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CITY SECRETARY
DALLAS, TEXAS



City of Dallas

LANDMARK COMMISSION
REGULAR MEETING

Public Notice

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POSTED CITY SECRETARY
DALLAS, TX

June 3, 2024, Briefing at 10:00 A.M. and the Public Hearing at 1:00 P.M.
Dallas City Hall, 6ES Council Briefing Room and Videoconference

Video Conference: (25015861539@dallascityhall.webex.com)

Telephone: (408) 418-9388, Access Code: 2501 586 1539

Password: JuneLMC24 (58635622 when dialing from a phone or video system)

The City of Dallas will make "Reasonable Accommodations" to programs and/or other related activities to ensure all residents have access to services and resources to ensure an equitable and inclusive meeting. Anyone requiring auxiliary aid, service, and/or translation to fully participate in the meeting should notify the Board Coordinator by calling (214) 670-4206 or TTY (800) 735-2989, at least seventy-two (72) hours (3 days) in advance of the scheduled meeting. A video stream of the meeting will be available two business days after adjournment by visiting <https://dallascityhall.com/government/Pages/Live.aspx>.

La Ciudad de Dallas llevará a cabo "Adaptaciones Razonables" a los programas y/u otras actividades relacionadas para garantizar que todos y cada uno de los residentes tengan acceso a los servicios y recursos para garantizar una reunión equitativa e inclusiva. Cualquier persona que necesite ayuda auxiliar, servicio y/o traducción para participar de forma plena en la reunión, debe notificar al Departamento llamando al (214) 670-1786 o TTY (800) 735-2989, por lo menos setenta y dos (72) horas (3 días) antes de la reunión programada. Una transmisión de video de la reunión estará disponible dos días hábiles luego del levantamiento de la reunión visitando <https://dallascityhall.com/government/Pages/Live.aspx>.

The public may listen to the meeting as an attendee at the following videoconference link:

<https://dallascityhall.webex.com/dallascityhall/j.php?MTID=m7e6b8225a46c3261549f13b8fadbe47e>

Individuals and interested parties wishing to speak must register with the Office of Historic Preservation by emailing Phyllis.hill@dallas.gov one hour prior to the meeting date start time.

AGENDA

- | | | |
|------|---|---------------------------------|
| I. | Call to Order | Evelyn Montgomery, Chair |
| II. | Public Speakers | |
| III. | Approval of Minutes | |
| | - May 6, 2024, regular meeting minutes | |
| IV. | Staff Reports/Briefings | Office of Historic Preservation |
| V. | Briefing Items | |
| | - Certificate of Eligibility (CE) Items | |
| | - Consent Items | |
| | - Courtesy Review Items | |
| | - Discussion Items | |
| VI. | Public Hearing | |
| VII. | Adjournment | |

Handgun Prohibition Notice for Meetings of Governmental Entities

"Pursuant to Section 30.06, Penal Code (trespass by license holder with a concealed handgun), a person licensed under Subchapter H, Chapter 411, Government Code (handgun licensing law), may not enter this property with a concealed handgun."

"De acuerdo con la sección 30.06 del código penal (ingreso sin autorización de un titular de una licencia con una pistola oculta), una persona con licencia según el subcapítulo h, capítulo 411, código del gobierno (ley sobre licencias para portar pistolas), no puede ingresar a esta propiedad con una pistola oculta."

"Pursuant to Section 30.07, Penal Code (trespass by license holder with an openly carried handgun), a person licensed under Subchapter H, Chapter 411, Government Code (handgun licensing law), may not enter this property with a handgun that is carried openly."

"De acuerdo con la sección 30.07 del código penal (ingreso sin autorización de un titular de una licencia con una pistola a la vista), una persona con licencia según el subcapítulo h, capítulo 411, código del gobierno (ley sobre licencias para portar pistolas), no puede ingresar a esta propiedad con una pistola a la vista."

"Pursuant to Section 46.03, Penal Code (places weapons prohibited), a person may not carry a firearm or other weapon into any open meeting on this property."

"De conformidad con la Sección 46.03, Código Penal (coloca armas prohibidas), una persona no puede llevar un arma de fuego u otra arma a ninguna reunión abierta en esta propiedad."

EXECUTIVE SESSION NOTICE

A closed executive session may be held if the discussion of any of the above agenda items concerns one of the following:

1. seeking the advice of its attorney about pending or contemplated litigation, settlement offers, or any matter in which the duty of the attorney to the City Council under the Texas Disciplinary Rules of Professional Conduct of the State Bar of Texas clearly conflicts with the Texas Open Meetings Act. [Tex. Govt. Code §551.071]
2. deliberating the purchase, exchange, lease, or value of real property if deliberation in an open meeting would have a detrimental effect on the position of the city in negotiations with a third person. [Tex. Govt. Code §551.072]
3. deliberating a negotiated contract for a prospective gift or donation to the city if deliberation in an open meeting would have a detrimental effect on the position of the city in negotiations with a third person. [Tex. Govt. Code §551.073]
4. deliberating the appointment, employment, evaluation, reassignment, duties, discipline, or dismissal of a public officer or employee; or to hear a complaint or charge against an officer or employee unless the officer or employee who is the subject of the deliberation or hearing requests a public hearing. [Tex. Govt. Code §551.074]
5. deliberating the deployment, or specific occasions for implementation, of security personnel or devices. [Tex. Govt. Code §551.076]
6. discussing or deliberating commercial or financial information that the city has received from a business prospect that the city seeks to have locate, stay or expand in or near the city and with which the city is conducting economic development negotiations; or deliberating the offer of a financial or other incentive to a business prospect. [Tex Govt . Code §551.087]
7. deliberating security assessments or deployments relating to information resources technology, network security information, or the deployment or specific occasions for implementations of security personnel, critical infrastructure, or security devices. [Tex Govt. Code §551.089]

CONSENT AGENDA

1. 4610 Swiss Ave

Peak's Suburban Addition Historic District
CE234-006(CM)
Christina Mankowski

Request:

A Certificate of Eligibility (CE) for a tax exemption on 100 percent of land and improvements for a period of ten years and approval of an estimated \$241,183 in expenditures to be spent on rehabilitation prior to the issuance of the Certificate of Eligibility.

