTED BY TRUSS MANUFACTURER.

CONCRETE AND FOUNDATIONS:
ALL SLABS ON GRADE SHALL BEAR ON 4" COMPACTED GRANULAR FILL WITH 6X6 MIN. WELDED WIRE MESH (WWM) OR FIBER MESH. INTERIOR SLABS SHALL HAVE A 6 MIL. MIN. POLYETHYLENE VAPOR BARRIER UNDERNEATH. PROVIDE PROPER EXPANSION AND CONTROL JOINTS. PROVIDE REINFORCING WHERE NEEDED ACCORDING TO LOCAL CODES, REQUIREMENTS, AND DESIGN. FOUNDATION WALLS ARE NOT TO BE BACKFILLED UNTIL STRUCTURAL FRAMING IS COMPLETE. VERIFY DEPTH OF FOOTING TO MAKE SURE IT IS BELOW FROST LINE.

VICINITY MAP



PROJECT CONSULTANT :

PROJECT DETAIL :

3919 WALDRON AVE DALLAS TX

SHEET NAME :

COVER PAGE

1000 2000 3000 4000 5000 10000

SCALE : 1/4" = 1'-0"

10 DECEMBER 2025

A.00

GENERAL NOTES

I. GENERAL REQUIREMENTS

A. Project location

A.1. Legal description: _____.

A.2. General location: _____.

B. Codes

B.1. Before Final Drawings and Specifications are issued for construction, they shall be submitted to all governing building agencies to insure their compliance with all applicable local and national codes. If code discrepancies in Drawings and/or Specifications appear, the Architect shall be notified of such discrepancies in writing by Builder or building official, and allowed to alter Drawings and Specifications so as to comply with governing codes before construction begins.

B.2. Upon written receipt of approval from the governing official, approved Final Drawings and Specifications shall be submitted to the Builder by the Architect.

B.3. If code discrepancies are discovered during the construction process, Architect shall be notified and allowed ample time to remedy said discrepancies.

B.4. All work performed shall comply with all applicable local, state and national building codes, ordinances and regulations, and all other authorities having jurisdiction.

B.5. Following is a partial list of applicable codes.

- City of Dallas Building Codes, with Dallas Amendments
- Building Code: ICC International Residential Code, 2021 (IRC)
- Building Code: ICC International Building Code, 2021 (IBC)
- Energy Code: ICC International Energy Conservation Code, 2021.(IEC)
- Fire Code: ICC international Fire Code, 2021 (IFC)
- Mechanical Code: ICC International Mechanical Code, 2021 (IMC)
- Plumbing Code: ICC International Plumbing Code, 2021 (IPC)
- Electric Code: NFPA National Electric Code, 2020 (NEC).

B.6. All contractors, subcontractors, suppliers, and fabricators shall be responsible for the content of Drawings and Specifications and for the supply and design of appropriate materials and work performance.

C. All manufactured articles, materials and equipment shall be applied, installed, erected, used, cleaned and conditioned in strict accordance with manufacturer's recommendations.

D. All alternates are at the option of the Builder and shall be at the Builder's request, constructed in addition to or in lieu of the typical construction, as indicated on Drawings.

E. Design Criteria: See structural drawings (by others) for design loads.

II. SITEWORK

A. Builder shall be responsible for grading of site and lots.

B. Provide site preparation as specified by soils engineer.

C. Perform excavation according to good common construction practices to the lines, grades and elevations indicated on Drawings.

D. Provide soil poisoning to control termites as required by governing codes.

III. CONCRETE

A. See structural drawings by others.

IV. MASONRY

A. See structural drawings by others for load bearing masonry.

B. Brick and Stone Veneer

B.1. Provide modular size brick veneer units complying with ASTM C67 and ASTM C216, Grade SIN. Brick type shall be specified by Builder.

B.2. Provide stone veneer units as specified by Builder.

B.3. Provide mortar type "N" in accordance with ASTM C270.

B.4. Provide anchorage to supporting wall studs with corrosion-resistant metal veneer ties as follows and as required by governing codes.

B.4.1. Nominal 1" air space:

Not less than No. 22 U.S. gage x 1/8" corrugated ties, space 16"

oc. vertical and 16" o.c. horizontal.

B.4.2. Greater than nominal 1" up to 44" inch air space:

Not less than No. 4 U.S. gage wire ties with hook embedded in mortar joint, space 16" O.c. vertical and 16" o.c. horizontal.

C. Adhered Masonry Veneer (Stone and Brick)

C.1. Provide units as specified by Builder.

C.2. Adhered recon Veneer shall, in addition to complying with governing codes, comply with the standards and recommendations for the following applicable references:

C.2.1. Manufacturer's specifications and instructions.

C.2.2. National Concrete Masonry Association (NCMA)

C.2.3. American Concrete Institute (ACI)

C.2.4. Masonry Standards Joint Committee (MSJC)

C.2.5. Masonry Veneer Manufacturer's Association (MVMA) Installation Guide For Adhered Concrete Masonry Veneer

C.3. Provide minimum clearances as follows:

C.3.1. Four inches (4") above earth.

C.3.2. Two inches (2") above paved surfaces.

C.3.3. One-half inch (1/2") above exterior paved surfaces which are supported by the same foundation that supports the exterior wall.

C.3.4. Two inches (2") above roofing surfaces.

C.4. Install water resistive barriers, flashing and weep screeds in accordance with manufacturer's instructions and specifications, and in accordance with governing codes.

D. Reinforcement shall comply with the Following as minimum standards:

D.1. Bars: ASTM A615, grade 40, deformed bars. Overlap bars 24" minimum.

D.2. Wire joint reinforcement: ASTM A62, galvanized.

V. METALS

A. See structural drawings by others for structural steel.

B. All metals including metal connectors, fasteners, anchors, hardware, flashing, etc. shall be non-corrosive and compatible with any and all materials which the metal comes in contact with including dissimilar metals, wood (natural, stained and painted), preservative treated wood, fire-retardant treated wood and concrete.

VI. WOOD AND PLASTICS

A. See structural drawings by others for structural wood.

B. Stair construction shall consist of 3-2x12 stringers, 5/4" or 2x thick tread

and 3/4" thick risers or shall be fabricated by component manufacturer.

C. All wood plates bearing on concrete or masonry shall be pressure treated and installed over approved sill sealer.

D. All exterior framing and decking shall be constructed of decay-resistant lumber.

E. Interior trim shall be selected by Builder.

VII. THERMAL AND MOISTURE PROTECTION

A. Provide thermal building insulation at assemblies adjacent to exterior or unheated spaces meeting the requirements of governing codes and, unless otherwise noted, meeting the Following minimum requirements:

A.1. Slab on grade: minimum ___" extruded polystyrene, minimum R-0

A.2. Foundation walls:

Below grade foundation wall: ___" extruded polystyrene, R-

THERMAL AND MOISTURE PROTECTION CONTINUED

Basement foundation wall: glass fiber, vinyl faced, R-__

Crawl space foundation wall: glass fiber, unfaced, R-__

A.3. Exterior frame wall:

2x4: glass fiber, batts, R-19

2x6: glass fiber, batts, R-19

A.4. Roof/Ceiling: [Select one of the following. Do not include both

A.4.1. Vented attic and rafter areas

Attic areas: glass fiber, blown, R-30 minimum

Vaulted rafter areas: glass fiber, batts, R-30 minimum

A.4.2. Unvented conditioned attic assemblies (non-ventilated):

Air-impermeable insulation, R- (Refer to IRC-2021 R806.5

and review with client thoroughly]

a) Install approved air-impermeable insulation (applied in direct

contact to the underside/interior of the structural roof deck) in

attic areas and vaulted rafter areas according to manufacturer's

recommendations and applicable code requirements.

b) Note: interior moisture vapor retarders shall not be installed on

the ceiling side (attic Floor) of the unvented attic assembly.

A.1. Framed floor over unheated areas: glass fiber batts, R-__.

A.2. Install batts in continuous blankets without holes for electrical

boxes, light fixtures or heating ductwork.

B. Moisture vapor retarder: [Confirm vapor barrier requirements with

insulation systems being used. Refer to IRC-2021 R102.1 & R806.]

B.1. Exterior wall: Install code approved moisture vapor retarder (as

specified by Builder) beneath gypsum panels on warm side of all

exterior walls at conditioned spaces and as shown on Drawing

C. Water-resistive barrier: install code approved water-resistive barrier (as

specified by Builder) over exterior wall sheathing of all exterior walls and as

shown on Drawings. [refer to IRC-2021 R103.2]

D. Roofing shall be specified by Builder and as shown on Drawings.

E. Exterior wall covering:

E.1. Siding shall be specified by Builder and as shown on Drawings.

E.2. See Section IV, MASONRY for brick and stone veneer and

manufactured stone and thin brick.

E.3. Stucco shall be approved 3-coat Portland cement exterior plaster

applied over metal lath. Materials and installation shall be in

compliance with ASTM C 926, ASTM C 1063 and meet all code

requirements. Stucco shall be installed with proper weep screeds,

water-resistive vapor-permeable barrier and all appropriate flashing

materials.

F. Flashing:

F.1. Provide and install appropriate sheet metal and membrane flashing at all

locations as required to prevent penetration of water through the

exterior shell of the building. Provide and install appropriate flashing as

shown on the drawings and at the following specific locations.

F.1.1. Drip edge at all eave and rake edges.

F.1.2. Roof/wall intersections.

F.1.3. Roof penetrations such as skylights, roof vents, Flues, etc.

F.1.4. Roof crickets and saddles.

F.1.5. Door and window head trim.

F.1.6. Horizontal band boards.

F.1.7. Deck to house connections.

F.1.8. Masonry sills and caps.

F.1.9. Provide through-wall flashing and weeps at the base of masonry

veneer and above masonry lintels.

F.2. Materials and installations shall comply with governing codes and with

pertinent recommendations contained in the current edition of the

'Architectural Sheet Metal Manual' published by SMACNA. All metal

flashing shall be hot-dip galvanized iron complying with ASTM

A653/A653M or other approved corrosion-resistant metal.

G. Provide gutters and downspouts as specified by Builder. Downspout and

splash locations shall be determined by Contractor (and approved by

Builder) so as to provide positive roof and site drainage.

H. Provide attic and roof ventilation as required by governing codes and

as shown on Drawings. Provide appropriate soffit and roof vents as

specified/approved by Builder.

I. Foundation water/moisture control:

I.1. Provide foundation drainage as specified by soils engineer, as shown on

Drawings and as specified by Builder.

I.1.1. Place perforated drainage pipe in washed gravel or crushed

stone and cover with same material; and cover with approved

filter membrane material. Slope perforated drainage pipe to sump

pit and discharge into an approved drainage system.

I.2. Waterproof foundation walls at excavated basement areas (from

footing to Finish grade) with waterproofing compound as specified

by Builder. Waterproofing shall be in compliance with code

requirements.

J. Skylights shall be specified by Builder. Install skylights of the size.

VIII. DOORS AND WINDOWS

X. SPECIALTIES

A. Fireplaces shall be as follows:

A.1. Pre-manufactured _____ units with ___" firebox opening.

A.2. Manufacturer and model shall be specified by Builder.

A.3. Contractor(s) shall be responsible for proper installation of fireplace

unit, venting, hearth, mantle and related components as recommended

by manufacturer and as required by governing codes.

B. Shower, tub and tub/shower enclosures shall be constructed of approved

safety glazing as specified by Builder.

C. Handrails and guards [based on IRC-2021 R311.1.8, R312.1 and IBC-2021

16018]

C.1. Porches, balconies or raised floor surfaces located more than 30

inches above the floor or grade below shall have guards not less than

36 inches in height. Open sides of stairs with a total rise of more than

30 inches above the floor or grade below shall have guards not less

than 34 inches in height measured vertically from the nosing of the

treads. Required guards on open sides of stairways, raised floor

areas, balconies and porches shall have intermediate rails or

ornamental closures that do not allow passage of a sphere 4 inches in

diameter. The triangular opens Formed by the riser, tread and

bottom rail of a guard at the open side of a stairway are permitted to

be of such a size that a sphere 4 inches cannot pass through.

C.2. Handrail assemblies and guards shall be able to resist the following

loads:

a) 50 pounds per linear foot applied in ar direction at the top and to

transfer this load through the supports to the structure.

b) A single concentrated load of 200 pounds, applied in any direction

at any point along the top, and have attachment devices and

supporting structure to transfer this loading to appropriate structural elements

of the building.

c) Intermediate rails (all those except the handrail), balusters and

panel fillers shall be designed to withstand a horizontally applied normal

load

of 50 pounds on an area not to exceed | square foot including

openings

and space between rails.

A. Doors:

A.1. Provide doors as follows and as specified by Builder:

A.1.1. Entry doors and sidelights: as specified by Builder.

A.1.2. House/Garage door: Solid wood door not less than 138" thick;

solid or honeycomb core steel door not less than 138" thick; or

20-minute fire-rated door. Door shall be self-closing.

A.1.3. Overhead Garage doors: as specified by Builder.

A.1.4. Patio doors (hinged): full glass as specified by Builder.

A.1.5. Sliding glass doors: as specified by Builder.

A.1.6. Interior doors: as specified by Builder.

A.2. Glazing in doors and sidelights shall be double-pane insulating glass.

A.3. Glazing in doors and sidelights shall be tempered glass as required by

governing codes.

B. Windows:

B.1. Provide windows as specified by Builder:

B.1.1. Provide units of the size, style and quantity shown on Drawings.

B.1.2. Glazing shall be double-pane insulating glass.

B.1.3. Provide tempered glass in all windows meeting the requirements of

governing codes.

B.1.4. Provide and install all windows meeting the requirements of

governing codes for "Window Fall Protection."

B.1.5. Provide and install emergency escape and rescue windows

meeting the requirements of governing codes.

B.1.5.1. Basements: Where required, provide and install window

wells meeting the requirements of governing codes for

emergency escape and rescue.

C. Finish hardware shall be specified by Builder. Install all hardware required

by governing codes.

IX. FINISHES

A. Gypsum Panels: Provide doors as follows and as specified by Builder:

A.1. Gypsum panels, unless otherwise noted shall be provided as follows:

A.1.1. Exterior walls: (1) layer 1/2" regular panels to interior face.

A.1.2. Interior partitions: (1) layer 1/2" regular panels each side.

A.1.3. Ceiling:

a) Supporting members greater than 16" O.C.: (1) layer 5/8" regular

panels or (1) layer 1/2" "sag resistant" panels.

b) Supporting members 16" oc. or less: (1) layer 1/2" regular panels.

A.0.1. Garage (verify with Builder):

a) Where habitable rooms are not located above garage:

Provide (1) layer 1/2" regular panels to garage face of walls

adjoining houses. Continue panels up wall to under side of garage

roof sheathing or provide (1) layer 1/2" regular panels to entire

garage ceiling.

b) Where habitable rooms are located above garage:

Provide (1) layer 5/8" type "X" panels to entire garage ceiling and

provide (1) layer 1/2" regular panels to garage face of all walls

FINISHES CONTINUED

A.0.1. Baths: When gypsum board is used as a base for tile in

non-wet areas or wall panels behind prefabricated tub and shower

surrounds, water-resistant gypsum panels shall be used as a base

as required by governing codes. See tile backer board below for tile

in wet areas.

A.0.2. Common wall and common Floor/ceiling between units:

See Drawings for construction of assemblies.

A.1. Provide and install metal corner bead and trim as recommended by

gypsum wallboard manufacturer.

A.2. Tape, float and sand joints and fasteners of gypsum wallboard with

3-coats of joint compound as required obtaining a uniformly smooth

surface.

B. Tile backer board: cement board or other approved tile backing material as

specified by Builder shall be used as a base for tile in wet areas at tubs and

showers.

C. Finishes shown on Drawings shall be specified by Builder.

X. SPECIALTIES

A. Fireplaces shall be as follows:

A.1. Pre-manufactured _____ units with ___" firebox opening.

A.2. Manufacturer and model shall be specified by Builder.

A.3. Contractor(s) shall be responsible for proper installation of fireplace

unit, venting, hearth, mantle and related components as recommended

by manufacturer and as required by governing codes.

B. Shower, tub and tub/shower enclosures shall be constructed of approved

safety glazing as specified by Builder.

C. Handrails and guards [based on IRC-2021 R311.1.8, R312.1 and IBC-2021

16018]

C.1. Porches, balconies or raised floor surfaces located more than 30

inches above the floor or grade below shall have guards not less than

36 inches in height. Open sides of stairs with a total rise of more than

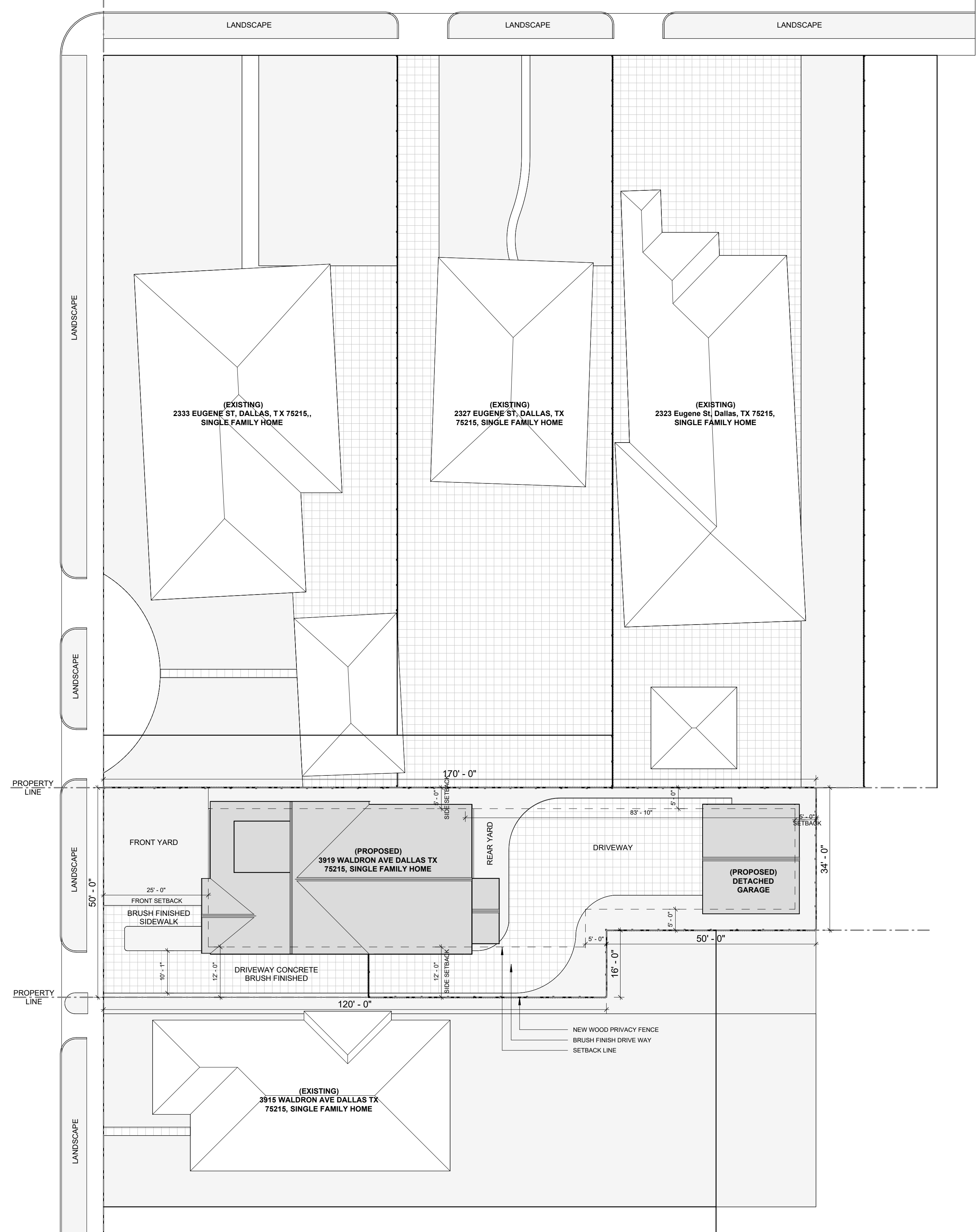
30 inches above the floor or grade below shall have guards not less

than 34 inches in height measured vertically from the nosing of the

EUGENE STREET

WALDRON AVENUE

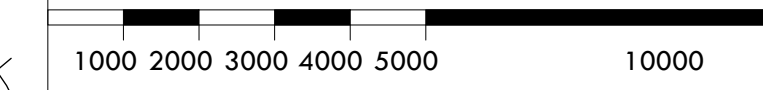
WALDRON AVENUE



PROJECT CONSULTANT :