Applicant: Martin, Kristen

Application Filed: 4/29/2024

Staff Recommendation:

Approval of the Certificate of Eligibility and approval of an estimated \$241,183 in expenditures to be spent on rehabilitation prior to the issuance of the Certificate of Eligibility.

2. 2821 Turtle Creek Blvd

King Mansion Historic District
CE234-007(CM)
Christina Mankowski

Request:

A Certificate of Eligibility (CE) for a tax exemption on three percent of land and improvements for a period of three years and approval of an estimated \$232,400 in expenditures to be spent on rehabilitation prior to the issuance of the Certificate of Eligibility.

Applicant: Coleman, Amanda

Application Filed: 4/25/2024

Staff Recommendation:

Approval of the Certificate of Eligibility and approval of an estimated \$232,400 in expenditures to be spent on rehabilitation prior to the issuance of the Certificate of Eligibility.

3. 2522 PARK ROW AVE

South Blvd/Park Row Historic District
CA234-343(MW)
Marcus Watson

Request:

A Certificate of Appropriateness to construct a new two-story single-family main structure and detached accessory structure.

Applicant: Noorizadeh, Nadia

Application Filed: 5/2/2024

Staff Recommendation:

That the request for a Certificate of Appropriateness to construct a new two-story single-family main structure and detached accessory structure be approved in accordance with drawings and materials dated 5/23/24 with the finding that while the proposed southwest side yard setback does not strictly meet the preservation criteria requirement of seven (7) feet, it is consistent with other surrounding buildings and is appropriate and compatible to the historic overlay district. The proposed work is otherwise consistent

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with preservation criteria Section 3(b)(1-8); the standards in City Code Section 51A-4.501(g)(6)(C)(ii) for noncontributing structures; and the Secretary of the Interior's Standards for Setting (District/Neighborhood).

Task Force Recommendation:

That the request for a Certificate of Appropriateness to construct a new two-story single-family main structure and detached accessory structure be approved. Comment: "Thank you to the applicant for incorporating all recommendations and conditions."

4. 366 S FLEMING AVE

Tenth Street Neighborhood Historic District
CA234-337(RD)
Rhonda Dunn

Request:

1. A Certificate of Appropriateness to construct a rear porch with stairs (all wood with railing) to replace missing rear porch.
2. A Certificate of Appropriateness to install stairs (all wood with railing) at south side entrance.
3. A Certificate of Appropriateness to install stairs (all wood with railing) and accessible ramp at east side entrance (second rear entrance).
4. A Certificate of Appropriateness to paint all stair railings and rear porch posts off white. (Color: Sherwin Williams "Classic Light Buff" -- SW0050)

Applicant: Gonzales, Jessica

Application Filed: 5/2/2024

Staff Recommendation:

1. That the request for a Certificate of Appropriateness to construct a rear porch with stairs (all wood with railing) to replace missing rear porch be approved in accordance with drawings and specifications dated 5/2/2024. The proposed work is consistent with preservation criterion Section (f) under Facades; the standards in City Code Section 51A-4.501(g)(6)(C)(i) for contributing structures; and the Secretary of the Interior's Standards for Rehabilitation.
2. That the request for a Certificate of Appropriateness to install stairs (all wood with railing) at south side entrance be approved in accordance with drawings and specifications dated 5/2/2024. The proposed work is consistent with preservation criterion Section (f) under Facades; the standards in City Code Section 51A-4.501(g)(6)(C)(i) for contributing structures; and the Secretary of the Interior's Standards for Rehabilitation.
3. That the request for a Certificate of Appropriateness to install stairs (all wood with railing) and accessible ramp at east side entrance (second rear entrance) be approved in accordance with drawings and specifications dated 5/2/2024. The proposed work is consistent with

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preservation criterion Section (f) under Facades; the standards in City Code Section 51A-4.501(g)(6)(C)(i) for contributing structures; and the Secretary of the Interior's Standards for Rehabilitation.

4. That the request for a Certificate of Appropriateness to paint all stair railings and rear porch posts off white (Color: Sherwin Williams "Classic Light Buff" -- SW0050) be approved in accordance with drawings and specifications dated 5/2/2024. The proposed work is consistent with preservation criterion Section (g) under Facades; the standards in City Code Section 51A-4.501(g)(6)(C)(i) for contributing structures; and the Secretary of the Interior's Standards for Rehabilitation.

Task Force Recommendation:

1. That the request for a Certificate of Appropriateness to construct a rear porch with stairs (all wood with railing) to replace missing rear porch be approved as submitted.
2. That the request for a Certificate of Appropriateness to install stairs (all wood with railing) at south side entrance be approved as submitted.
3. That the request for a Certificate of Appropriateness to install stairs (all wood with railing) and accessible ramp at east side entrance (second rear entrance) be approved as submitted.
4. That the request for a Certificate of Appropriateness to paint all stair railings and rear porch posts off white (Color: Sherwin Williams "Classic Light Buff" -- SW0050) be approved as submitted.

Request:

A Certificate of Appropriateness to paint the main structure (Body: SW0029 "Acanthus"; Trim: SW0050 "Classic Light Buff"; Sashes and Accent: SW2838 "Polished Mahogany" or SW6258 "Tricorn Black").

Applicant: Mackay, Alexander

Application Filed: 5/2/2024

Staff Recommendation:

That the request for a Certificate of Appropriateness to paint the main structure (Body: SW0029 "Acanthus"; Trim: SW0050 "Classic Light Buff"; Sashes and Accent: SW2838 "Polished Mahogany" or SW6258 "Tricorn Black") be approved in accordance with materials dated 5/14/24 with the condition that no brick or other masonry be painted. Implementation of the recommended condition would allow the proposed work to be consistent with preservation criteria Section 51P-87.111(a)(8); the standards in City Code Section 51A-4.501(g)(6)(C)(i) for contributing

5. 337 S EDGEFIELD AVE

Winnetka Heights Historic District
CA234-316(MW)
Marcus Watson

structures; and the Secretary of the Interior's Guidelines for Setting (District/Neighborhood).