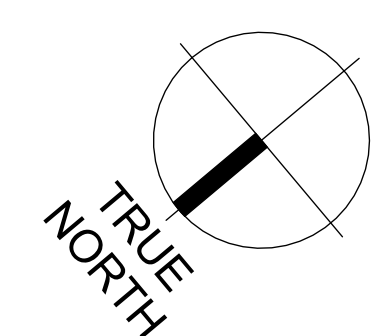
PROJECT DETAIL :
3919 WALDRON AVE DALLAS TX

SHEET NAME :
OVERALL SITE PLAN



SCALE : As indicated

10 DECEMBER 2025



01 OVERALL SITE PLAN
1/16" = 1'-0"

A.02



01 NORTH SIDE ELEVATION-(FRONT)
1/4" = 1'-0"



02 SOUTH SIDE ELEVATION
1/4" = 1'-0"

PROJECT CONSULTANT :

PROJECT DETAIL :
3919 WALDRON AVE DALLAS TX

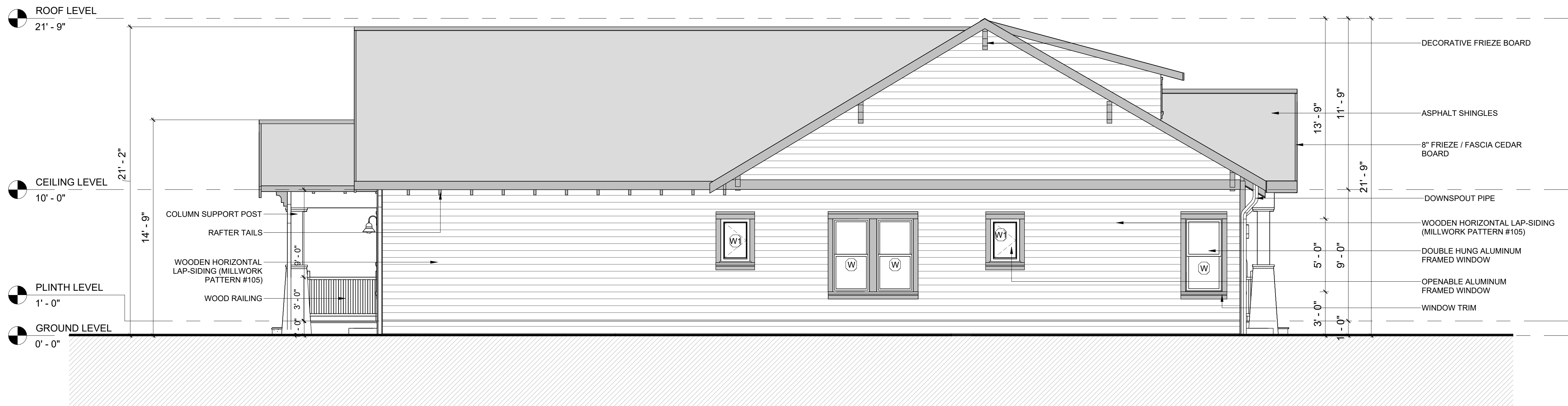
SHEET NAME :
NORTH & SOUTH SIDE ELEVATION



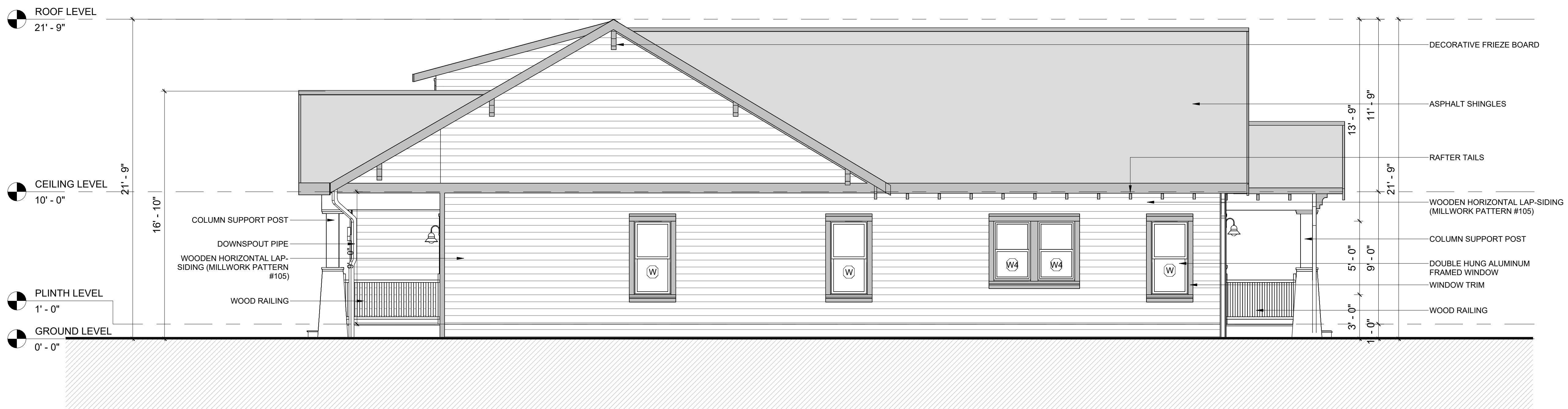
SCALE : 1/4" = 1'-0"

10 DECEMBER 2025

A.05



01 EAST SIDE ELEVATION
1/4" = 1'-0"

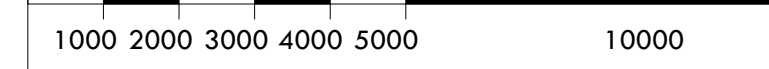


02 WEST SIDE ELEVATION
1/4" = 1'-0"

PROJECT CONSULTANT :

PROJECT DETAIL :
3919 WALDRON AVE DALLAS TX

SHEET NAME :
EAST & WEST SIDE ELEVATION



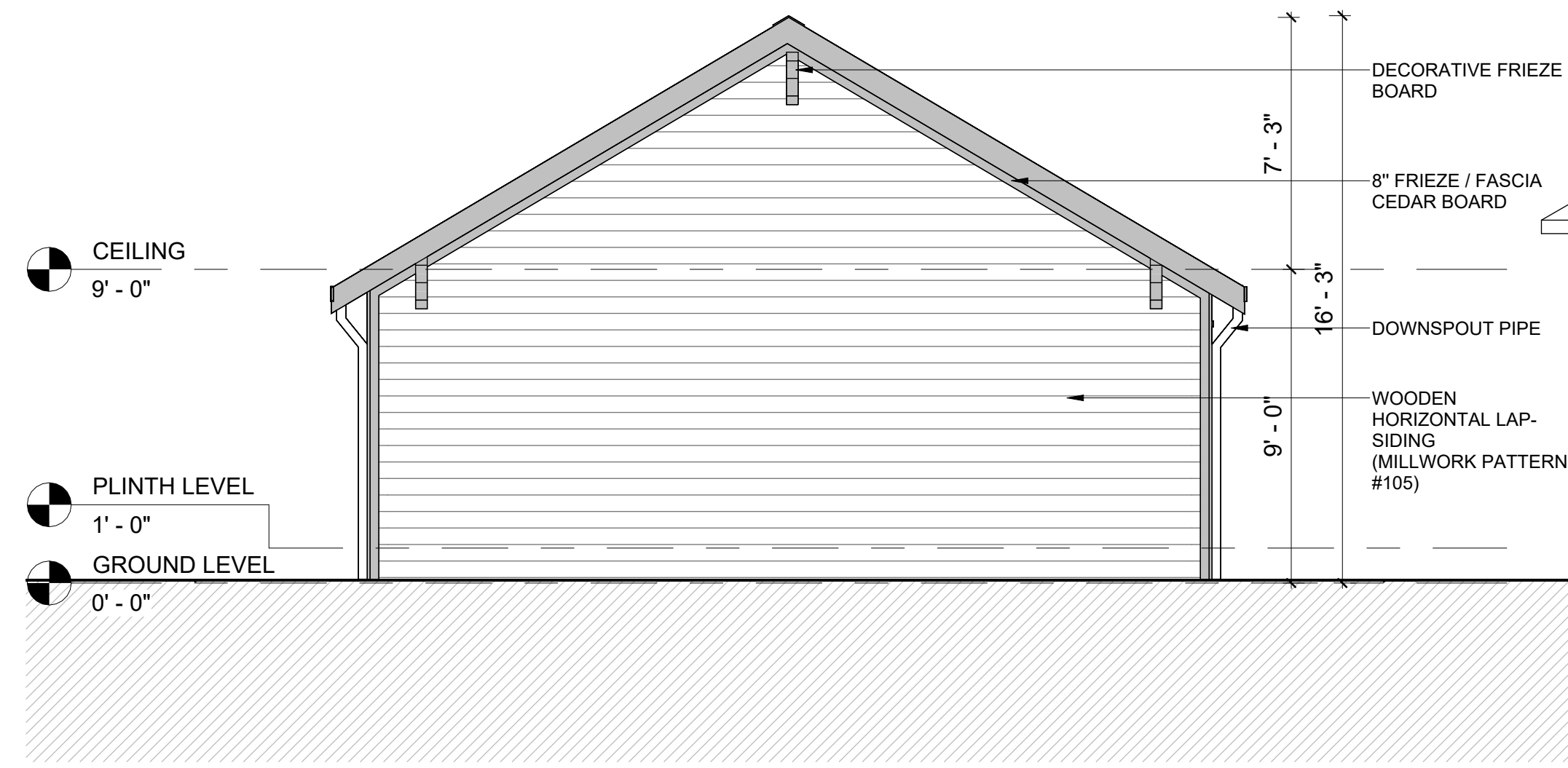
SCALE : 1/4" = 1'-0"

10 DECEMBER 2025

A.06



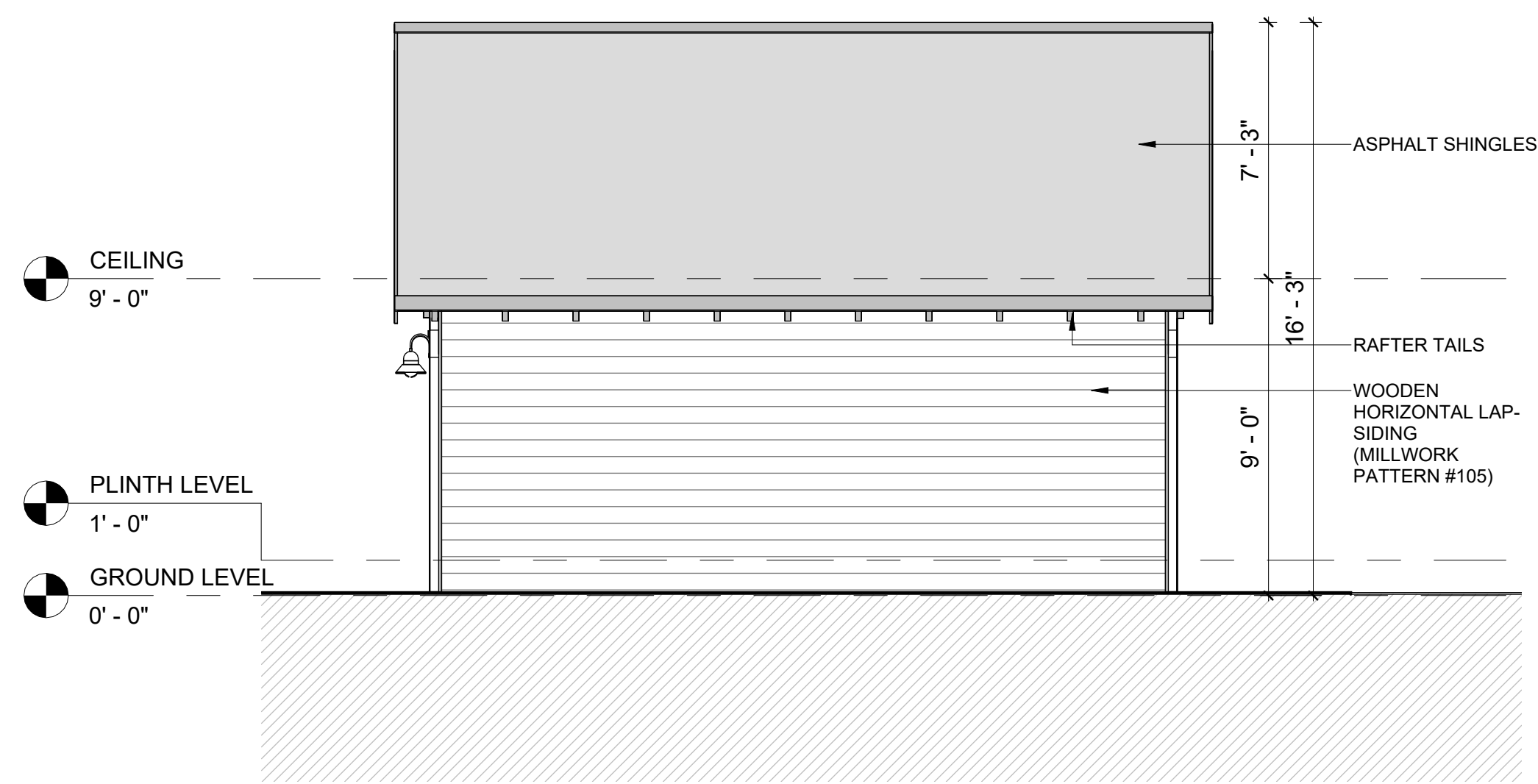
01 NORTH SIDE ELEVATION
1/4" = 1'-0"



02 SOUTH SIDE ELEVATION-GARAGE
1/4" = 1'-0"



03 EAST SIDE ELEVATION-GARAGE
1/4" = 1'-0"



04 WEST SIDE ELEVATION-GARAGE
1/4" = 1'-0"

PROJECT CONSULTANT :

PROJECT DETAIL :

3919 WALDRON AVE DALLAS TX

SHEET NAME :

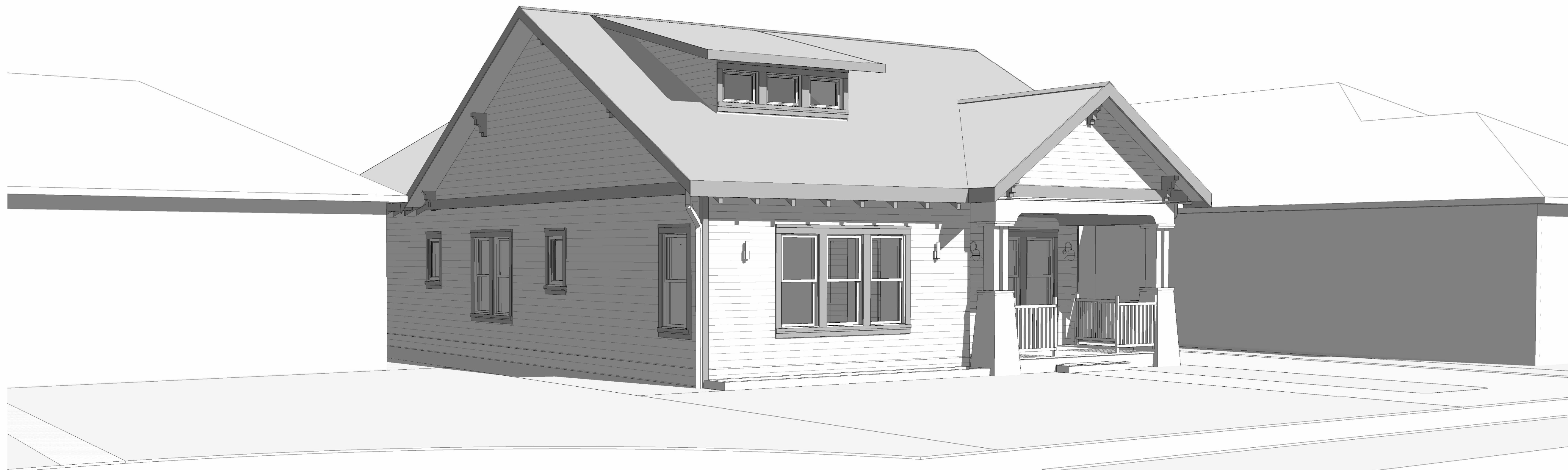
GARAGE ELEVATION

1000 2000 3000 4000 5000 10000

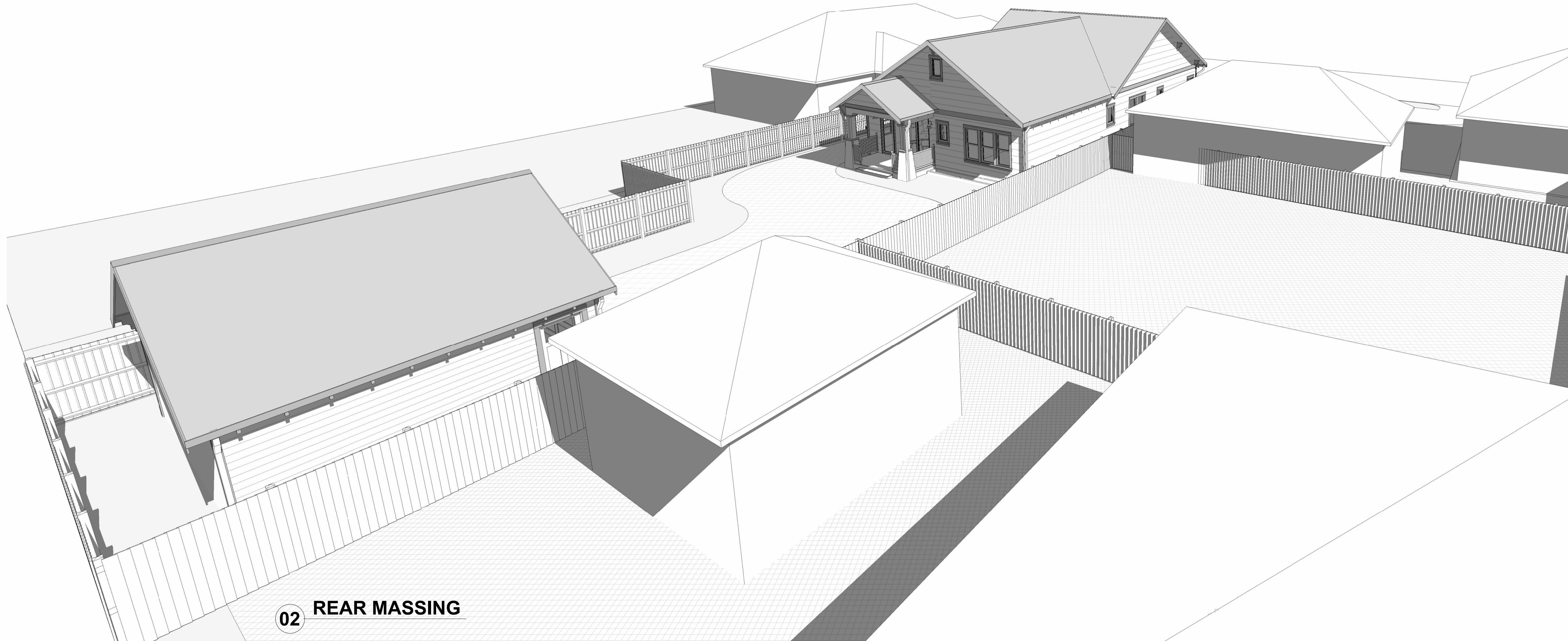
SCALE : 1/4" = 1'-0"

10 DECEMBER 2025

A.07



01 FRONT MASSING



02 REAR MASSING

PROJECT CONSULTANT :