Task Force Recommendation:

That the request for a Certificate of Appropriateness to paint the main structure (Option 1: Body - SW7008 "Alabaster"; Trim and Accent - SW6258 "Tricorn Black") or (Option 2: Body - SW7008 "Alabaster"; Trim - TBD; Accent - SW6258 "Tricorn Black") denied without prejudice. Need new color scheme add a third color to soften the contrast between black and white. Only use black as the accent. Paint trim and columns new color. (NOTE: The color scheme was revised by the applicant based on the task force recommendation.)

Request:

1. A Certificate of Appropriateness to remove all existing windows on the north, east, west, and south sides of the rear "tower" addition.
2. A Certificate of Appropriateness to install a sliding door on the east side of the rear "tower" addition.
3. A Certificate of Appropriateness to install a sliding door on the north side of the rear "tower" addition.
4. A Certificate of Appropriateness to replace two (2) historic windows on the south side of the main structure.
5. A Certificate of Appropriateness to install an additional window on the south side of the main structure to match existing.
6. A Certificate of Appropriateness to replace three (3) windows on the north side of the main structure.
7. A Certificate of Appropriateness to replace the asbestos siding on the north, east, west, and south sides of the "tower" addition, the rear of the main structure and part of the north side of the main structure with Hardie Shingle Staggered Panel.

Applicant: Peters Cates Design

Application Filed: 5/2/2024

Staff Recommendation:

1. That the request for a Certificate of Appropriateness to remove all existing windows on the north, east, west, and south sides of the rear "tower" addition be approved in accordance with drawings and materials dated 4/21/24 with the finding of fact that the proposed work is not visible from the public right-of-way. The proposed work is otherwise consistent with the standards in City Code Section 51A-4.501(g)(6)(C)(i) for contributing structures; and the Secretary of the Interior's Guidelines for Setting (District/Neighborhood).

6. 416 S CLINTON AVE

Winnetka Heights Historic District
CA234-348(MW)
Marcus Watson

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2. That the request for a Certificate of Appropriateness to install a sliding door on the east side of the rear "tower" addition be approved in accordance with drawings and materials dated 4/21/24 with the finding of fact that the proposed work is not visible from the public right-of-way. The proposed work is otherwise consistent with the standards in City Code Section 51A-4.501(g)(6)(C)(i) for contributing structures; and the Secretary of the Interior's Guidelines for Setting (District/Neighborhood).
3. That the request for a Certificate of Appropriateness to install a sliding door on the north side of the rear "tower" addition be approved in accordance with drawings and materials dated 4/21/24 with the finding of fact that the proposed work is not visible from the public right-of-way. The proposed work is otherwise consistent with the standards in City Code Section 51A-4.501(g)(6)(C)(i) for contributing structures; and the Secretary of the Interior's Guidelines for Setting (District/Neighborhood).
4. That the request for a Certificate of Appropriateness to replace two (2) historic windows on the south side of the main structure be approved in accordance with drawings and materials dated 4/21/24 with the condition that the windows be all wood with no cladding. Implementation of this recommended condition would allow the proposed work to be consistent with preservation criteria Section 51P87.111(a)(17)(F)(iii); the standards in City Code Section 51A-4.501(g)(6)(C)(i) for contributing structures; and the Secretary of the Interior's Guidelines for Setting (District/Neighborhood).
5. That the request for a Certificate of Appropriateness to install an additional window on the south side of the main structure to match existing be approved in accordance with drawings and materials dated 4/21/24 with the condition that the window be all wood with no cladding. Implementation of this recommended condition would allow the proposed work to be consistent with preservation criteria Section 51P87.111(a)(17)(F)(iii); the standards in City Code Section 51A-4.501(g)(6)(C)(i) for contributing structures; and the Secretary of the Interior's Guidelines for Setting (District/Neighborhood).
6. That the request for a Certificate of Appropriateness to replace three (3) windows on the north side of the main structure be approved in accordance with drawings and materials dated 4/21/24 with the condition that the windows be all wood with no cladding. Implementation of this recommended condition would allow the proposed work to be consistent with preservation criteria Section 51P87.111(a)(17)(F)(iii); the standards in City Code

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Section 51A-4.501(g)(6)(C)(i) for contributing structures; and the Secretary of the Interior's Guidelines for Setting (District/Neighborhood).

7. That the request for a Certificate of Appropriateness to replace the asbestos siding on the north, east, west, and south sides of the "tower" addition, the rear of the main structure and part of the north side of the main structure with Hardie Shingle Staggered Panel be approved in accordance with drawings and materials dated 4/21/24 with the finding of fact that the proposed work is not visible from the public right-of-way. The proposed work is otherwise consistent with the standards in City Code Section 51A-4.501(g)(6)(C)(i) for contributing structures; and the Secretary of the Interior's Guidelines for Setting (District/Neighborhood).

Task Force Recommendation:

1. That the request for a Certificate of Appropriateness to remove all existing windows on the north, east, west, and south sides of the rear "tower" addition be denied without prejudice. Need a window survey documenting window condition. Removing too much historic fabric; modernizing too much. Perhaps extend addition to make it work better.
2. That the request for a Certificate of Appropriateness to install a sliding door on the east side of the rear "tower" addition be denied without prejudice. Need a window survey documenting window condition. Removing too much historic fabric; modernizing too much.
3. That the request for a Certificate of Appropriateness to install a sliding door on the north side of the rear "tower" addition be denied without prejudice. Need a window survey documenting window condition. Removing too much historic fabric; modernizing too much.
4. That the request for a Certificate of Appropriateness to replace two (2) historic windows on the south side of the main structure be denied without prejudice. Need a window survey documenting window condition.
5. That the request for a Certificate of Appropriateness to install an additional window on the south side of the main structure to match existing be denied without prejudice. No comments.
6. That the request for a Certificate of Appropriateness to replace three (3) windows on the north side of the main structure be denied without prejudice. Need a window survey documenting window condition. Removing too much historic fabric; modernizing too much.
7. That the request for a Certificate of Appropriateness to replace the asbestos siding on the north, east, west, and

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south sides of the "tower" addition, the rear of the main structure and part of the north side of the main structure with Hardie Shingle Staggered Panel be denied without prejudice. Will not be able to use Hardie siding. Wood siding better than shingles.

COURTESY REVIEW

1. 2818 BURGER AVE

Wheatley Place Historic District
CR234-018(RD)
Rhonda Dunn

Request:

Courtesy Review -- Construct new main residential building (on a vacant lot).