**PROJECT DETAIL :
3919 WALDRON AVE DALLAS TX**

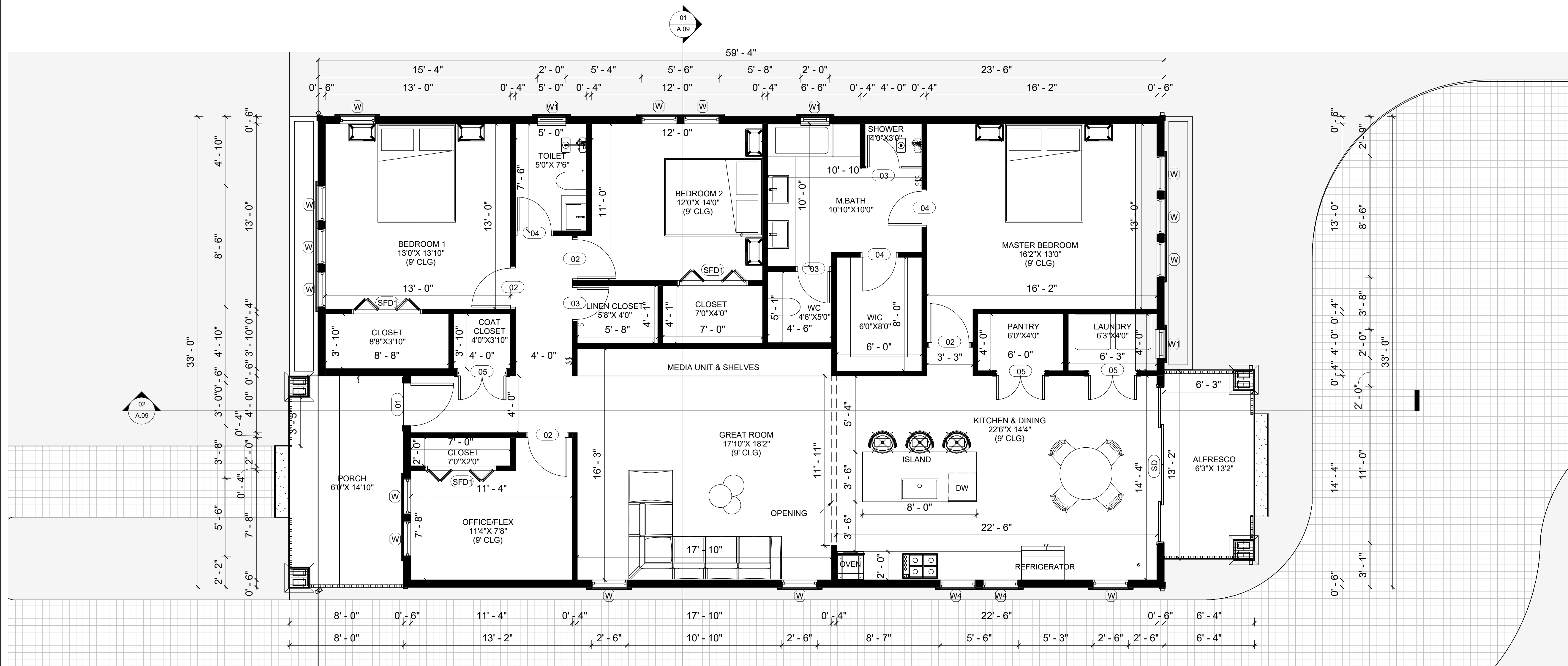
**SHEET NAME :
FRONT & REAR MASSING**

1000 2000 3000 4000 5000 10000

SCALE :

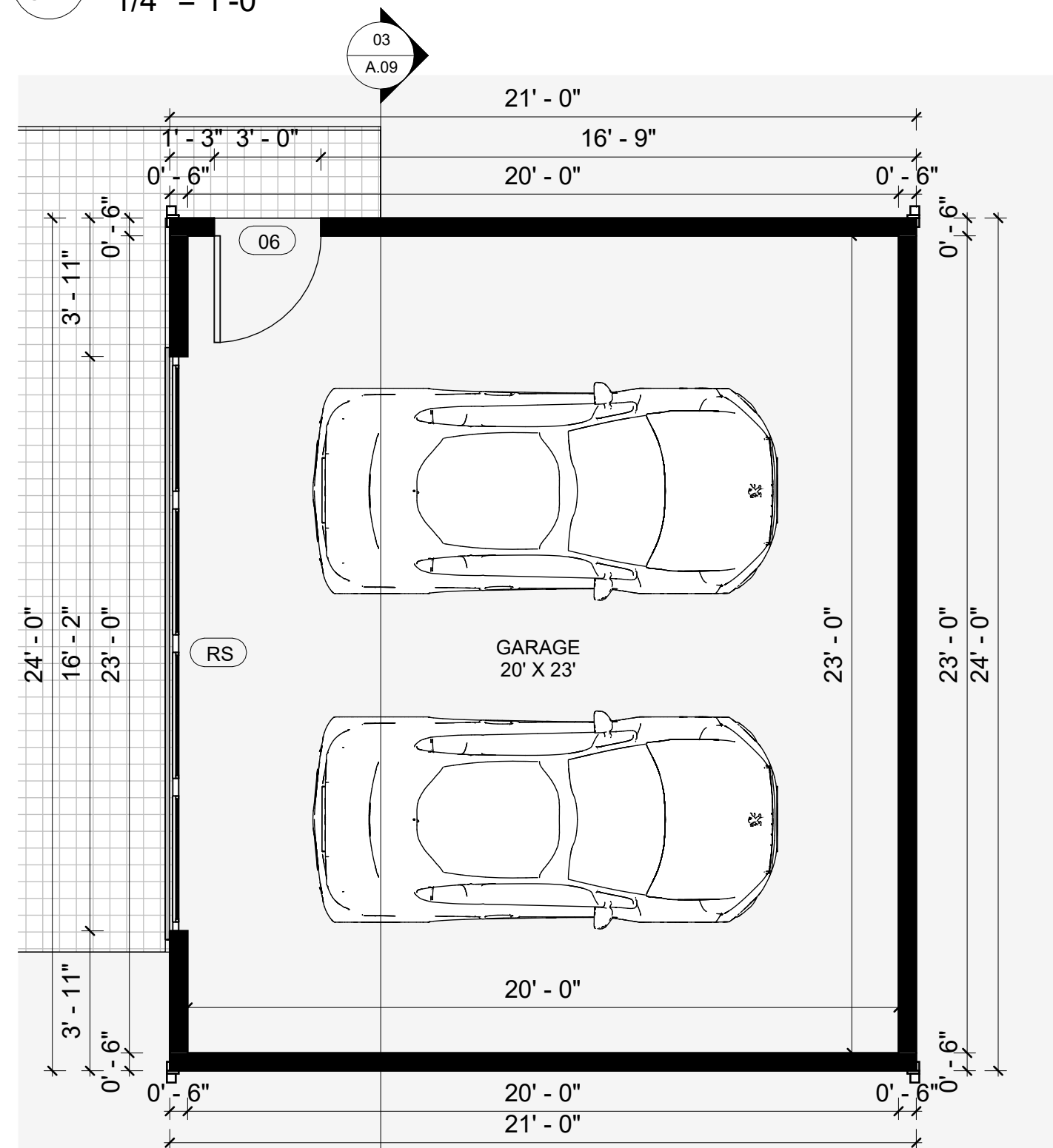
10 DECEMBER 2025

A.08



01 FIRST FLOOR PLAN

1/4" = 1'-0"



02 GARAGE FLOOR PLAN

1/4" = 1'-0"

AREA CALCULATION

AIR CONDITIONED AREA	1869.13 SQ.FT.
GARAGE AREA	504.00 SQ.FT.
SITE AREA	7710 SQ.FT.

PROJECT CONSULTANT :

PROJECT DETAIL :

3919 WALDRON AVE DALLAS TX

SHEET NAME :

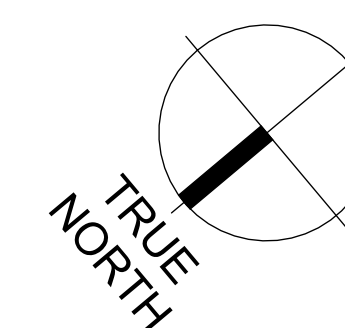
FIRST FLOOR PLAN

1000 2000 3000 4000 5000 10000

SCALE : As indicated

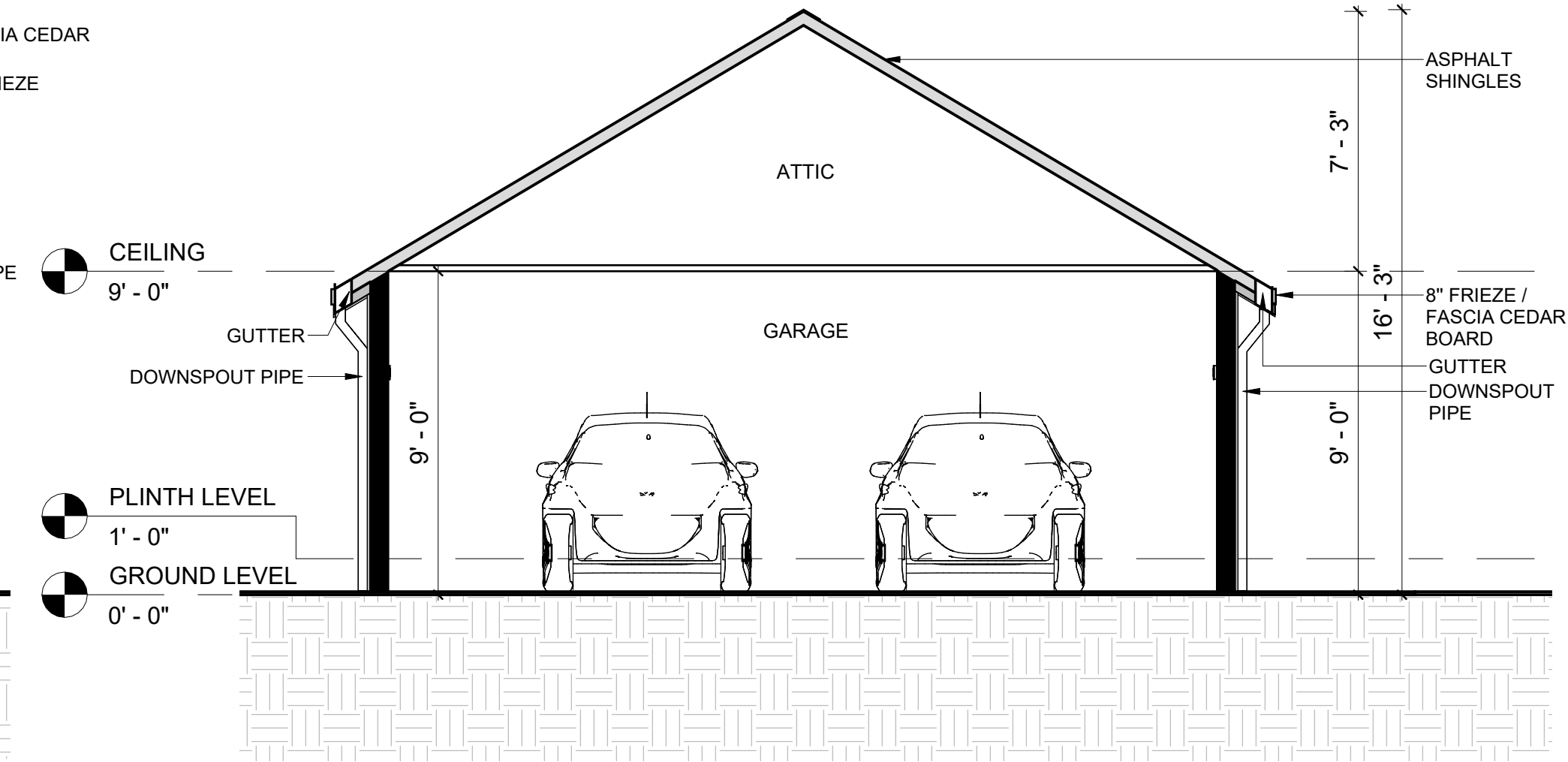
10 DECEMBER 2025

A.04

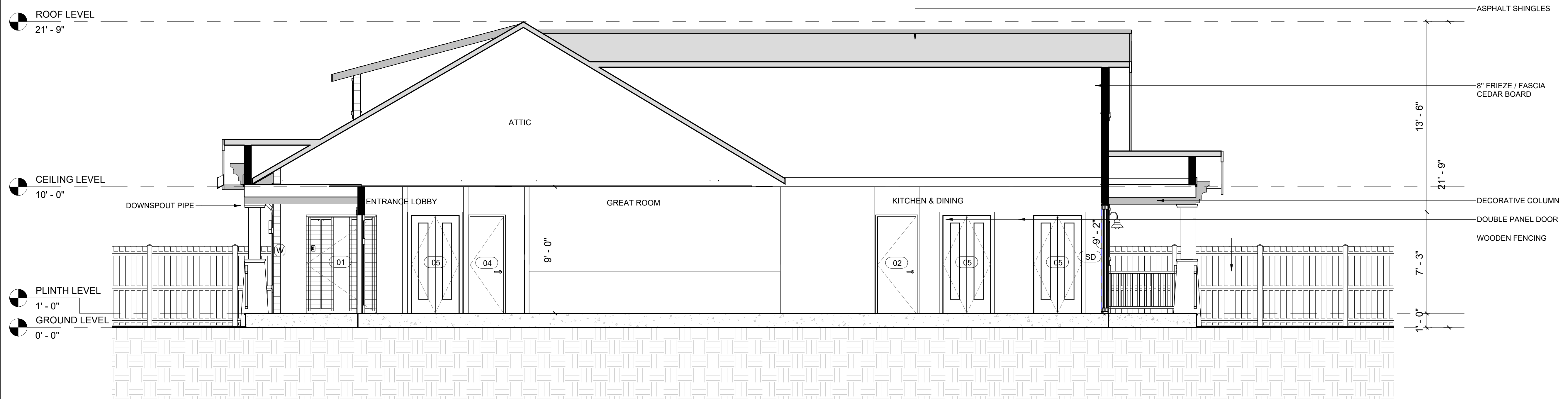




01 SECTION - 1
1/4" = 1'-0"



03 SECTION - 3
1/4" = 1'-0"



02 SECTION - 2
1/4" = 1'-0"

PROJECT CONSULTANT :

PROJECT DETAIL :
3919 WALDRON AVE DALLAS TX

SHEET NAME :
SECTION



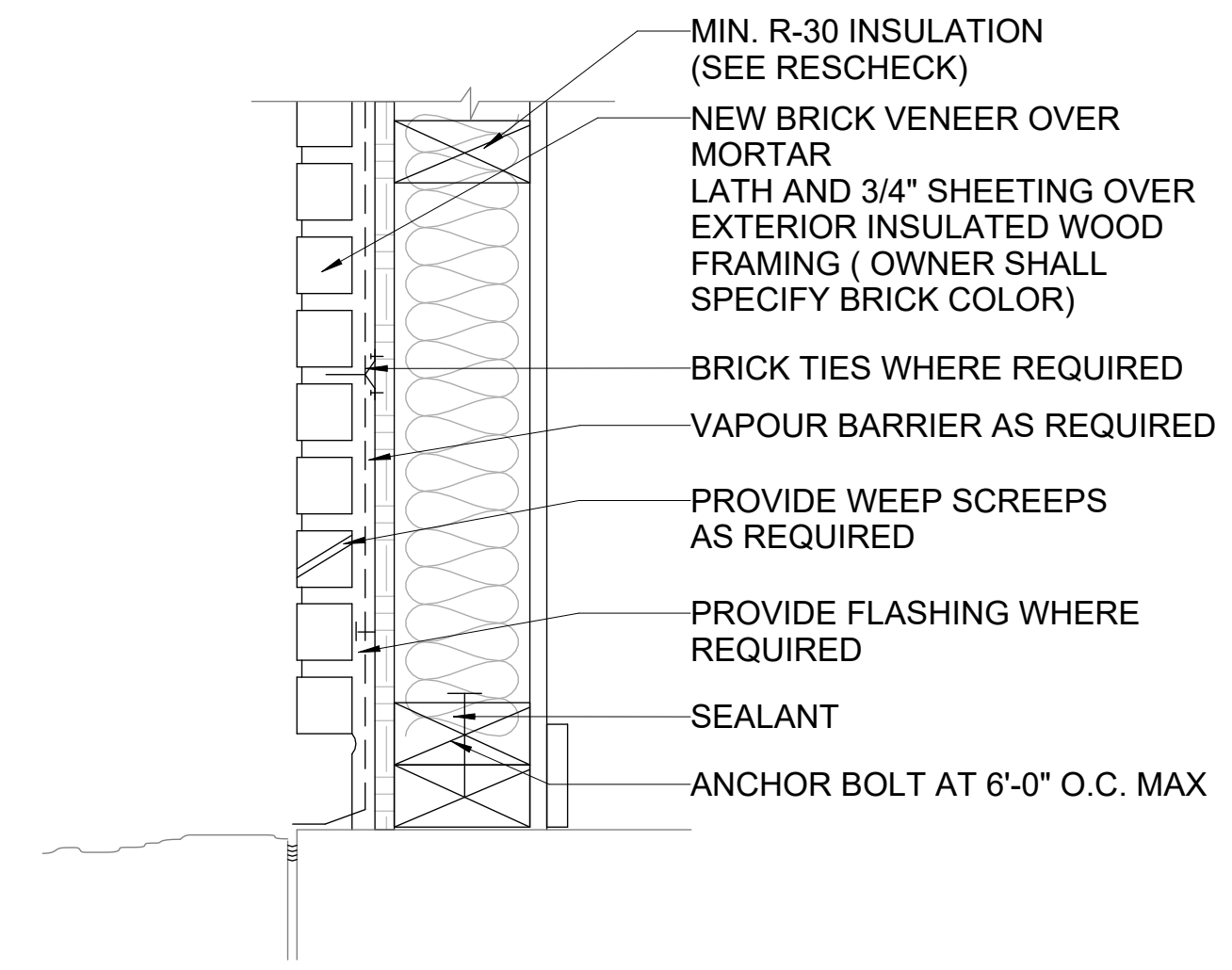
SCALE : 1/4" = 1'-0"

10 DECEMBER 2025

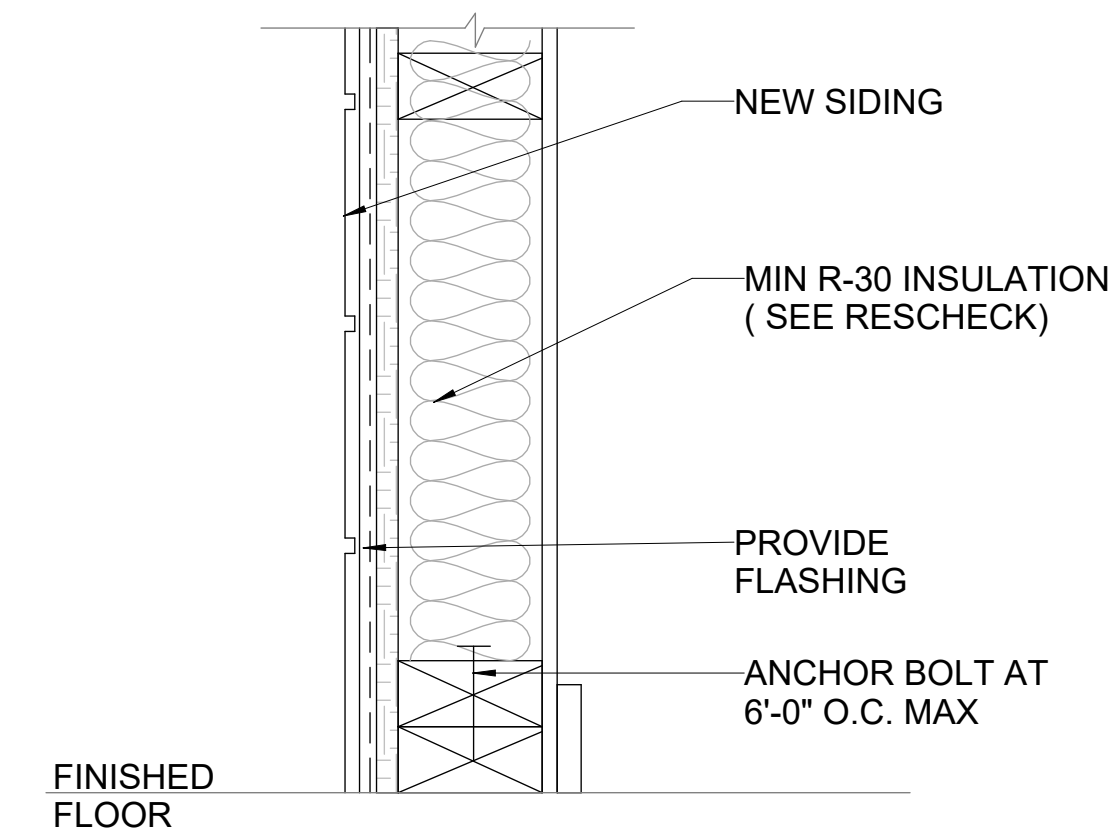
A.09

DOOR SCHEDULE				
MARK	WIDTH	HEIGHT	DESCRIPTION	COMMENTS
01	3' - 0"	7' - 0"	EXTERIOR MAIN DOOR	
02	3' - 0"	7' - 0"	INTERIOR SINGLE SWING DOOR	
03	2' - 6"	7' - 0"	INTERIOR SINGLE SWING DOOR	
04	2' - 8"	7' - 0"	INTERIOR SINGLE SWING DOOR	
05	3' - 6"	7' - 0"	CLOSET DOUBLE SWING DOOR	
06	3' - 0"	7' - 0"	EXTERIOR MAIN DOOR	
RS	16' - 2"	7' - 0"	GARAGE DOOR	
SD	11' - 0"	7' - 9"	SLIDING DOOR	
SFD1	5' - 0"	7' - 0"	SLIDING FOLDING DOOR	

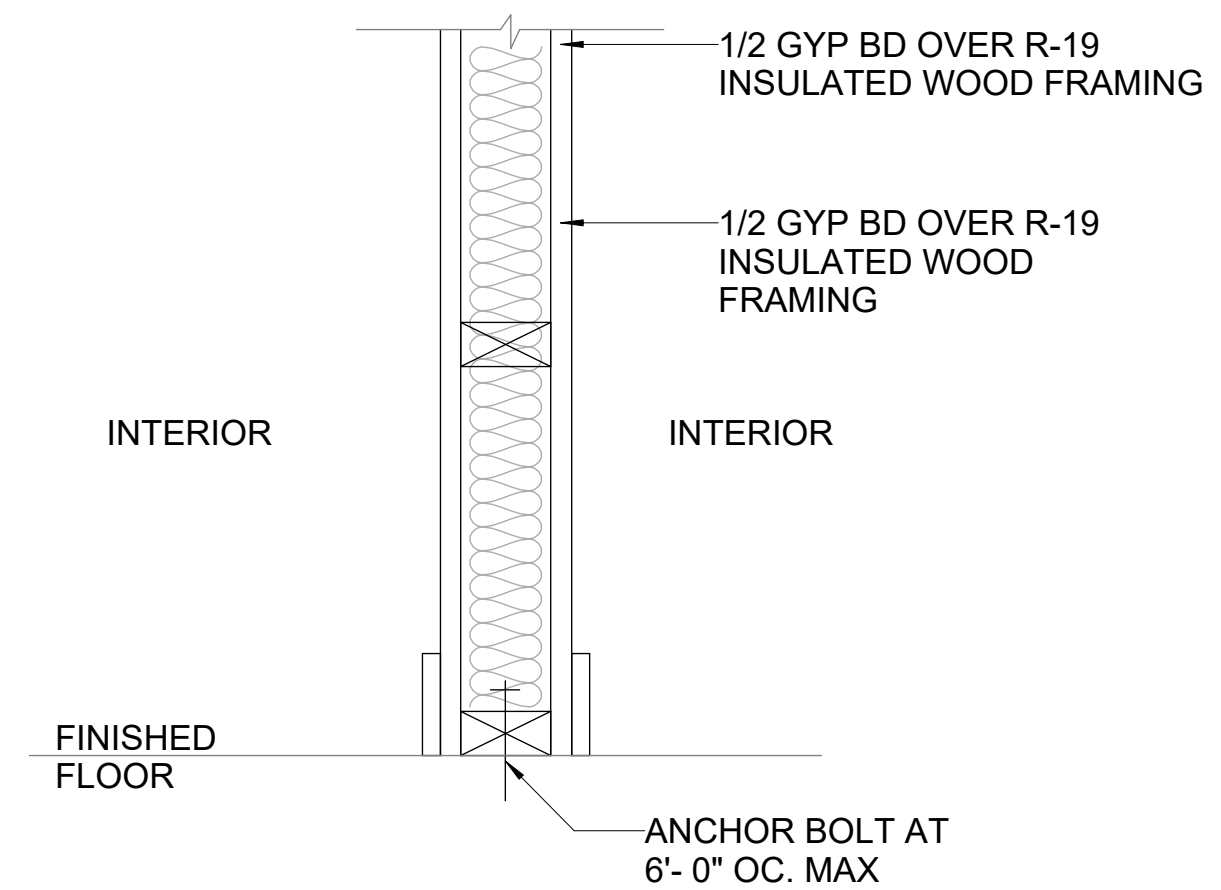
WINDOW SCHEDULE				
MARK	WIDTH	HEIGHT	DESCRIPTION	COMMENTS
W	2' - 6"	5' - 0"	DOUBLE HUNG WINDOW	
W1	2' - 0"	3' - 0"	SINGLE HUNG WINDOW	
W2	2' - 0"	3' - 0"	SINGLE HUNG WINDOW	
W3	2' - 6"	2' - 0"	FIXED GLASS WINDOW	
W4	2' - 6"	4' - 0"	DOUBLE HUNG WINDOW	



A
EXTERIOR PANELING



B
EXTERIOR PANELING



D
INTERIOR WALL
3 1/2 WOOD FRAMING

D1
INTERIOR WALL
5 1/2 WOOD FRAMING

1 WALL TYPE
1 1/2" = 1'-0"

PROJECT CONSULTANT :

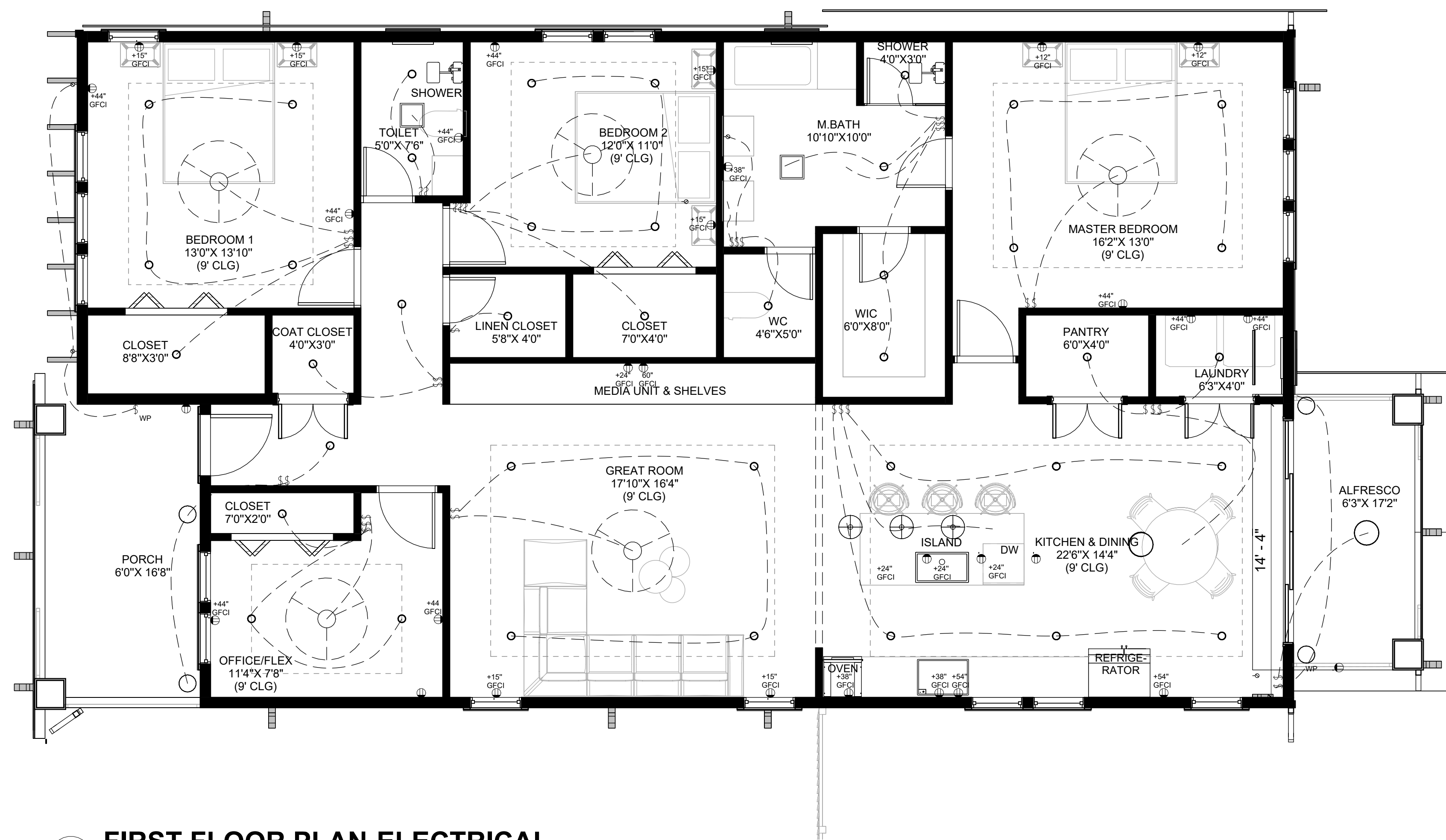
PROJECT DETAIL :
3919 WALDRON AVE DALLAS TX

SHEET NAME :
DOOR WINDOW SCHEDULE &
WALL TYPE

SCALE : 1 1/2" = 1'-0"

10 DECEMBER 2025

A.10



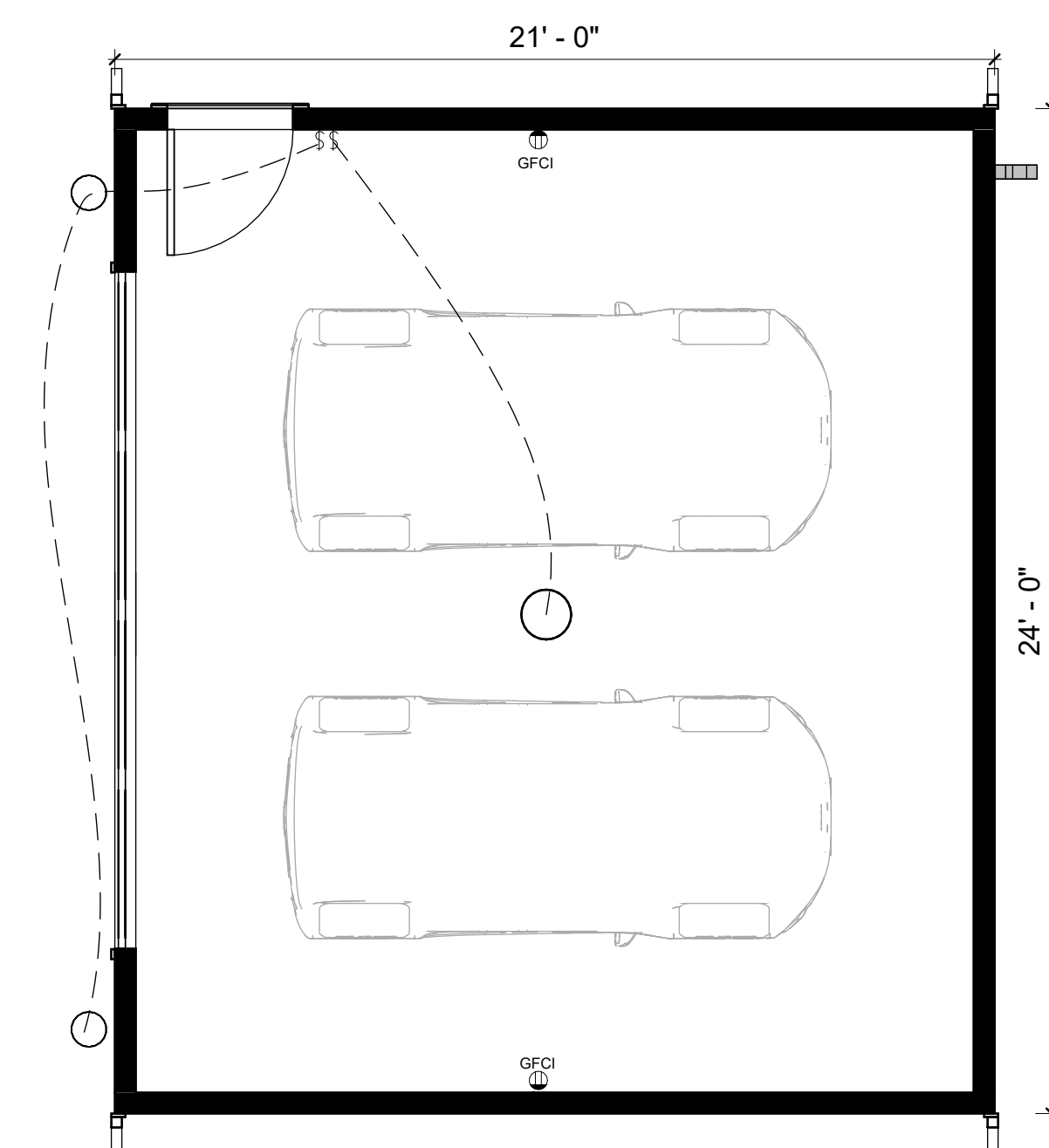
01 FIRST FLOOR PLAN-ELECTRICAL
1/4" = 1'-0"

GENERAL ELECTRICAL NOTES

- CONTRACTOR SHALL VISIT THE SITE AND VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION AND ADJUST FOR ACTUAL FIELD CONDITIONS AT NO EXPENSE TO OWNER. REPORT TO THE DESIGNER ANY DISCREPANCIES WITH THE PLANS AND EXISTING CONDITIONS.
- CONDUIT LAYOUTS ON THE PLANS ARE DIAGRAMMATIC, NOT INDICATING THE ROUTING REQUIRED, THE CONTRACTOR SHALL ROUTE CONDUITS AS REQUIRED BY THE CONDITIONS OF INSTALLATION.
- ALL EQUIPMENT PROVIDED BY THE ELECTRICAL CONTRACTOR SHALL BE LISTED AND LABELED BY A NATIONALLY RECOGNIZED TESTING AGENCY, ACCEPTABLE TO THE AUTHORITY HAVING JURISDICTION.
- MINIMUM WIRE SIZE SHALL BE #12 AWG CU. MINIMUM CONDUIT SIZE SHALL BE 3/4" UNLESS NOTED OTHERWISE.
- THE ELECTRICAL CONTRACTOR SHALL COORDINATE WITH ALL OTHER TRADES PRIOR TO ORDERING OR INSTALLING ANY EQUIPMENT, TO VERIFY ELECTRICAL REQUIREMENTS OF EQUIPMENT PROVIDED BY ALL OTHER TRADES ARE PROVIDED FOR IN THE ELECTRICAL DESIGN. THE CONTRACTOR WILL NOT BE COMPENSATED FOR COSTS ASSOCIATED WITH CHANGING THE ELECTRICAL SYSTEMS TO MATCH UTILIZATION EQUIPMENT, EVEN IF THE ELECTRICAL WORK IS INSTALLED PER THE DRAWINGS.
- UNLESS SPECIFICALLY NOTED OTHERWISE, SYSTEMS PROVIDED BY THE ELECTRICAL CONTRACTOR SHALL BE COMPLETE AND FULLY FUNCTIONING AFTER INSTALLATION, COMPONENTS NOT SHOWN, BUT REQUIRED FOR THE PROPER OPERATION OF THE EQUIPMENT OR SYSTEM, SHALL BE PROVIDED AT NO ADDITIONAL COST TO THE PROJECT.
- WHERE THE PLANS INDICATE A LIGHT FIXTURE IS TO BE PROVIDED WITH SPECIAL FEATURES/SWITCHING THE CONTRACTOR SHALL PROVIDE THE FIXTURES WITH THE APPROPRIATE BALLASTING TO ACCOMMODATE THE SPECIAL FEATURE. THE CONTRACTOR SHALL PROVIDE THE FIXTURE AS INDICATED IN THE LIGHT FIXTURE SCHEDULE, WITH MODIFICATIONS AS REQUIRED PER PLAN NOTES.
- DESIGN BASED UPON USE 2021 INTERNATIONAL RESIDENTIAL CODE. CONDUCTORS SHALL BE PROVIDED PER CODE REQUIREMENTS.
- ALL CONDUIT, BOXES, WIRING METHODS, LIGHTING FIXTURES, ETC. SHALL CONFORM TO WIRING METHODS AS REQUIRED BY LOCAL CODES.
- PROVIDE WIRE CONNECTED CEILING MOUNTED SMOKE DETECTORS