Applicant: Cardenas, Blanca

Application Filed: 5/2/2024

Staff Feedback:

Courtesy review – no action required. That the request to construct a new main residential building (on a vacant lot) be conceptually approved with the understanding that the final design, as well as any associated site plans, elevations, renderings, and details are to be submitted for Landmark Commission review.

Task Force Feedback:

Courtesy Review -- Comments only, which are as follows:

1. Front porch is missing architectural details of a Craftsman style porch (e.g., gable brackets, a frieze board above the columns, and porch columns should be set on grade).
2. Expose roof rafter tails.
3. Extend rear roof (to align with projection).

DISCUSSION ITEMS:

1. 1462 1ST AVE

Fair Park Historic District
CA234-336(RD)
Rhonda Dunn

Request:

A Certificate of Appropriateness to apply a customized color scheme/pallet to proposed new outdoor carousel (in the west, side yard of the Children's Aquarium).

Applicant: Norman Alston

Application Filed: 5/2/2024

Staff Recommendation:

That the request for a Certificate of Appropriateness to apply a customized color scheme/pallet to proposed new outdoor carousel (in the west, side yard of the Children's Aquarium) be approved in accordance with drawings and specifications dated 5/2/2024 with the following condition: that an automotive grade clear coat finish be applied to protect paint. Implementation of the recommended condition would allow the proposed work to be consistent with preservation criterion Section 5.2(b)(5)(D) pertaining to the Lagoon; the standards in City Code Section 51A-

4.501(g)(6)(C)(i) for contributing structures; and the Secretary of the Interior's Guidelines for Setting (District/Neighborhood).

Task Force Recommendation:

That the request for a Certificate of Appropriateness to apply a customized color scheme/pallet to proposed new outdoor carousel (in the west, side yard of the Children's Aquarium) be approved with the following comments/conditions:

1. Revised color scheme is approved.
2. Submit manufacturer's warranty for outdoor use.
3. Submit part replacement information from manufacturer.

Request:

A Certificate of Appropriateness to remove existing 48"x36" louvered attic vent and replace with a new 48"x36" Ply Gem Select Series Sand Vinyl Left-Hand Sliding Window with HPSC Glass.

Applicant: Agape Home Services

Application Filed: 5/2/2024

Staff Recommendation:

That the request for a Certificate of Appropriateness to remove existing 48"x36" louvered attic vent and replace with a new 48"x36" Ply Gem Select Series Sand Vinyl Left-Hand Sliding Window with HPSC Glass be denied without prejudice. The proposed work is inconsistent with preservation criteria Section 5 pertaining to Fenestration and Openings; the standards in City Code Section 51A-4.501(g)(6)(C)(i) for contributing structures; and the Secretary of the Interior's Standards for Rehabilitation.

Task Force Recommendation:

That the request for a Certificate of Appropriateness to remove existing 48"x36" louvered attic vent and replace with a new 48"x36" Ply Gem Select Series Sand Vinyl Left-Hand Sliding Window with HPSC Glass be denied without prejudice per Sections 5.1 and 5.3 of the Junius Heights Ordinance.

Request:

A Certificate of Appropriateness to replace the retaining wall and fence at the front yard on the west property line and partially along the driveway (unauthorized removal).

Applicant: Kennedy, Lisa

Application Filed: 5/2/2024

Staff Recommendation:

That the request for a Certificate of Appropriateness to replace the retaining wall and fence at the front yard on the west property line and partially along the driveway

2. 707 NESBITT DR

Junius Heights Historic District
CA234-345(CM)
Christina Mankowski

3. 626 N MARSALIS AVE

Lake Cliff Historic District
CA234-339(MW)
Marcus Watson

(unauthorized removal) be approved in accordance with drawings and materials dated 5/18/24 (both Option 1 and Option 2) with the conditions that the retaining wall be faced in either brick or field stone to match either the previous wall or other walls in the district with the final finish material to be approved by staff. Implementation of these recommended conditions would allow the proposed work to be consistent with preservation criteria Sections 3.6, 3.7, 3.9, 3.11(a), 3.14, and 3.15; the standards in City Code Section 51A-4.501(g)(6)(C)(i) for contributing structures; and the Secretary of the Interior's Guidelines for Setting (District/Neighborhood).

Task Force Recommendation:

That the request for a Certificate of Appropriateness to replace the retaining wall and fence at the front yard on the west property line and partially along the driveway (unauthorized removal) be denied without prejudice. Property owner wants to rebuild old fence, but it would not meet zoning. Architect designed a wall to meet zoning, but concrete would not be good for the district.

Request:

A Certificate of Appropriateness to replace single front door and two side lights with a set of double metal French doors.

Applicant: Goniwiecha, Stephen

Application Filed: 5/2/2024

Staff Recommendation:

That the request for a Certificate of Appropriateness to replace single front door and two side lights with a set of double metal French doors be denied without prejudice. The proposed work is inconsistent with preservation criteria Sec. 51P-63.116(1)(P)(i) and (vi); the standards in City Code Section 51A-4.501(g)(6)(C)(i) for contributing structures; and the Secretary of the Interior's Standards for Rehabilitation.

Task Force Recommendation:

That the request for a Certificate of Appropriateness to replace single front door and two side lights with a set of double metal French doors be denied without prejudice.

Request:

1. A Certificate of Appropriateness to construct a new two-story accessory structure in the rear (west) yard.
2. A Certificate of Appropriateness to reconstruct a front porch on the front facade of the main structure.

Applicant: Peters Cates Designs

Application Filed: 5/2/2024

Staff Recommendation:

4. 5902 SWISS AVE

Swiss Avenue Historic District

CA234-347(CM)

Christina Mankowski

5. 223 N CLINTON AVE

Winnetka Heights Historic District

CA234-341(MW)

Marcus Watson

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1. That the request for a Certificate of Appropriateness to construct a new two-story accessory structure in the rear (west) yard be approved in accordance with drawings and materials dated 5/18/24. The proposed work is consistent with preservation criteria Section 51P-87.111(a)(1); the standards in City Code Section 51A-4.501(g)(6)(C)(i) for contributing structures; and the Secretary of the Interior's Guidelines for Setting (District/Neighborhood).
2. That the request for a Certificate of Appropriateness to reconstruct a front porch on the front facade of the main structure be approved in accordance with drawings and materials dated 5/18/24 with the findings of fact that the house originally had a front porch, that the porch was likely destroyed in the 1957 tornado, that there are no known photographs of the original porch and that the proposed porch is consistent with typical surrounding houses of the same style. The work is consistent with preservation criteria Section 51P-87.111(a)(3), (a)(9), and (a)(11); the standards in City Code Section 51A-4.501(g)(6)(C)(i) for contributing structures; and the Secretary of the Interior's Guidelines for Setting (District/Neighborhood).