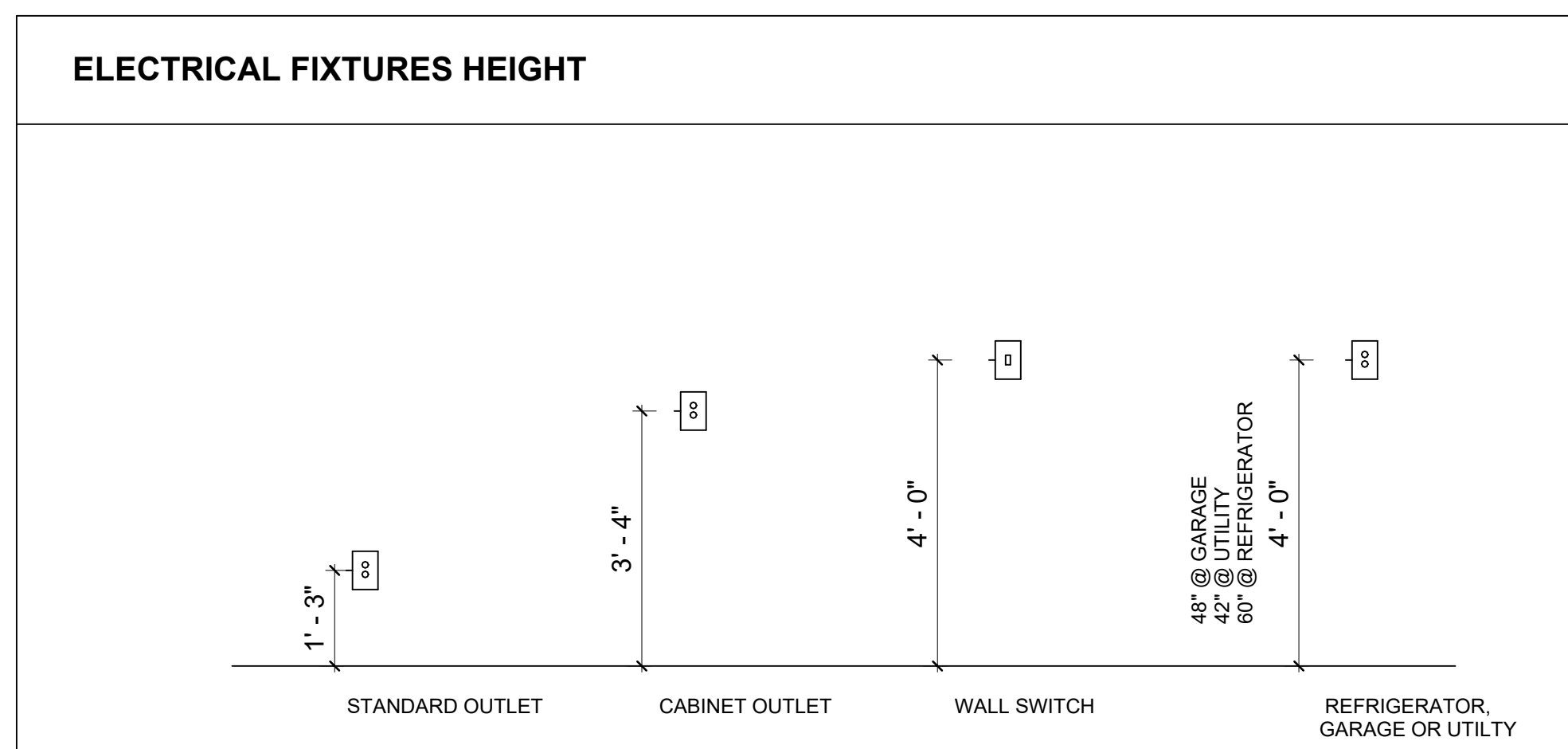
GENERAL MEP NOTES

- CONTRACTOR SHALL VISIT THE SITE AND VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION AND ADJUST FOR ACTUAL FIELD CONDITIONS AT NO EXPENSE TO OWNER. REPORT TO THE DESIGNER ANY DISCREPANCIES WITH THE PLANS AND EXISTING CONDITIONS.
- CONDUIT LAYOUTS ON THE PLANS ARE DIAGRAMMATIC, NOT INDICATING THE ROUTING REQUIRED THE CONTRACTOR SHALL ROUTE CONDUITS AS REQUIRED BY THE CONDITIONS OF INSTALLATION.
- ALL EQUIPMENT PROVIDED BY THE ELECTRICAL CONTRACTOR SHALL BE LISTED AND LABELED BY A NATIONALLY RECOGNIZED TESTING AGENCY, ACCEPTABLE TO THE AUTHORITY HAVING JURISDICTION.
- MINIMUM WIRE SIZE SHALL BE 12 AWG CU MINIMUM CONDUIT SIZE SHALL BE 3/4" UNLESS NOTED OTHERWISE.
- THE ELECTRICAL CONTRACTOR SHALL COORDINATE WITH ALL OTHER TRADES PRIOR TO ORDERING OR INSTALLING ANY EQUIPMENT, TO VERIFY ELECTRICAL REQUIREMENTS OF EQUIPMENT PROVIDED BY ALL OTHER TRADES ARE PROVIDED FOR IN THE ELECTRICAL DESIGN, THE CONTRACTOR WILL NOT BE COMPENSATED FOR COSTS ASSOCIATED WITH CHANGING THE ELECTRICAL SYSTEMS TO MATCH UTILIZATION EQUIPMENT, EVEN IF THE ELECTRICAL WORK IS INSTALLED PER THE DRAWINGS.
- UNLESS SPECIFICALLY NOTED OTHERWISE, SYSTEMS PROVIDED BY THE ELECTRICAL CONTRACTOR SHALL BE COMPLETE AND FULLY FUNCTIONING AFTER INSTALLATION COMPONENTS NOT SHOWN, BUT REQUIRED FOR THE PROPER OPERATION OF THE EQUIPMENT OR SYSTEM, SHALL BE PROVIDED AT NO ADDITIONAL COST TO THE PROJECT.
- WHERE THE PLANS INDICATE A LIGHT FIXTURE IS TO BE PROVIDED WITH SPECIAL FEATURES/SWITCHING THE CONTRACTOR SHALL PROVIDE THE FIXTURES WITH THE APPROPRIATE BALLASTING TO ACCOMMODATE THE SPECIAL FEATURE THE CONTRACTOR SHALL PROVIDE THE FIXTURE AS INDICATED IN THE LIGHT FIXTURE SCHEDULE, WITH MODIFICATIONS AS REQUIRED PER PLAN NOTES
- DESIGN BASED UPON USE 2021 INTERNATIONAL RESIDENTIAL CODE. CONDUCTORS SHALL BE PROVIDED PER CODE REQUIREMENTS
- ALL CONDUIT, BOXES, WIRING METHODS, LIGHTING FIXTURES, ETC. SHALL CONFORM TO WIRING METHODS AS REQUIRED BY LOCAL CODES
- PROVIDE WIRE CONNECTED CEILING MOUNTED SMOKE DETECTORS
- ELECTRICIAN SHALL PROVIDE AND INSTALL POWER FOR ALL APPLIANCES AS REQUIRED PER MANUFACTURERS RECOMMENDATION
- UNO. ALL LIGHT SWITCHES SHALL BE MOUNTED AT 48 AFF
- UNO. WALL SCONCES SHALL BE MOUNTED AT 6-8" AFF. TO CENTER OF ROUGH IN BOX.
- ROUTE ALL FLUTED AND VENTS TO REAR ROOF SLOW WHERE POSSIBLE
- WATER PIPES FOR SHOWERHEAD SHALL BE STUBBED OUT AT 7-0 AFF
- ALL LOW VOLTAGE FOR HVAC SHALL BE PROVIDED AND INSTALLED BY HVAC CONTRACTOR.



02 GARAGE FLOOR PLAN-ELECTRICAL
1/4" = 1'-0"

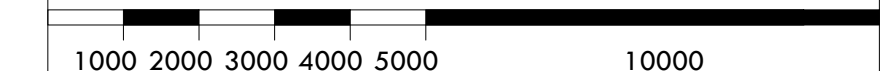
ELECTRICAL LEGEND			
	6" FLUSH MOUNT LED 2700K		DUPLEX
	12" 3-BULB SEMI-FLUSH LED LIGHT FIXTURE		GFCI - GFCI OUTLET
	SMOKE DETECTOR		HEIGHT OF OUTLET
	AIR VENT		110V WEATHER RESISTANT RECEPTACLE
	WALL LAMP		SCONCE LED, RATED FOR DAMP/WET CONDITIONS
			SWITCH
			FAN COIL UNIT



PROJECT CONSULTANT :

PROJECT DETAIL :
3919 WALDRON AVE DALLAS TX

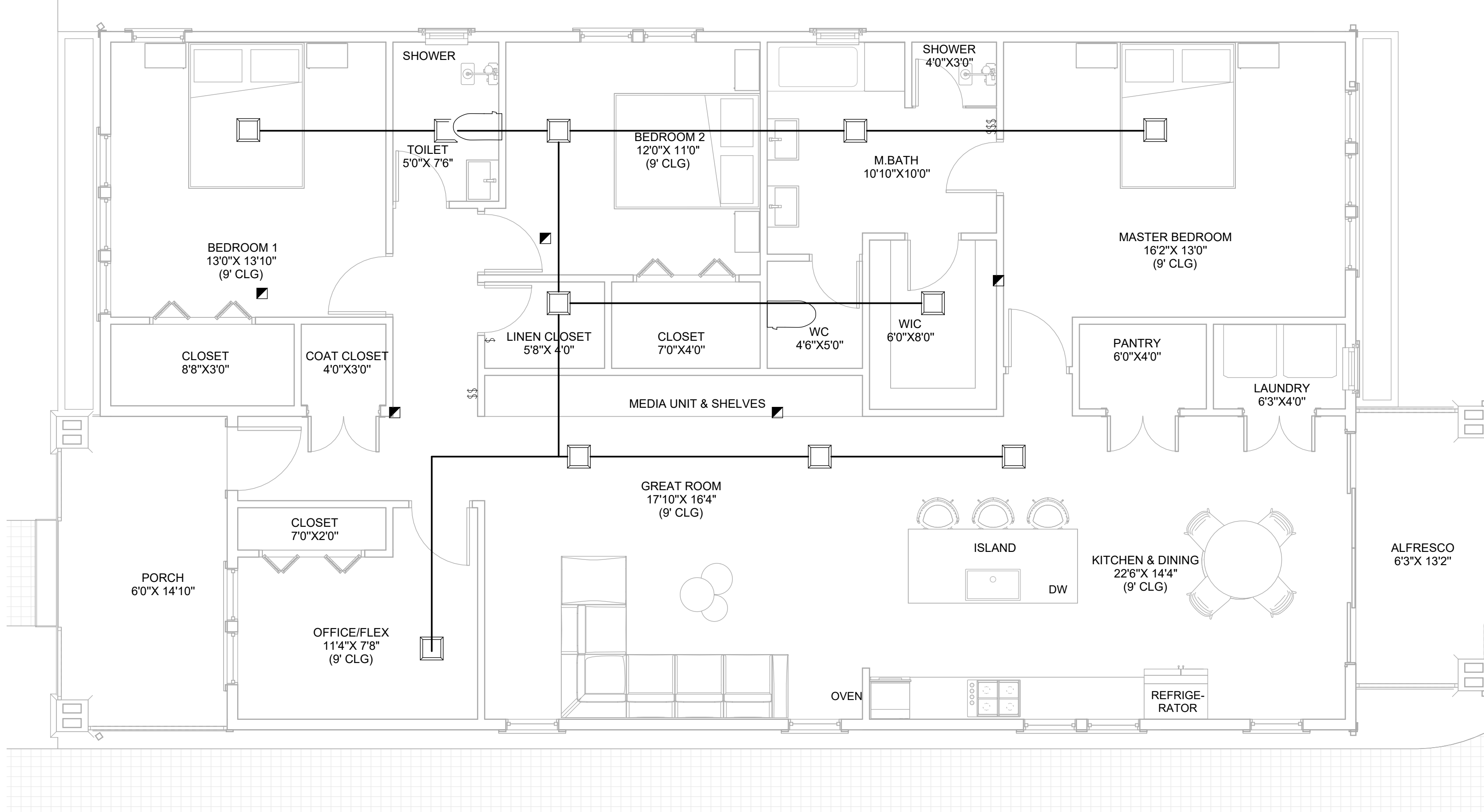
SHEET NAME :
FIRST FLOOR PLAN-ELECTRICAL



SCALE : As indicated

10 DECEMBER 2025

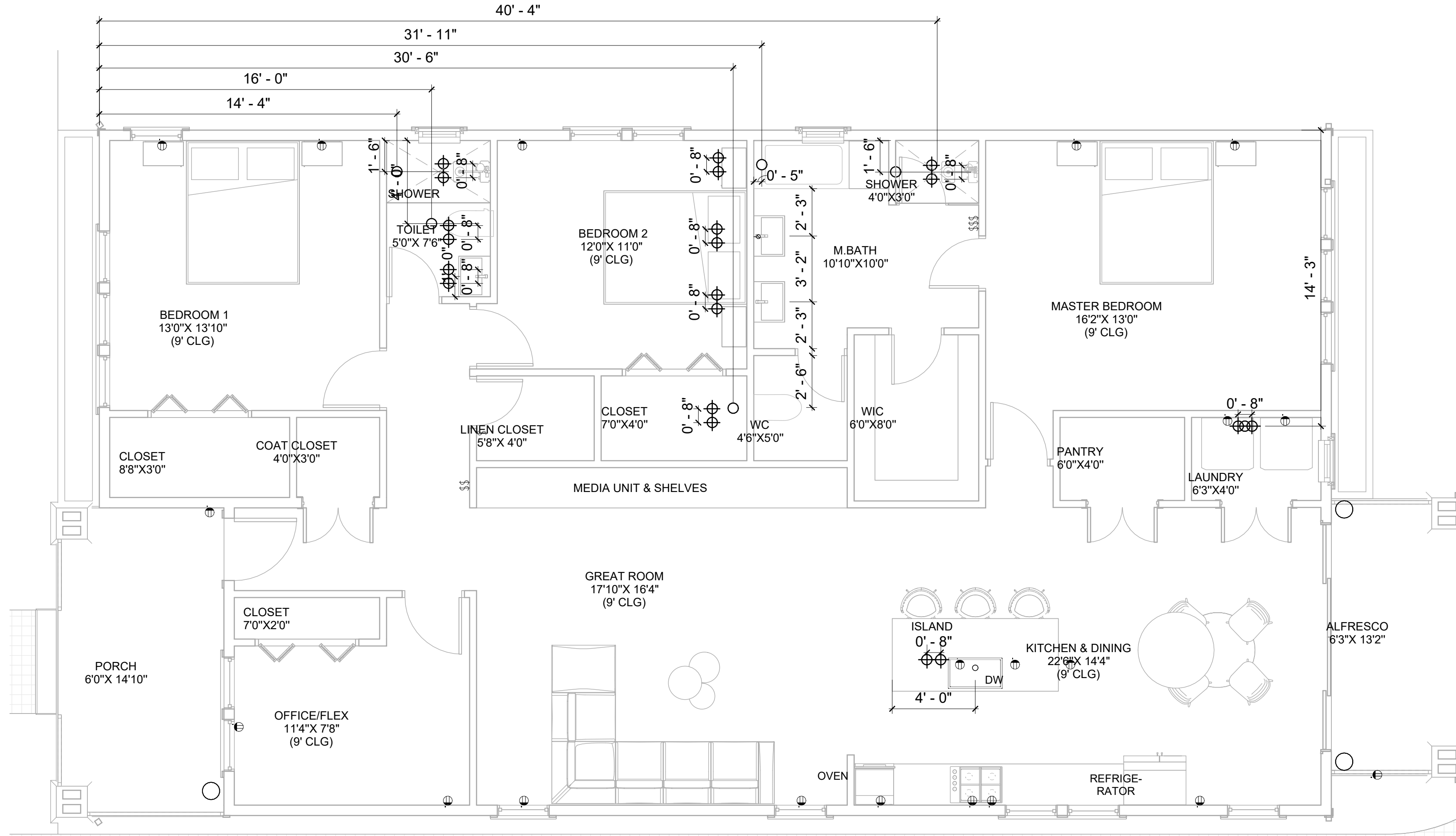
A.11



- GENERAL MECHANICAL NOTES**
- COORDINATE THERMOSTAT LOCATIONS IN FIELD.
 - COORDINATE DRYER VENT LENGTH AND TERMINATION LOCATIONS IN FIELD AND INSTALL PER DRYER MANUFACTURER REQUIREMENTS. WHERE THE DRYER EXHAUST DUCT IS CONCEALED WITHIN THE BUILDING, THE EQUIVALENT LABEL OR TAG, THE LABEL OR TAG SHALL BE LOCATED WITHIN 6 FEET OF THE EXHAUST DUCT CONNECTION.
 - COORDINATE DUCT ROUTES WITH STRUCTURAL.
 - ALL DUCTWORK SHALL BE FLEXIBLE AND ACCORDING WITH CFM DEMAND.

- GENERAL PLUMBING NOTES**
- ALL PIPING SHALL BE ROUTED ABOVE CEILING UNLESS OTHERWISE INDICATED. ALL PIPING EXPOSED TO VIEW SHALL BE ROUTED AS HIGH AS POSSIBLE AND TIGHT TO THE UNDERSIDE OF STRUCTURE.
 - ALL PIPING SHALL BE CONCEALED IN WALLS AND BEHIND FIXED FURNISHINGS UNLESS OTHERWISE INDICATED.
 - EXPOSED PIPING IN FINISHED AREAS SHALL BE CHROME PLATED WITH CHROME PLATED ESCUTCHEON AT PIPE ENTRY TO FINISHED AREA.
 - SLEEVE OR CORE-DRILL FLOOR SLABS, WALLS, ETC. AS REQUIRED FOR PIPING AND FIRE-STOP OPENING AROUND PIPE. VERIFY LOCATION OF STRUCTURAL BEAMS, JOIST, ETC. BEFORE DRILLING.
 - ALL OPENINGS IN DRAINAGE AND/OR VENT SYSTEMS AS A RESULT OF INSTALLATION ROUGH-IN SHALL BE PROTECTED WITH A TEST PLUG THAT IS SECURELY LOCKED IN PLACE UNTIL FINAL FINISHED CONNECTIONS ARE INSTALLED.
 - WHEREVER FOUNDATION WALLS, OUTSIDE WALLS, ROOFS, ETC. ARE PENETRATED FOR INSTALLATION OF SYSTEMS, THEY SHALL BE PATCHED TO MATCH EXISTING CONSTRUCTION AND SEALED WEATHER TIGHT.
 - PROVIDE CLEANOUTS AT THE END OF EACH HORIZONTAL RUN AND AT THE BASE OF ALL VERTICAL WASTE AND DRAIN PIPES. CLEANOUTS SHALL BE OF THE SAME SIZE AS THE PIPES THEY SERVE.
 - ACCESS PANELS SHALL BE PROVIDED WHERE CONCEALED CONTROL DEVICES, VALVES, ETC. ARE CONCEALED WITHIN WALLS, WHERE ACCESS FOR ADJUSTMENT AND MAINTENANCE IS POSSIBLE THROUGH LAY-IN SUSPENDED CEILINGS, ACCESS PANELS ARE NOT REQUIRED.
 - ALL PIPING SHALL BE RUN PARALLEL TO BUILDING LINES AND SUPPORTED AND ANCHORED AS REQUIRED TO FACILITATE EXPANSION AND CONTRACTION.
 - INSTALL ALL PIPING AS REQUIRED TO MEET ALL CONSTRUCTION CONDITIONS AND TO ALLOW FOR INSTALLATION OF OTHER WORK INCLUDING DUCTS AND ELECTRICAL CONDUIT.
 - PROVIDE AN ISOLATING, DIELECTRIC UNION AT ALL CONNECTIONS BETWEEN FERROUS AND NONFERROUS PIPING.
 - PROVIDE ALL FITTINGS, ACCESSORIES, OFFSETS, AND MATERIALS NECESSARY TO FACILITATE THE PLUMBING SYSTEM'S FUNCTIONING AS INDICATED BY THE DESIGN AND THE EQUIPMENT INDICATED.
 - COORDINATE LOCATION OF FLOOR DRAINS IN MECHANICAL ROOMS WITH MECHANICAL EQUIPMENT.

01 FIRST FLOOR PLAN-HVAC ROUGH
1/4" = 1'-0"

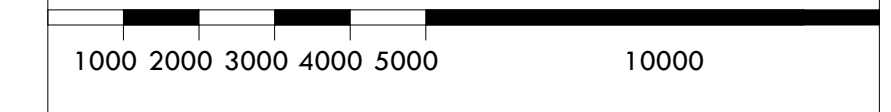


02 FIRST FLOOR PLAN-PLUMBING
1/4" = 1'-0"

PROJECT CONSULTANT :

PROJECT DETAIL :
3919 WALDRON AVE DALLAS TX

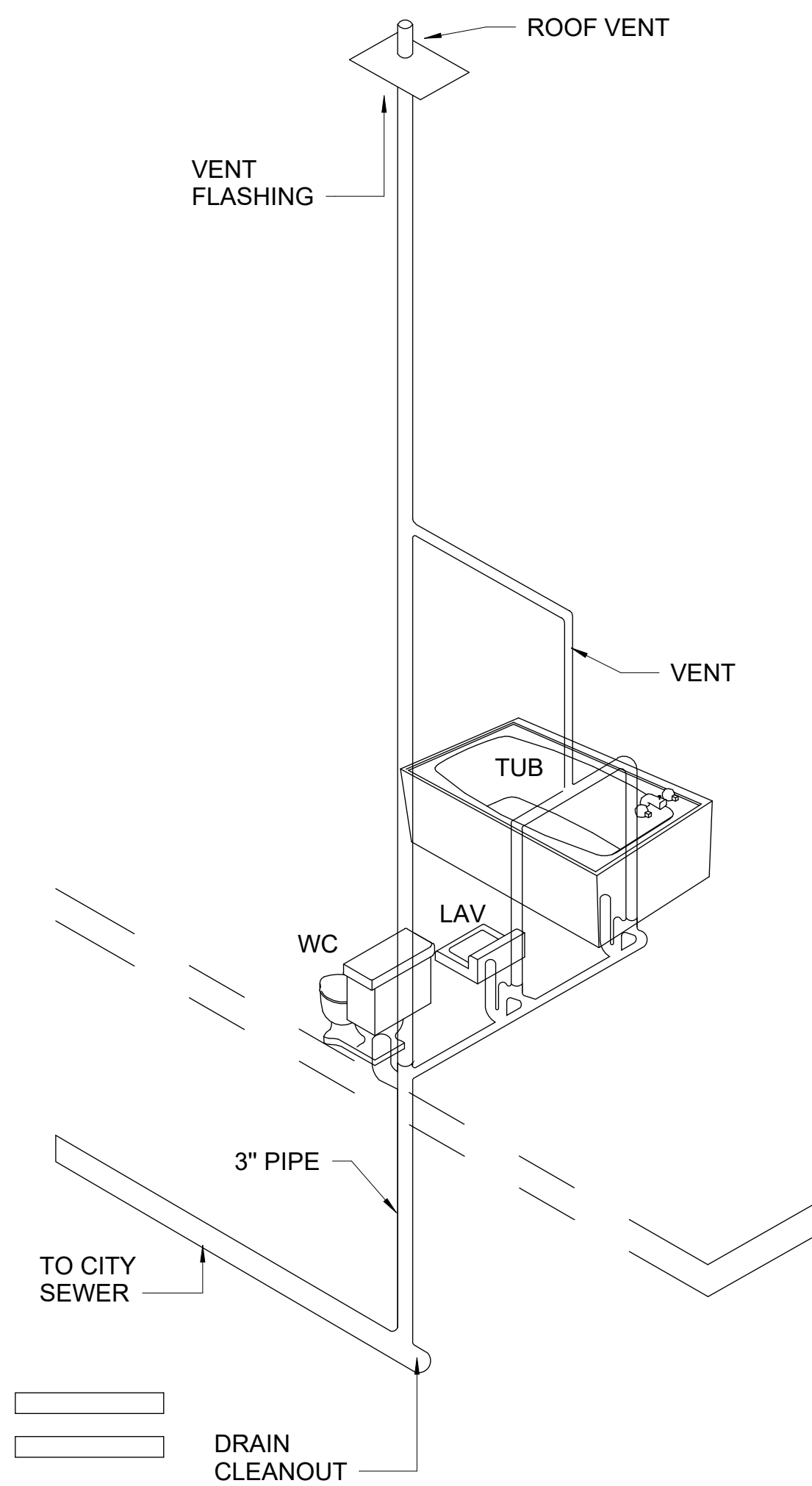
SHEET NAME :
FIRST FLOOR PLAN-HVAC & PLUMBING



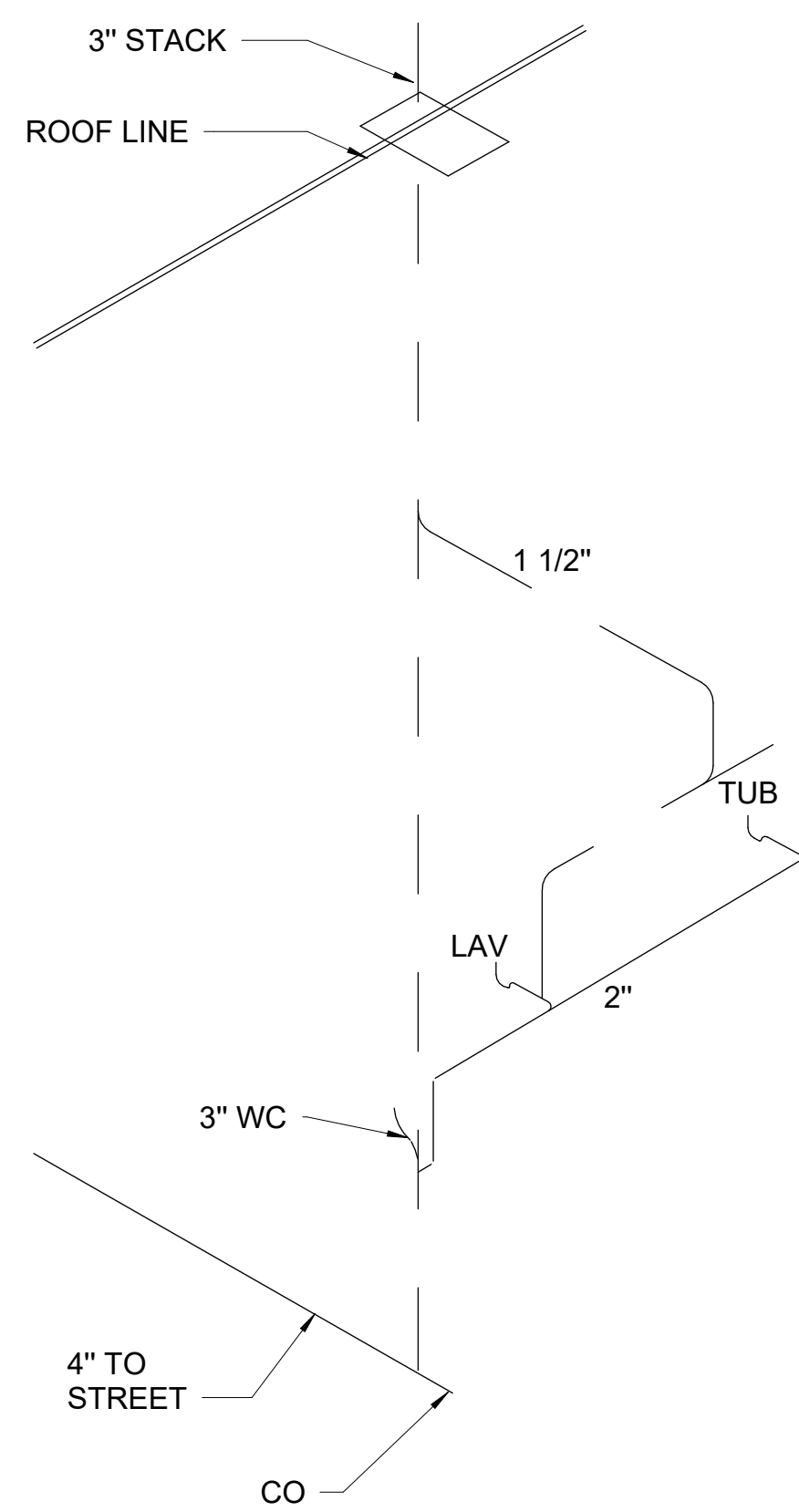
SCALE : 1/4" = 1'-0"

10 DECEMBER 2025

A.12



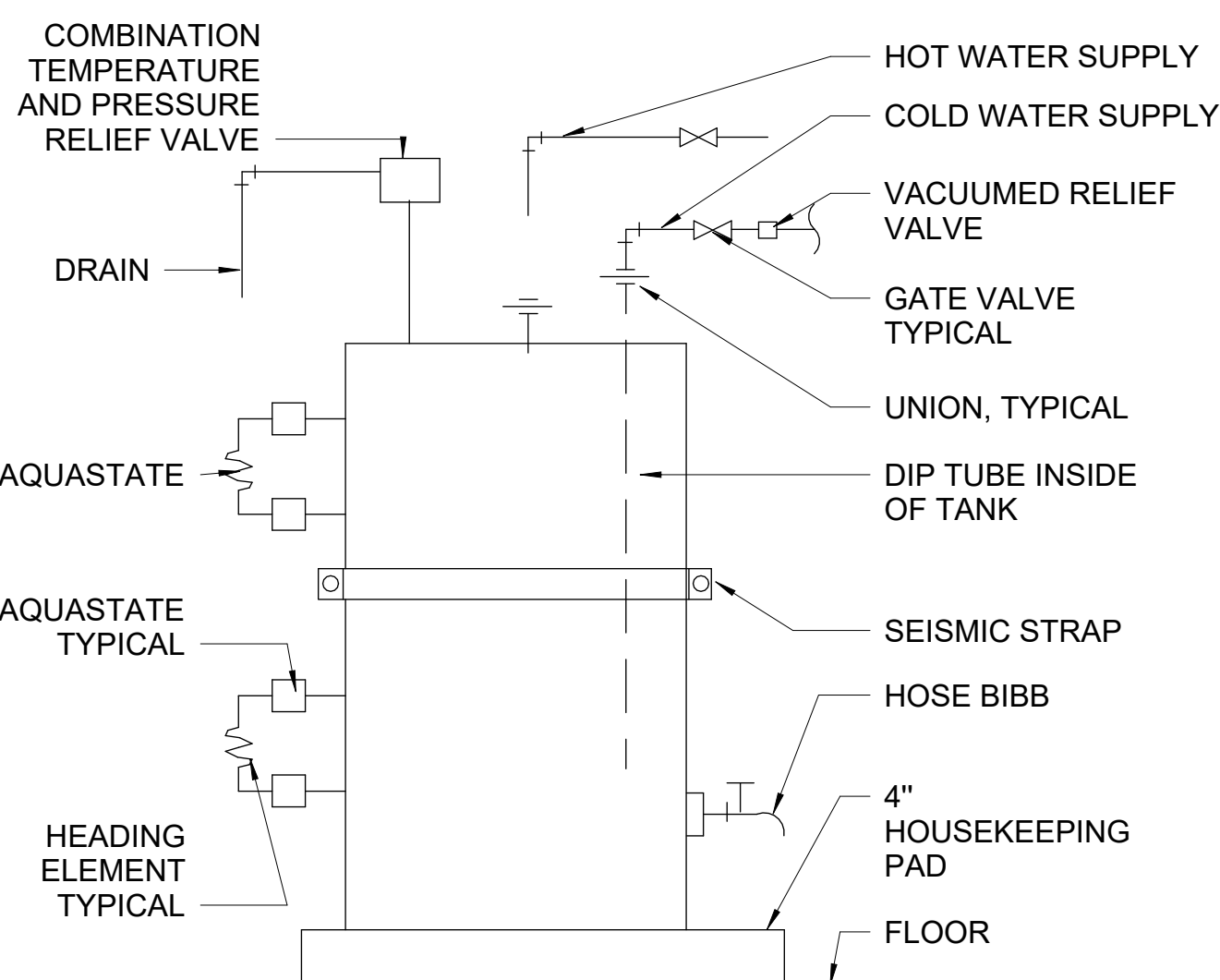
TYP. PLUMBING RISER
N.T.S.



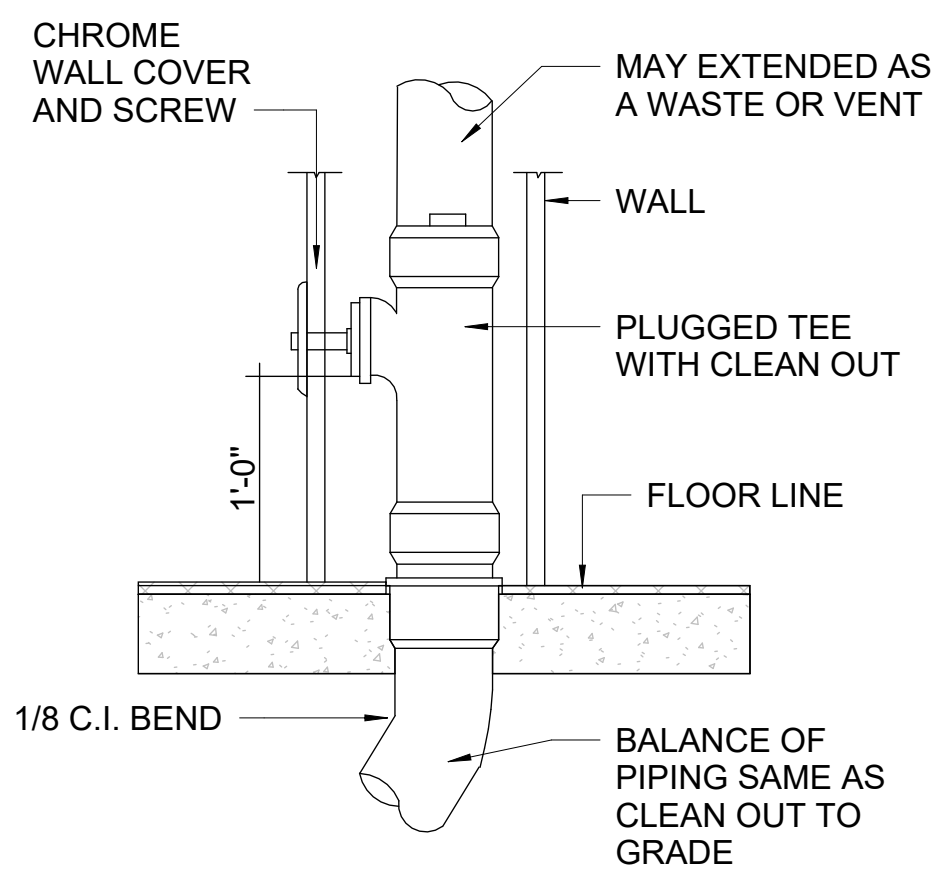
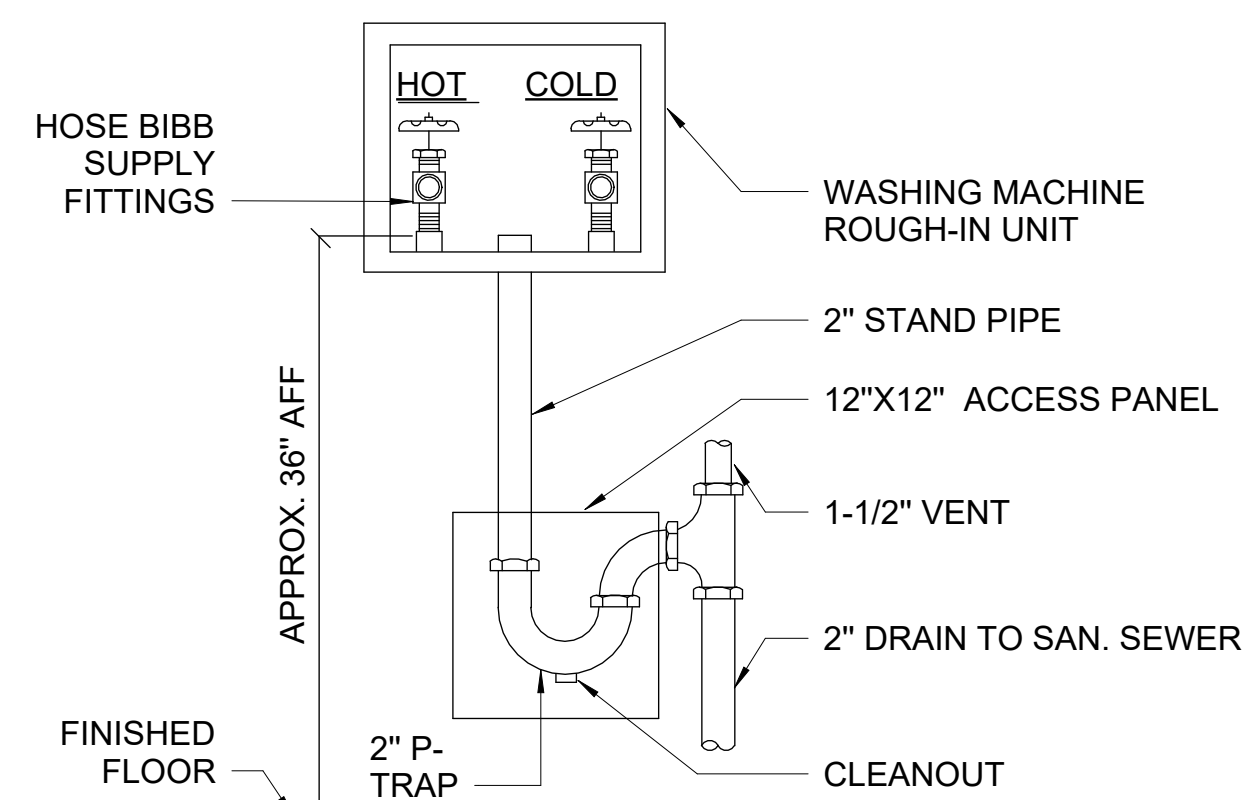
NOTE TO CONTRACTOR :

N.S.P.C. 10.16.7 REQUIRED: WHERE A HOT WATER STORAGE TANK OR INDIRECT WATER HEATER IS LOCATED AT AN ELEVATION ABOVE THE FIXTURE OUTLETS IN THE SYSTEM A VACUUM RELIEF VALVE SHALL BE INSTALLED ON THE STORAGE TANK.

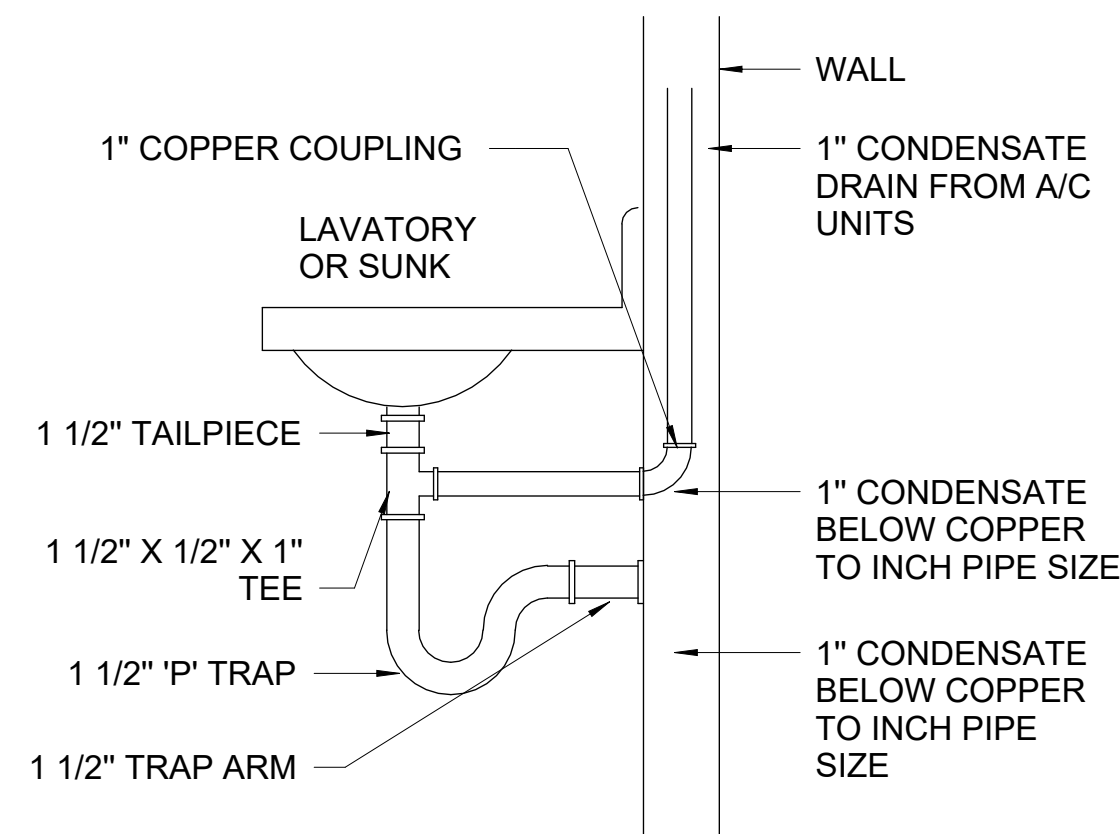
WATER HEATER DETAIL
N.T.S.