Task Force Recommendation:

1. That the request for a Certificate of Appropriateness to construct a new two-story accessory structure in the rear (west) yard. No quorum. General comments. Generally supportive of accessory structure with comments. Add window trim on garage. Roof and paint colors. Consider changing outdoor stairs on accessory structure. Consider changing back wall (balustrade) of the accessory structure. (NOTE: The applicant revised the plans based on task force recommendations.)
2. That the request for a Certificate of Appropriateness to reconstruct a front porch on the front facade of the main structure. No quorum. General comments. Supportive of front porch construction. Call out railing details on front porch.

6. QUEEN CITY NEIGHBORHOOD

Rhonda Dunn

Request: A Landmark Commission authorized hearing to consider initiation of the historic designation process to establish a historic overlay district, on property constituting a subdistrict within Planned Development District No. 595, an area known as the Queen City Neighborhood, generally bounded by State Highway 310 (aka S.M. Wright Freeway), Warren Avenue, Malcolm X Boulevard, and Eugene Street.

DESIGNATION COMMITTEE:

Note: The official Designation Committee Agenda will be posted in the City Secretary's Office and City Website at www.ci.dallas.tx.us/cso/boardcal.shtml. Please review the official agenda for location and time.



LANDMARK COMMISSION

June 3, 2024

FILE NUMBER: CE234-006(CM)
LOCATION: 4610 Swiss Ave
COUNCIL DISTRICT: 2
SIZE OF REQUEST: 2,032

PLANNER: Christina Mankowski
DATE FILED: April 26, 2024
DISTRICT: Peak's Suburban Add (H/72)
MAPSCO: 46-A

APPLICANT: Kristen Martin

OWNER: Kristen Martin

REQUEST:

A Certificate of Eligibility (CE) for tax exemption on 100 percent of land and improvements for a period of ten years.

SUMMARY: This hotel and restaurant was built in 1915 and is a contributing structure in a historic district.

In Revitalizing Historic Districts, property owners are eligible to receive an exemption based on rehabilitation on 100 percent of the land and improvement value on the city portion of the property taxes for a period of 10 years. This exemption requires that rehabilitation completed on the property must be, at minimum, 25 percent of the pre-rehabilitation improvement value.

Improvement Value (2022):	\$ 200,370
Land Value:	\$ 176,400
Required Expenditures:	\$ 50,093
Estimated Expenditures:	\$ 241,183
Estimated Total Exemption:	\$ 50,093

Notes on the estimated exemptions:

**The estimated value after rehabilitation does not account for any increase in value due to appreciation.*

***Tax estimates are based on the new city tax rate of 0.7767%. Properties with homestead exemptions are assumed to increase in taxable value at the capped rate of 10% until they reach the "estimated new value after rehabilitation".*

STAFF RECOMMENDATION:

Approval of the Certificate of Eligibility on 100 percent of land and improvements for a period of ten years.



Historic Preservation Tax Incentive Program

Step 2 Application for Verification of Expenditures

Address: 4610 Swiss Avenue, Dallas, TX 75204
Applicant: Kristen Martin
Contact info: [REDACTED]



Application Requirements

- ☒ List of expenditures and total amount spent Please provide a chart, as shown later in this packet, listing the receipts and expenditure documentation submitted. Copies of the receipts should be submitted as backup documentation with this chart. A blank chart is attached to this form for your convenience.
- ☒ Backup documentation of expenditures Receipts or other documentation, such as pay affidavits or schedules of value provided by a licensed architect or engineer proving that the required expenditure on rehabilitation has actually been made. Please do not provide original documents, copies only.
- ☒ Copy of a tax certificate Available from www.dallascounty.org
- ☒ Affidavit of fees, fines, violations and penalties Signed, sworn, and notarized (attached)
- ☒ Signed statement of minimum expenditures Signed and notarized (attached)
- ☒ Photos of post-rehabilitation Pictures of the areas where the work was performed taken after rehabilitation
- ☒ A copy of the City Council resolution If applicable.

Additional Application Requirements

Check all statements that apply and please provide the information shown to the right for those items.

- ☐ The exemption is for an urban historic district conversion Provide documentation such as copies of certificates of occupancy indicating the total square footage, and the square footage for residential, retail, office, and other nonresidential uses, and residential units in the completed project
- ☐ Has the property had past code violations? Contact the Code Compliance Department at 214-670-5708 if the property has had past code violations. An email from their department stating that the violations have been resolved will meet this requirement.

Final Steps

After approval of application and completion of all required steps, staff will draft a commitment to repay document. This plus the **application for historic and archeological site** available at <http://www.dallascad.org/forms.aspx> will complete the process.

- ☐ Executed commitment to repay The commitment to repay (provided by city staff) must be:
1. Signed by all property owners and lienholders for the property. Every signature must be notarized.
 2. Return the document with all original signatures to City Hall. It must be approved as to form by the city attorney.
 3. Staff will return the commitment to repay to the applicant.
 4. The commitment to repay must be filed in the real property records (the deed records) at the ~~Records Building located at 500 S. Main~~ County Clerk's temporary offices in Renaissance Tower, 1201 Elm St, 21st and 22nd floor.
 5. A copy of the recorded commitment to repay must be returned to staff.

Historic Tax Exemption Application

Step 2 – Verification Application

Property Information

Property Address: 4610 Swiss Ave, Dallas, TX 75204
Building Name (if Applicable): _____
Historic District / (or Pending Historic District): Praks Suburban

Owner Information

Property Owner(s): Kristen Martin
Mailing Address: [REDACTED]
City, State and Zip Code: Dallas, TX 75218
Phone Number: [REDACTED]
Fax Number: [REDACTED]
Email: [REDACTED]

Step 1 Application Information

When was the Step 1 Application approved by the Landmark Commission?: 10/15/22
Did the Application require City Council approval? If so, when? 10/15/22

Changes in lienholder information

Fill out only if there has been any change from information provided in the Step 1 Application:

Name (new lienholder): NO/NA
Mailing address: _____
City, state and zip code: _____
Phone number: _____
Fax number: _____
Email: _____

Affidavit Regarding Taxes, Fees, Fines and Penalties

THE STATE OF Texas §

COUNTY OF Dallas §

BEFORE ME, the undersigned authority, personally appeared the person whose name is signed below, and being by me duly sworn, deposed as follows:

"My name is Kristen Martin, and I am the owner of the property at 4610 Swiss Ave, Dallas Texas ("the Property"). I am of sound mind, capable of making this affidavit, and personally acquainted with the facts herein stated. I have personal knowledge of the facts contained in this affidavit. The facts stated herein are all true and correct. All property taxes are current, and no City of Dallas fees, fines or penalties are owed, on the Property or any property owned by any partnership in which I am a partner."

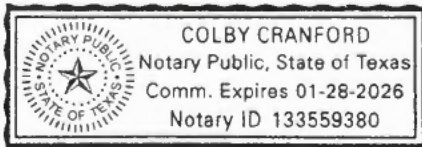
Owner's Name: Kristen Martin

Owner's Signature: Kristen Martin

This instrument was sworn and acknowledged before me on 4/22/2024 (date)

by (print name of owner) Kristen Martin Kristen Martin

Notary Stamp _____ Notary Signature



Statement of Minimum Expenditures

THE STATE OF TEXAS _____ §

COUNTY OF DALLAS _____ §

BEFORE ME, the undersigned authority, personally appeared the person whose name is signed below, and being by me duly sworn, deposed as follows:

"My name is (insert name of owner here) Kristen Martin, ("the Owner") and I am the owner of the property at (insert street address here) 4410 Swiss Ave, Dallas Texas ("the Property"). I am of sound mind, capable of making this affidavit, and personally acquainted with the facts herein stated. I have personal knowledge of the facts contained in this affidavit. The facts stated herein are all true and correct.

I certify that the information in this application for a tax exemption, including all attachments, is complete and correct. I certify that I have made the minimum expenditure on the rehabilitation project in compliance with any certificates of appropriateness or predesignation certificates of appropriateness.

I authorize members of the Landmark Commission and city officials to visit and inspect the property as necessary to certify eligibility and verification for a tax exemption.

I acknowledge that I have read and understand the program regulations, and that I will not receive an exemption until all program requirements have been met and a letter of verification obtained. I understand that all rehabilitation work, if not already complete, must be completed by the time specified by the Landmark Commission (or within 3 years after the date of the Landmark Commission's determination of eligibility if a completion date was not specified). If the deadline for completion is subsequently extended by the Landmark Commission all rehabilitation work must be completed by the extended time specified. I understand that penalties may apply if I do not complete the work.

I understand that the owner of the Property must make an application to Dallas County Appraisal District each year in order to receive the exemption for that year, otherwise, the owner will lose the ability to receive a tax exemption for that year.

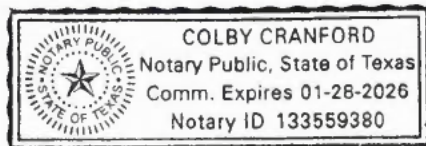
All property taxes are current and no city of Dallas fees, fines, or penalties are owed on the Property or on any other real property owned in whole or in part, directly or indirectly, by the Owner. For the purpose of this statement, an interest in real property does not include any interest in real property held indirectly through a mutual or common investment fund such as a real estate investment trust that holds real estate assets unless the person in question participates in the management of the fund or the trust"

Owner's Name: Kristen Martin - Kristen Martin

Owner's Signature: [Signature]

This instrument was sworn and acknowledged before me on 4/22/2024 (date)

by Kristen Martin (print name of owner)



Notary Stamp Here

Notary Signature [Signature]



LANDMARK COMMISSION

June 3, 2024

FILE NUMBER: CE234-007(CM)
LOCATION: 2821 Turtle Creek Blvd
COUNCIL DISTRICT: 14
SIZE OF REQUEST: 97,114

PLANNER: Christina Mankowski
DATE FILED: April 25, 2024
DISTRICT: King Mansion (H/29)
MAPSCO: 45-A, 45-B

APPLICANT: Amanda Coleman

OWNER: HN Capital Partners (HN Mansion LLC)

REQUEST:

A Certificate of Eligibility (CE) for tax exemption on added value of land and improvements for a period of three years.

SUMMARY: This hotel and restaurant was built in 1925 and is a contributing structure in a historic district.

In Citywide Maintenance Districts, property owners are eligible to receive an exemption based on rehabilitation on added value of the land and improvement value on the city portion of the property taxes for a period of 3 years. This exemption requires that rehabilitation completed on the property must be, at minimum, 3 percent of the pre-rehabilitation improvement value.

Improvement Value (2021):	\$ 4,728,680
Land Value:	\$ 17,271,320
Required Expenditures:	\$ 141,680
Estimated Expenditures:	\$ 232,400
Estimated Total Exemption:	\$ 528,349

Notes on the estimated exemptions:

**The estimated value after rehabilitation does not account for any increase in value due to appreciation.*

***Tax estimates are based on the new city tax rate of 0.7767%. Properties with homestead exemptions are assumed to increase in taxable value at the capped rate of 10% until they reach the "estimated new value after rehabilitation".*

STAFF RECOMMENDATION:

Approval of the Certificate of Eligibility on added value of land and improvements for a period of three years.