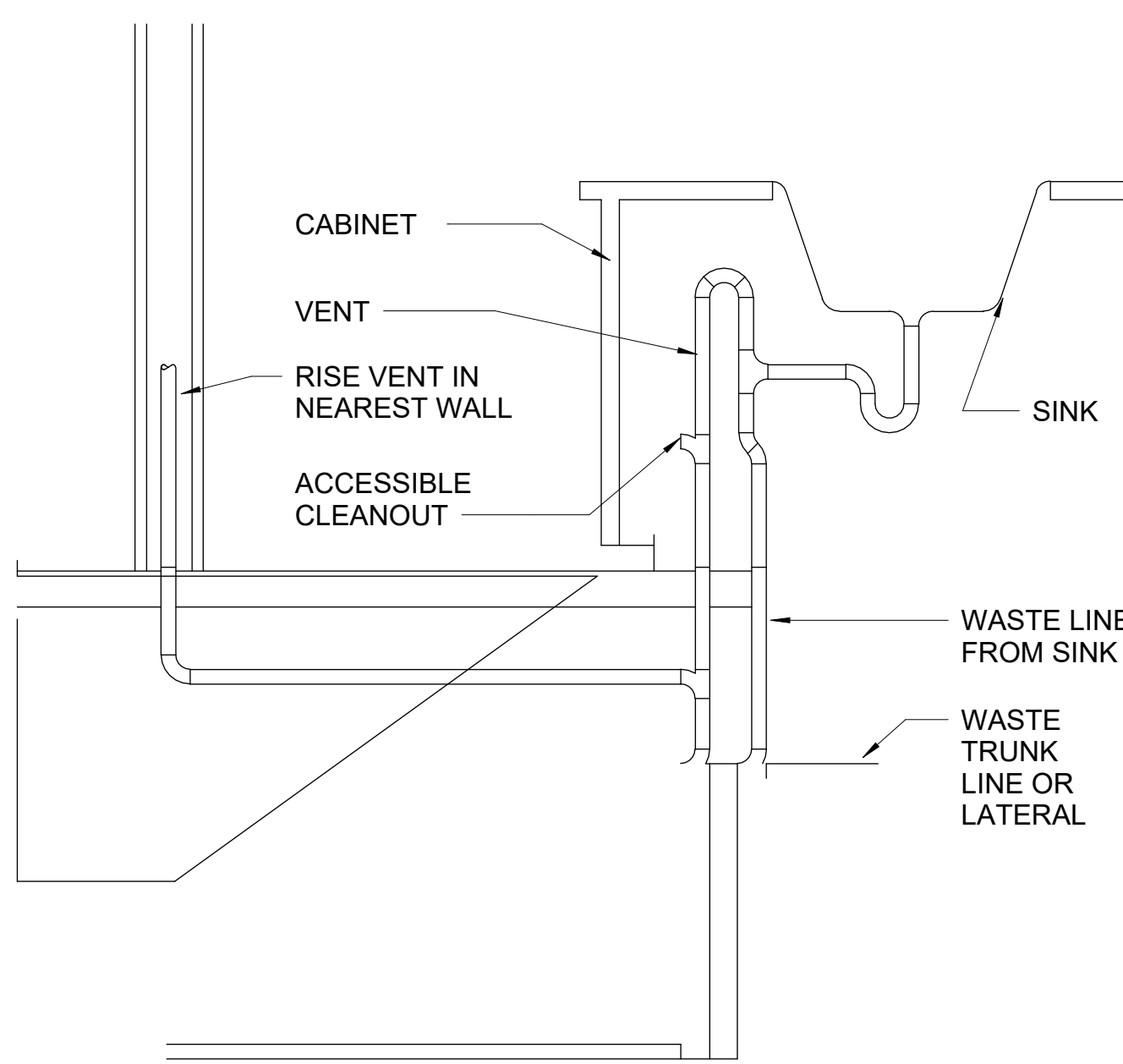
WASHING MACHINE HOOK-UP DETAIL
N.T.S.



TYP. WALL CLEANOUT
N.T.S.



TYP. WALL CLEANOUT
N.T.S.

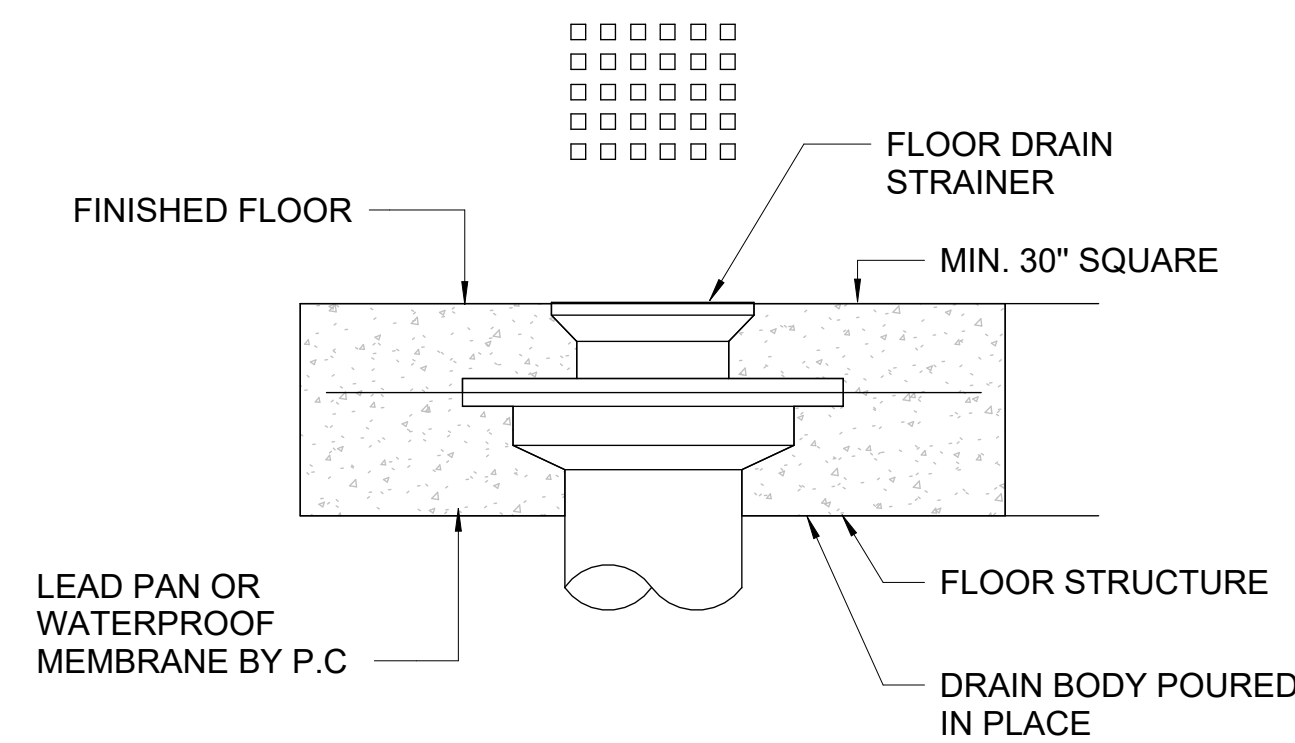


ISLAND PLUMBING DETAIL
N.T.S.

GENERAL PLUMBING NOTES

- 1. WATER EFFICIENCY:**
 1.1. ALL LAV. FAUCETS TO HAVE AN AVERAGE FLOW OF 2.0 GAL./MIN. OR LOWER
 1.2. SHOWER HEADS TO HAVE AN AVERAGE FLOW OF 2.0 GAL./MIN. OR LOWER
 1.3. ALL TOILETS TO BE 1.3 GAL./PER FLUSH OR DUAL FLUSH OR WATER SENSE
- 2. STORM WATER:**
 2.1. 70% OF NON-ROOF AREA MUST BE LANDSCAPED, HAVE PERMEABLE PAVING AND SLOPED FOR RUNOFF TO FILTRATION FEATURE.
- 3. POLY SEAL:**
 3.1. WINDOWS AND DOORS MUST BE SEALED WITH FOAM OR CAULK 3.1.
 3.2. SILL PLATE MUST BE SEALED ON THE INSIDE WITH FOAM OR CAULK 3.2.
 3.2. ALL PENETRATIONS OF TOP PLATE/CEILING INTO ATTIC, MUST BE SEALED WITH FOAM OR CAULK
 3.4. ALL WALL PENETRATIONS TO THE EXTERIOR MUST BE SEALED WITH FOAM OR CAULK
 3.5. BLOWER DOOR TESTING IS MANDATORY. NOT TO EXCEED 4 AIR CHANGES PER HOUR AT 50 PASCALS
 3.6. DUCT TIGHTNESS TESTING IS MANDATORY. TESTED AT 25 PASCALS, TOTAL LEAKAGE, LESS THAN OR EQUAL TO 4 FT³/MIN PER 100 SQUARE FOOT OF CONDITIONED FLOOR AREA
 3.6.1. EXCEPT, WHEN THE DUCTS AND AIR HANDLERS ARE ENTIRELY WITHIN THE BUILDING THERMAL ENVELOPE.
- 4. INSULATION:**
 4.1. 2:12 OR GREATER SLOPED ROOFS MUST BE ENERGY STAR QUALIFIED OR MAY USE A RADIANT BARRIER OR USE SPRAY FOAM INSULATION AT THE ROOF DECK OR BE A VEGETATED ROOF
 4.2. ALL PIER AND BEAM/RAISED FLOORS MUST BE INSULATED WITH R-19 INSULATION OR HIGHER
 4.2.1. EXCEPT, UNVENTED CRAWL SPACE WALLS MUST BE INSULATED R-5 CONTINUOUS OR R-13 CAVITY INSULATION, WITH VAPOR BARRIER OVER EXPOSED EARTH
 4.3. ALL EXTERIOR WALLS MUST BE INSULATED WITH R-20 CAVITY OR R-13 CAVITY WITH R-5 CONTINUOUS INSULATION OR HIGHER.
 4.4. CEILINGS MUST BE INSULATED WITH R-49 IF THERE IS ATTIC SPACE AND R-30 IF NO ATTIC SPACE (CATHEDRAL) AND THAT IS LIMITED TO 500 SQ. FT. TOTAL OR 20% OF CEILING WHICHEVER IS LESS
 4.5. ATTIC ACCESS LADDERS AND OR HATCHES, MUST BE INSULATED THE SAME AS THE ATTIC AND HAVE A WEATHER SEAL
- 5. HVAC/SERVICE WATER:**
 5.1. ALL DUCTS IN UNCONDITIONED SPACE/ATTICS MUST USE R-8 DUCTING
 5.2. MECHANICAL SYSTEM PIPING CARRYING FLUID OVER 104° OR BELOW 55° MUST BE INSULATED WITH R-13 INSULATION
- 6. WINDOWS AND DOORS:**
 6.1. MUST HAVE A U-FACTOR OF 32 OR LESS
 6.2. MUST HAVE A SHGC OF 25 OR LESS
- 7. LIGHTING:**
 7.1. ALL CAN LIGHTS MUST BE AIR-TIGHT TYPE
 7.2. MINIMUM OF 75% OF LIGHTING MUST BE HIGH EFFICIENCY (ANYTHING BUT INCANDESCENT).

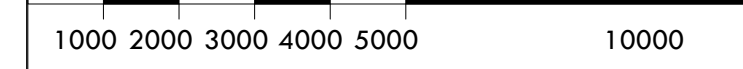
FLOOR DRAIN DETAIL
N.T.S.



PROJECT CONSULTANT :

PROJECT DETAIL :
3919 WALDRON AVE DALLAS TX

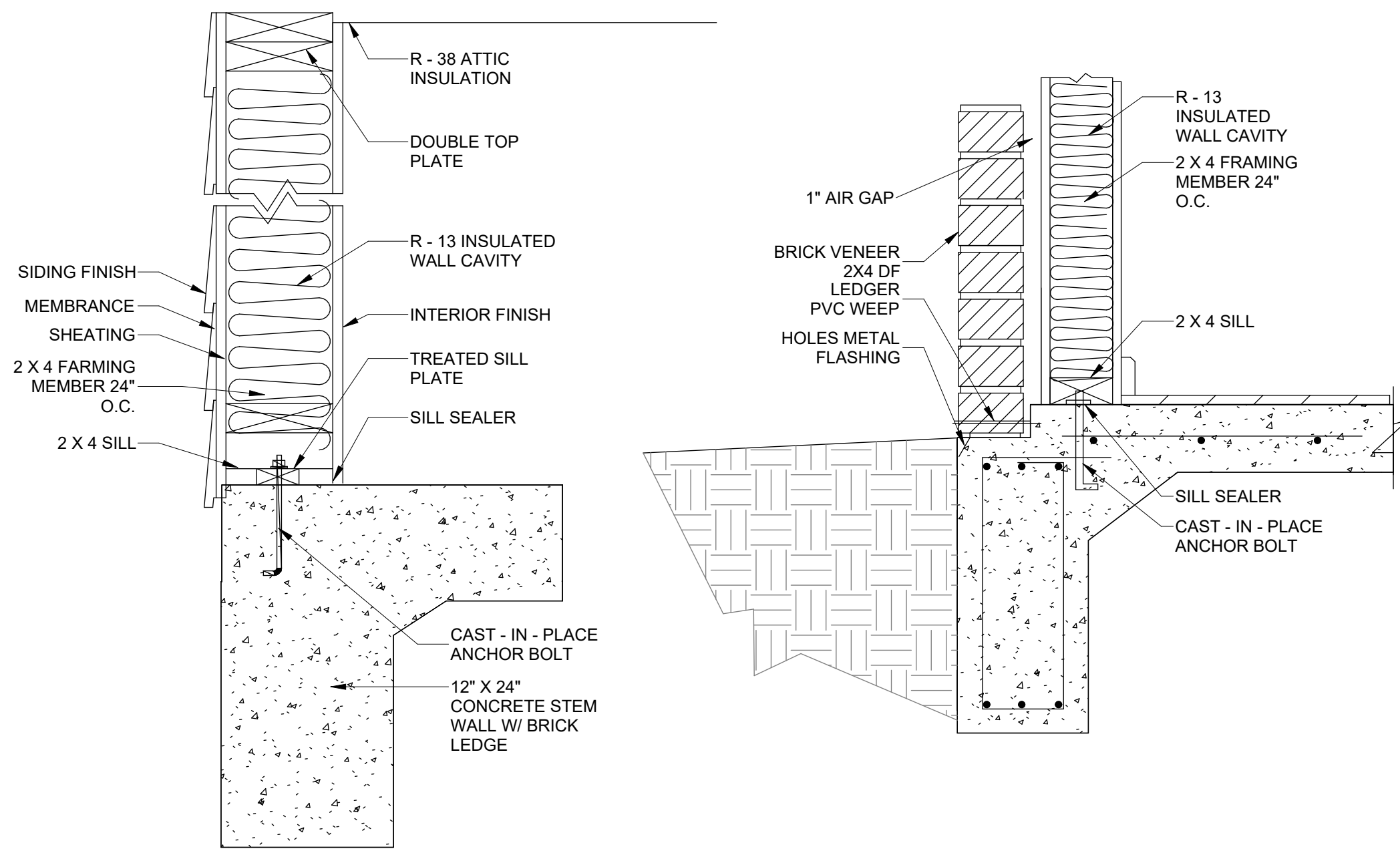
SHEET NAME :
PLUMBING DETAILS



SCALE : 1/4" = 1'-0"

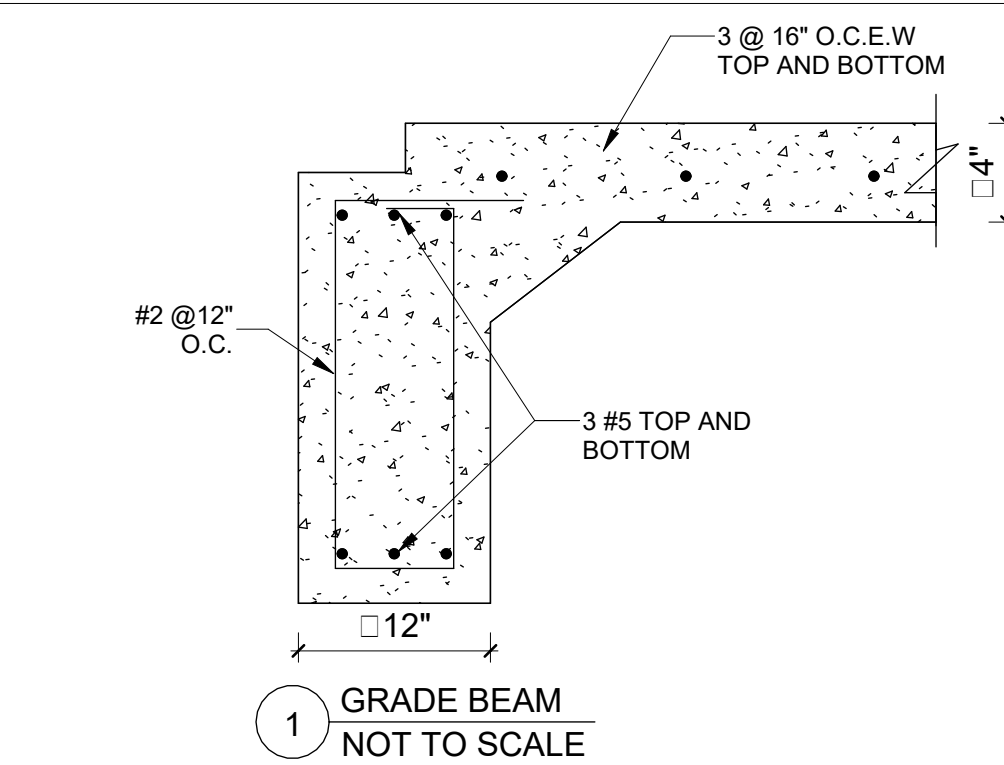
10 DECEMBER 2025

A.13

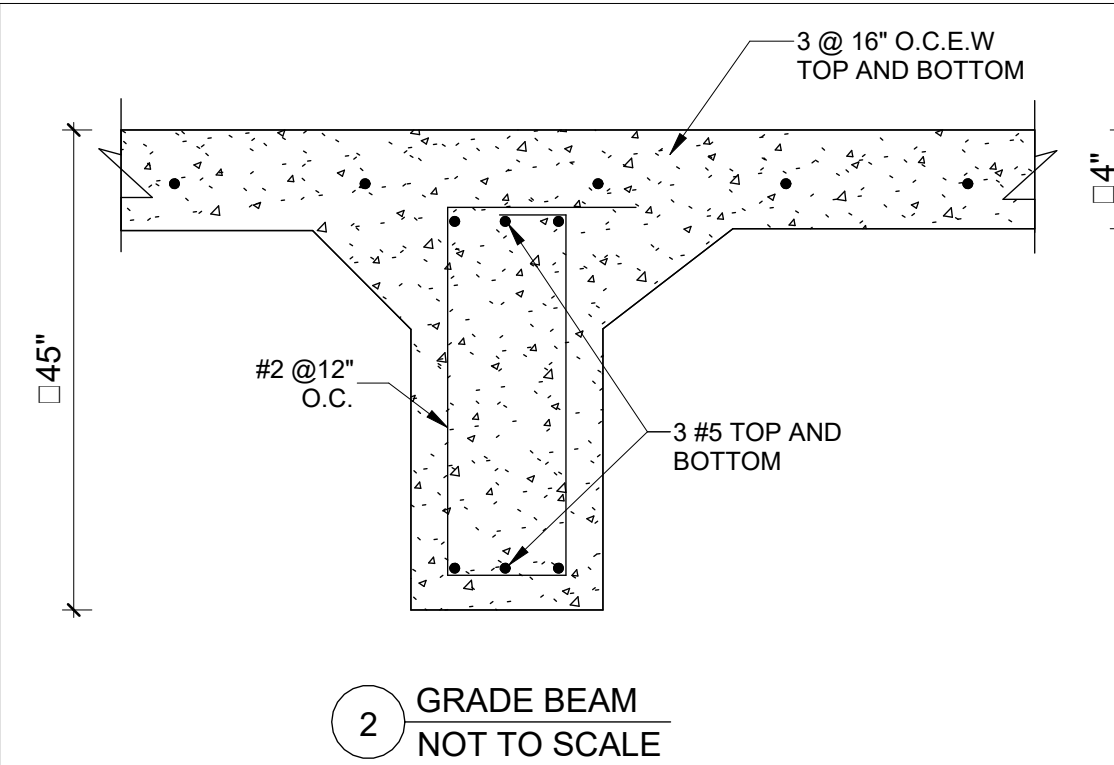


24" CONCRETE STEM WALL W SIDING

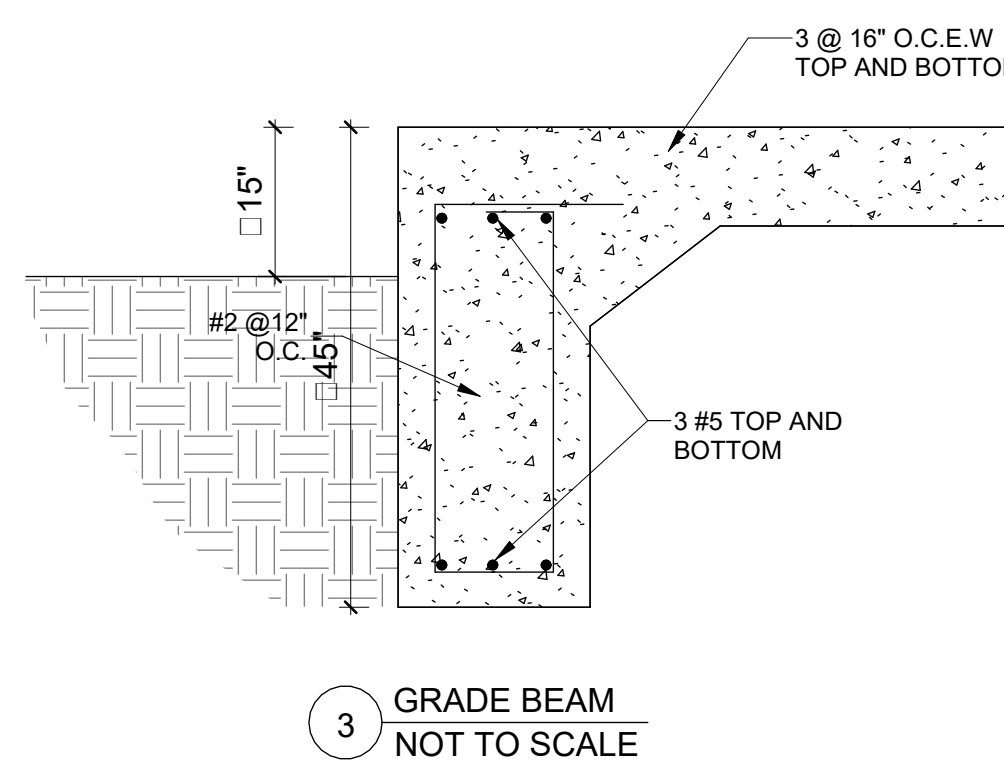
ALL FOOTINGS TO REST ON CLEAN, FIRM UNDISTURBED SOIL. STEP FOOTINGS A REQUIRED TO MAINTAIN REQUIRED DEPTH