Historic Preservation Tax Incentive Program

Step 1 Application to the Landmark Commission

(Properties where part of the rehabilitation work has
been previously completed)

Address: 2821 Turtle Creek Blvd. (King Mansion, Mansion on Turtle Creek)

Applicant: Amanda Coleman

Contact info: [REDACTED]



Application Requirements

- ☒ Completed Step 1 Application..... All requested information must be provided, and where necessary forms should be signed and notarized
- ☒ List of expenditures to date..... Please provide a chart, as shown later in this packet, listing the receipts and expenditure documentation submitted. Copies of the receipts should be submitted as backup documentation with this chart. A blank chart is attached to this form for your convenience.
- ☒ Backup documentation of expenditures spent to date..... Receipts or other documentation, such as pay affidavits or schedules of value provided by a licensed architect or engineer proving that the required expenditure on rehabilitation has actually been made. Please do not provide original documents, copies only.
- ☐ Estimated costs of rehabilitation yet to be completed List of applicable expenses. Eligible expenses are listed in the General Information packet.
- ☒ Statement of Understanding Signed and notarized by the property owner; use the form included in this packet.
- ☒ DCAD Account Information Go to www.dallascad.org then search for appraisals, search by address, search for the address of the property in question, and attached a copy of the account information to this application.
- ☒ Photographs of existing conditions..... Pictures taken of the structure prior to rehabilitation. Be sure to document the areas that will be rehabilitated.

Additional Requirements

Check all statements that apply and please provide the information shown to the right for those items.

- ☐ Does the rehabilitation include any exterior work?..... Provide a copy of the front page of the Certificate of Appropriateness for the rehabilitation.
- ☐ Has the property has received any previous tax relief? Provide the documentation explaining the duration and amount of all previous tax relief.

Additional Requirements (cont).

- ☐ Is the property is in a TIF district? Documentation of any additional tax incentives the property is set to receive, such as tax credits from the county, National Trust, grants, Texas Historic Commission or other entities. If you are unsure if the property is in a TIF district, locate your property on the DCAD website's map and turn on the Tax Increment Zone layer.
- ☐ Is this an Urban Historic District exemption? Provide a breakdown of the square footage for residential, retail, commercial, and other nonresidential uses, number of jobs created, and residential units created in the proposed project.
- ☐ Has the property had past code violations? Contact the Code Compliance Department at 214-670-5708 if the property has had past code violations. An email from their department stating that the violations have been resolved will suffice.
- ☐ Is the owner not listed as the owner in DCAD records Provide a copy of the property deed.
- ☐ Is the lot is a divided lot or split between several lots? Provide a copy of the property deed.
- ☐ Is the property unplatted (no lot or block number)? Provide a copy of the property deed.
- ☒ Is it is owned by a partnership, LLC, or other entity? Provide a copy of the property deed or documentation that the signatory has the authority to sign on behalf of the entity.

Historic Tax Exemption Application

Step 1 – Application for a Certificate of Eligibility

Property Information

Property Address: 2821 Turtle Creek Blvd.(King Mansion, Mansion on Turtle Creek)

Legal description: Lot A/1027 Block 2B ACS 3.6045

Provide a metes and bounds attachment if no lot and block can be determined.

Building name (if applicable): King Mansion, Mansion on Turtle Creek

Historic district or pending historic district: Landmark

Year the historic structure was built: ca. 1925

Is this a contributing structure? yes

Owner Information

Please list all of the property owner(s): HN Capital Partners (HN MANSION LLC)

Mailing address: [REDACTED]

City, state and zip code: Dallas, TX 75201

Phone number: [REDACTED] Fax number: [REDACTED]

Email: [REDACTED]

Applicant Information (if different from the property owner)

Applicant name: Amanda Coleman

Mailing address: [REDACTED]

City, state and zip code: [REDACTED]

Phone number: [REDACTED] Fax number: [REDACTED]

Email: [REDACTED]

Rehabilitation Information

Estimated Rehabilitation Investment: \$ 232,400.02

Current Use: Hotel & Restaurant Proposed Use: same

For any exterior work, has a Certificate of Appropriateness (CA) been approved yet? COA not required

If not, when will the application for a CA be considered? n/a - not applicable

Projected Construction Time and Estimated Date of Completion: completed

Lien Holder Information (if applicable)Primary mortgage company: InterbankContact person: Kyle SmithCorrespondence address: [REDACTED], TX 75206

Secondary mortgage company: _____

Contact person: _____

Correspondence address: _____

Other lienholder: _____

Contact person: _____

Correspondence address: _____

Financial Information

The following information can be obtained from the Dallas Central Appraisal District website (www.dallascad.org) and click search for appraisals). The City of Dallas will use the tax values for the year prior to the application being made.

The date this application is submitted to the city: April 2024Improvement Value: \$4,728,680 (pre-rehabilitation value)Land Value: \$17,271,320 (pre-rehabilitation value)

Has the Property Received Any Previous Tax Relief? If so, Please Explain: _____

Is this in a TIF District? no

** Please attach a copy of the dallascad.org account information for the property to this application**

If Applying for an Urban Historic District Conversion ExemptionTotal Building Square Footage: n/aRetail Square Footage: n/aOffice Square Footage: n/aResidential Square Footage: n/aNumber of Jobs Created: n/a

Type of Exemption that is being applied for:

Category		Type	Required Expenditures (% of pre-rehab value of structure only)	Amount (portion of land and structure)	Duration	Renewable (façade expenditures only)
Urban Historic Districts Includes all properties located within the Urban historic district area shown on the last page of the Information packet	<input type="checkbox"/>	Based on Rehab	75%	100%	10 years	Yes
	<input type="checkbox"/>	Based on Rehab	50%	Added Value	10 years	Yes
	<input type="checkbox"/>	Residential / ground floor conversion	50% must be converted to residential and 65% of ground floor must be converted to retail	100%	5 years	No
** A Residential / Ground Floor Conversion exemption may be applied for in addition to an exemption Based on Rehab						

Category		Type	Required Expenditures	Amount	Duration	Renewable (façade expenditures only)
Revitalizing Historic Districts Includes properties located in: <ul style="list-style-type: none"> Junius Heights Lakecliff Peak's Suburban South Blvd. / Park Row Winnetka Heights 	<input type="checkbox"/>	Based on Rehab	25%	100%	10 years	Yes

Category		Type	Required Expenditures	Amount	Duration	Renewable (façade expenditures only)
Endangered Historic Districts <ul style="list-style-type: none"> 10th Street Wheatley Place 	<input type="checkbox"/>	Based on Rehab	25%	100%	10 years	Yes