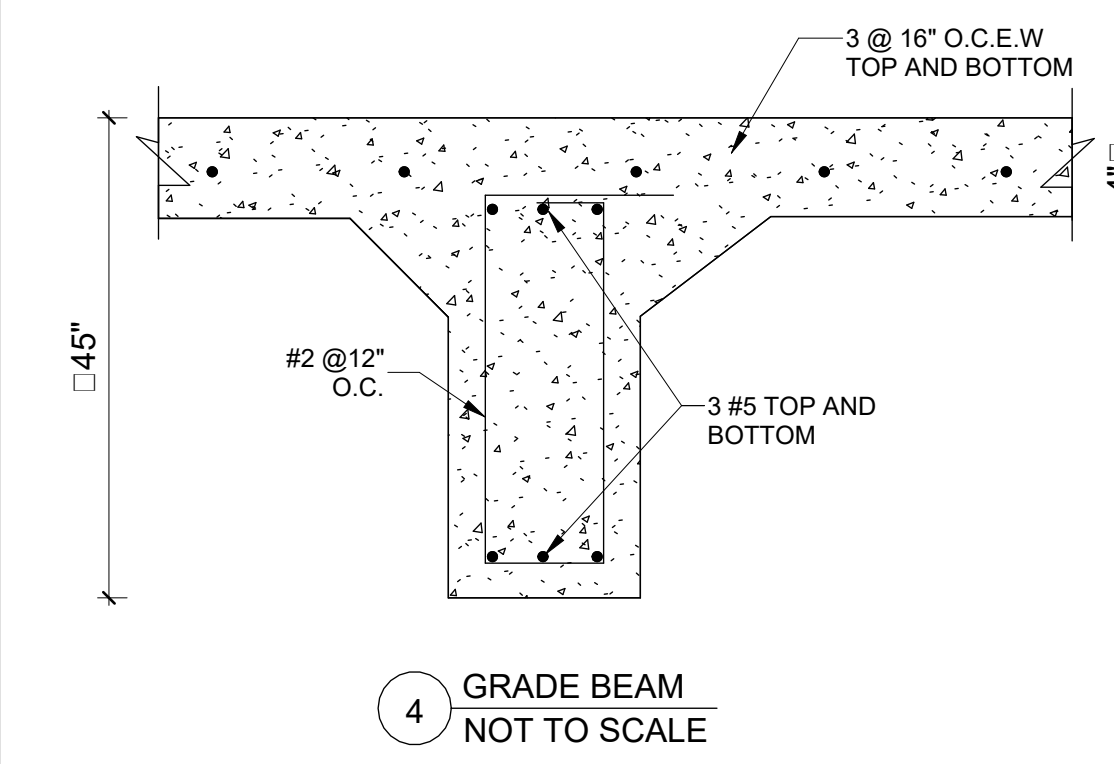
1 GRADE BEAM NOT TO SCALE



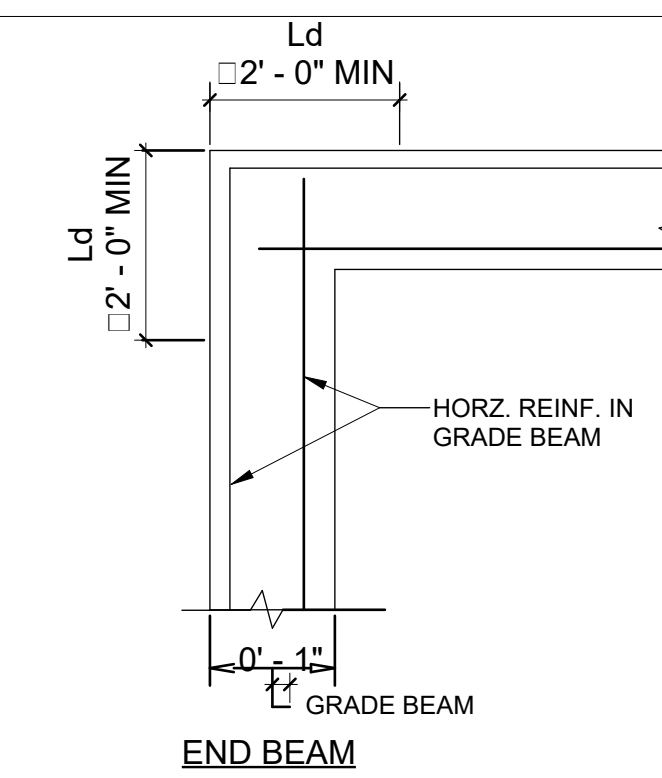
2 GRADE BEAM NOT TO SCALE



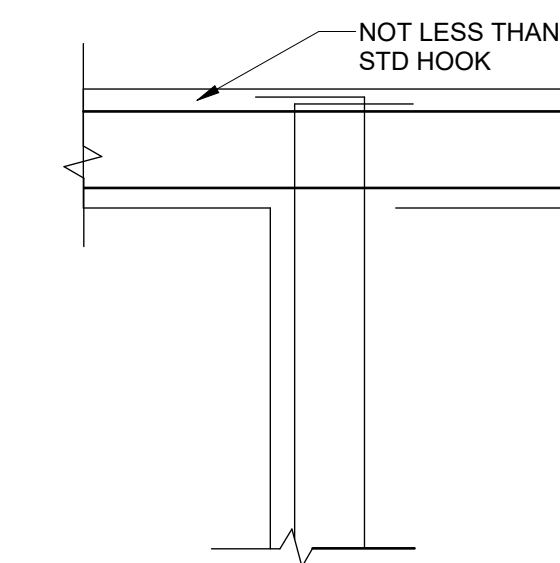
3 GRADE BEAM NOT TO SCALE



4 GRADE BEAM NOT TO SCALE



5 TYPICAL CORNER BAR DETAIL NOT TO SCALE



5 TYPICAL CORNER BAR DETAIL NOT TO SCALE

GENERAL NOTES

THE FOUNDATION DESIGN IS BASED ON THE SOIL SURVEY OF DALLAS COUNTRY.

DESIGN SPECIFICATIONS SLAB: SLAB IS TO BE 4" THICK, UNLESS OTHERWISE (U.N.O) SEE PLAN FOR REINFORCEMENT BEAMS: ALL BEAMS ARE TO BE 10" WIDE BY 27" DEEP (U.N.O)

ANCHOR BOLTS: THE WOOD SOLE PLATE AT EXTERIOR WALLS SHALL BE ANCHORED TO THE FOUNDATION WITH 1/2" DIAMETER ANCHOR BOLT SPACED AT 6" (MAXIMUM) OFF CENTER THERE SHALL BE A MINIMUM OF TWO BOLTS PER PLATE SECTIONS. THESE BOLTS SHALL EXTEND A MINIMUM OF 7" INTO THE FOUNDATION AND SHOULD BE PROJECT ABOVE THE FOUNDATION TO ALLOW FOR THE INSTALLATION OF THE SOLE PLATE, WASHER AND NUTS (APPROXIMATELY 2 - 1/2"). IN THE LOCATIONS WHERE AN ANCHOR BOLT ENCOUNTERS CLEARANCE ISSUES, AND IN CASES WHERE A BOLT HAS BEEN OMITTED OR DISABLED, FOUR POWDER ACTUATED FASTENERS DRIVEN THROUGH THE SOLE PLATE POWER DRIVEN FASTENERS OR CONCRETE NAILS MAY BE USED IN LIEU OF ANCHOR BOLTS WHERE THESE SYSTEMS HAVE BEEN TESTED AND APPROVED BY THE IRC 2015.

INTERIOR BEARING WALLS SOLE PLATE ON MONOLITHIC SLAB FOUNDATION SHALL BE POSITIVELY ANCHORED WITH APPROVED FASTENERS. SILLS AND SOLE PLATES SHOULD BE PROTECTED AGAINST DECAY AND TERMITES WHERE REQUIRED BY SECTION R318 OF THE 2003 INTERNATIONAL BUILDING CODE. COLD FORMED STEEL FRAMING SHALL BE FASTENED TO THE WOOD SILL PLATED OR ANCHORED DIRECTLY TO THE FOUNDATION AS REQUIRED IN SECTION R505.3.1 AND R603.1.1.

FOUNDATION NOTES

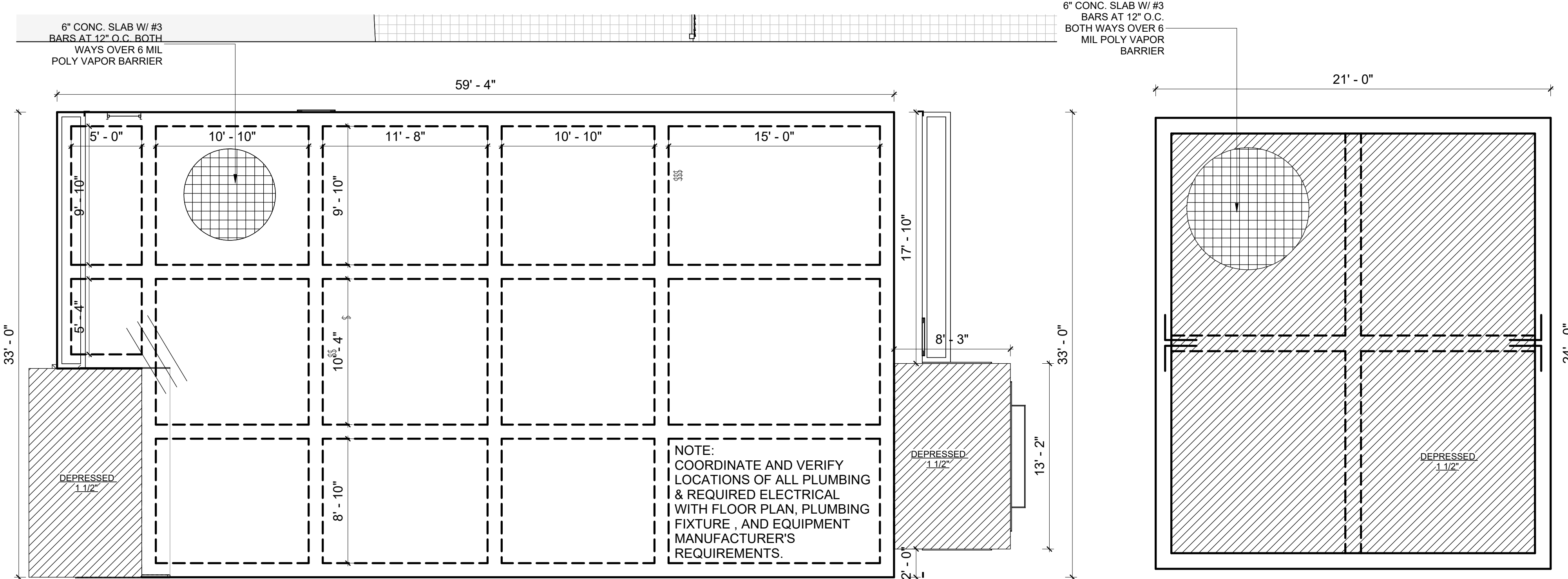
ALL FOOTINGS TO REST ON CLEAN, FIRM UNDISTURBED SOIL. STEP FOOTINGS A REQUIRED TO MAINTAIN REQUIRED DEPTH BELOW FINISH GRADES. CONCRETE STRENGTH, 3,500 PSI AT 28 DAYS FOR ALL SLABS. (FOUNDATION DESIGN BASED ON 2,500 PSI), 3,500 PSI AT 28 DAYS FOR ALL OTHER CONDITION. MAXIMUM SLUMP, 4" USE ASTM A - 615 GRADE 60 DEFORMED REINFORCING BARS UNLESS NOTED OTHERWISE CONCRETE EXPANSION ANCHORS SHALL BE 'SIMPSON WEDGE - ALL STUD ANCHORS' OR ENGINEER APPROVED EQUAL.

EPOXY TO BE SIMPSON "SET" ADHESIVE OR APPROVED EQUAL. INFILTRATION, ALL OPENINGS IN THE EXT. BLDG. ENVELOPE SHALL BE SEALED AGAINST AIR INFILTRATION.

- THE FOLLOWING AREAS MUST BE SEALED.
- JOINTS AROUND WINDOW AND DOOR FRAMES.
 - JOINTS BETWEEN WALL CAVITY AND WINDOW / DR. FME.
 - JOINTS BETWEEN WALL AND WINDOW.
 - JOINTS BETWEEN WALL AND ROOF.
 - JOINTS BETWEEN WALL PANELS.
 - UTILITY PENETRATIONS THROUGH EX

FOUNDATION NOTES (PIER)

1. REFER TO GENERAL NOTES ON A7.3 FOR ADDITIONAL INFORMATION
2. REFER TO SHEET A7.4 FOR TYPICAL FOUNDATION DETAILS AND SECTIONS.
3. ALL PERIMETER BEAMS SHALL BE 10" W. X 24" D., TYP.
4. ALL CONCRETE CYLINDRICAL PEARS SHALL BE 12" DIA. X 36" D., TYP.
5. BOTTOM OF ALL BEAMS SHALL EXTEND 18" INTO UNDISTURBED SOIL OR BEAR ON ENGINEERED FILL.
6. BOTTOM OF ALL PIERS SHALL BE EXTEND 24" INTO UNDISTURBED SOIL OR BEAR ON ENGINEERED BACK FILL.
7. DEAD END BEAMS ARE NOT ACCEPTABLE.
8. PLACE A 10 MIL POLYETHYLENE VAPOR BARRIER UNDER BEAM THROUGHOUT.
9. REFER TO ARCHITECTURAL, MECHANICAL, AND PLUMBING FOR LOCATIONS REGARDING OPENINGS, DRAINS, OR MISC. FLOOR PENETRATIONS.



01 FOUNDATION LEVEL 3/16" = 1'-0"

2 FOUNDATION LEVEL (GARAGE) 1/4" = 1'-0"

PROJECT CONSULTANT :

PROJECT DETAIL :
3919 WALDRON AVE DALLAS TX

SHEET NAME :
FOUNDATION DETAILS

SCALE : As indicated

10 DECEMBER 2025

A.14



PROJECT CONSULTANT :

PROJECT DETAIL :
3919 WALDRON AVE DALLAS TX

SHEET NAME :
DAY VIEWS

1000 2000 3000 4000 5000 10000

SCALE :

10 DECEMBER 2025

A.15



PROJECT CONSULTANT :

**PROJECT DETAIL :
3919 WALDRON AVE DALLAS TX**

**SHEET NAME :
NIGHT VIEWS**

1000 2000 3000 4000 5000 10000

SCALE :

10 DECEMBER 2025

A.16



PROJECT CONSULTANT :

PROJECT DETAIL :
3919 WALDRON AVE DALLAS TX

SHEET NAME :
SITE VIEW

1000 2000 3000 4000 5000 10000

SCALE :

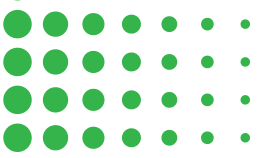
10 DECEMBER 2025

A.17

SPECIFICATIONS

3919 WALDRON ST

NEW CONSTRUCTION RESIDENTIAL



Paint

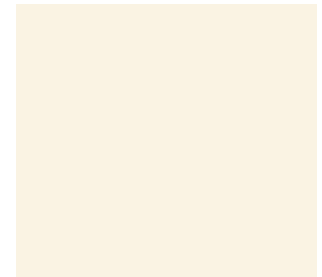
Primary Color

Benjamin Moore Rockport Gray HC-105



Trim Color

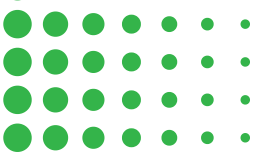
Benjamin Moore Cream Froth OC-97



Accent Color

Benjamin Moore Springfield Tan AC-5





Brick - Porch Columns

Material

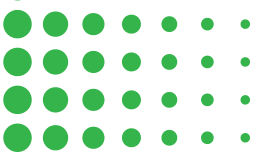
Brick, Modular Size



Color/Type

Alluvial Light Ruff Texture





Siding

Material

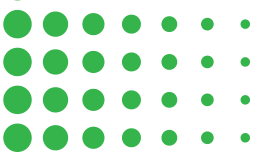
Wood Siding



Color/Type

1/2" x 6" Clear Yellow Pine





Windows

Material

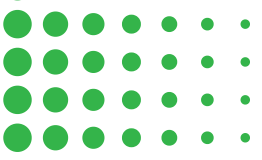
White Fiberglass Frame



Color/Type

White Fiberglass Frame, Double Pane Glass with Screen





Roof Shingles

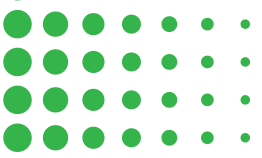
Material

Composite Shingles

Color/Type

Charcoal





Front Door

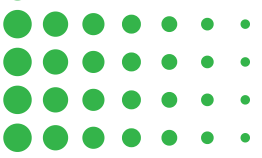
Material

Craftsman, Multi-Panel Wood

Color/Type

Paint: Benjamin Moore Cream Froth OC-97





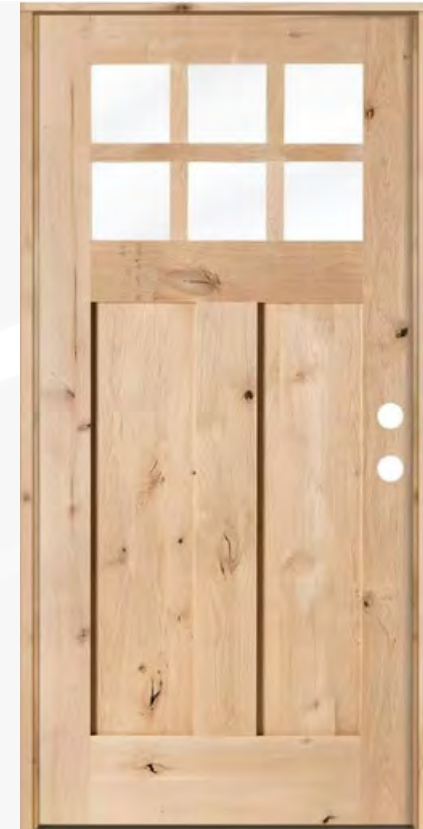
Rear Door

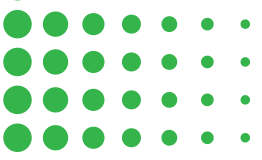
Material

Craftsman, Single-Panel Wood

Color/Type

Paint: Benjamin Moore Cream Froth OC-97





Garage Door

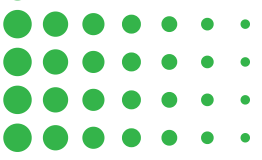
Material

Steel

Color/Type

Paint: Benjamin Moore Cream Froth OC-97





Lighting - Porch

Material

Aluminum

Color/Type

Matt Bronze LED Outdoor Wall