Category		Type	Required Expenditures	Amount	Duration	Renewable (façade expenditures only)
Citywide Includes properties located in: <ul style="list-style-type: none"> Munger Place State Thomas Swiss Avenue <ul style="list-style-type: none"> All properties not located within the Urban, Endangered or Revitalizing historic districts 	<input type="checkbox"/>	Based on Rehab	50%	Added Value	10 years	Yes
	<input type="checkbox"/>	Endangered Property (Landmark Commission must find that this property is endangered.)	25%	100%	10 years	Yes

Category		Type	Required Expenditures	Amount	Duration	Renewable
Citywide – maintenance Includes properties in all historic districts	<input checked="" type="checkbox"/>	Maintenance	3%	Added Value	3 years	Yes

Category		Type	Required Expenditures	Amount	Duration	Renewable
Ownership by a non-profit entity open to the public	<input type="checkbox"/>	Non-profit	Be a designated historic landmark that is open to the public and is owned by a non-profit with	100%	As long as the building is owned by a non-profit entity and is open to the public	Annually

PLEASE NOTE: All tax exemption approvals that accumulatively (new applications and renewals) will receive exemptions totaling in excess of \$50,000 will have to be approved by both the Landmark Commission and the City Council.

Cost Estimates of work that has not yet been completed

The following list is a general guide to determine what may be used towards expenditures for the exemptions. Eligible items include but are not limited to:

- | | | |
|---|--|---|
| <ul style="list-style-type: none"> • Architectural and engineering services if directly related to the eligible costs described above • Carpentry • Demolition and cleanup if directly related to the eligible costs described • Electrical • Elevators determined to be necessary to utilize the building • Exterior doors • Exterior brick veneers or treatments • Facade items | <ul style="list-style-type: none"> • Flooring • Foundation • Gutter where necessary for structural integrity • Heating and cooling • Interior work that becomes a permanent part of the building that will help preserve the structure • Mechanical • Painting (exterior and interior) • Porch • Plumbing • Rehabilitation of a contributing structure used for the required parking | <ul style="list-style-type: none"> • Roofing • Security and/or fire protection systems • Sheetrocking • Siding • Structural walls • Structural subfloors • Structural ceilings • Repair of termite damage and termite treatment • Windows • Other items deemed necessary by the Landmark Commission that assist in preserving of the historic structure |
|---|--|---|

Ineligible costs include, but are not limited to, the following:

- | | | |
|--|--|---|
| <ul style="list-style-type: none"> • Landscaping • Legal and accounting fees • Overhead | <ul style="list-style-type: none"> • Plumbing and electrical fixtures; provided, however, documented replacement of historic fixtures may be considered eligible • Purchasing tools • Repairs of construction equipment | <ul style="list-style-type: none"> • Supervisor payroll • Taxes • Any other items not directly related to the exterior appearance or the structural integrity or viability of the building |
|--|--|---|

Briefly list the scope of work (attach a separate sheet of paper if necessary):

Amount

1. _____
2. _____

no work proposed at this time

7. _____
8. _____
9. _____
10. _____

Total estimated expenditures of applicable costs:

PLEASE NOTE: Step 2 of this application process requires applicants to submit copies of receipts or other documentation, such as pay affidavits or schedules of value provided by a licensed architect or engineer proving that the required expenditure on rehabilitation has actually been made. Be sure to document your rehabilitation expenditures so that you can provide this information to the city when you apply for verification.

Statement of Understanding

THE STATE OF Texas §
§
COUNTY OF Dallas §

I certify that the information in this application for a tax exemption, including all supporting documentation, is complete and correct.

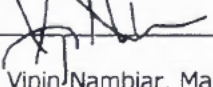
I authorize members of the Landmark Commission and city officials to visit and inspect the property as necessary to certify eligibility and verification for a tax exemption.

I acknowledge that I have read and understand the program regulations, and that I will not receive an exemption until all program requirements have been met and a letter of verification obtained.

I understand that all rehabilitation work must be completed by the time specified by the Landmark Commission (or within 3 years after the date of the Landmark Commission's determination of eligibility if a completion date was not specified). If the deadline for completion is subsequently extended by the Landmark Commission all rehabilitation work must be completed by the extended time specified. I understand that penalties may apply if I do not complete the work.

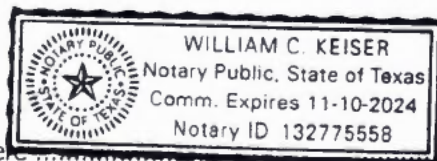
I understand that I must make an annual application to Dallas Central Appraisal District each year in order to receive the exemption for that year, and that if I do not make the application in time, I will lose the ability to receive a tax exemption for that year.

Owner's Name: HN MANSION, LLC

Owner's Signature: 
Vipin Nambiar, Managing Partner

This instrument was acknowledged before me on April 24, 2024

by (print name of owner) Vipin Nambiar (HN MANSION, LLC)



Notary Stamp Here Notary Signature



LANDMARK COMMISSION

JUNE 3, 2024

FILE NUMBER: CA234-343(MW)
LOCATION: 2522 Park Row Blvd.
STRUCTURE: Noncontributing
COUNCIL DISTRICT: 7
ZONING: PD-595

PLANNER: Marcus Watson
DATE FILED: May 2, 2024
DISTRICT: South Blvd.-Park Row (H-4)
MAPSCO: 46-S
CENSUS TRACT: 0203.00

APPLICANT: Noorizadeh, Nadia

REPRESENTATIVE: N/A

OWNER: NOORIZADEH, NADIA

REQUEST(S):

A Certificate of Appropriateness to construct a new two-story single-family main structure and detached accessory structure.

STAFF RECOMMENDATION:

That the request for a Certificate of Appropriateness to construct a new two-story single-family main structure and detached accessory structure be **approved** in accordance with drawings and materials dated 5/23/24 with the finding that while the proposed southwest side yard setback does not strictly meet the preservation criteria requirement of seven (7) feet, it is consistent with other surrounding buildings and is appropriate and compatible to the historic overlay district. The proposed work is otherwise consistent with preservation criteria Section 3(b)(1-8); the standards in City Code Section 51A-4.501(g)(6)(C)(ii) for noncontributing structures; and the Secretary of the Interior's Standards for Setting (District/Neighborhood).

TASK FORCE RECOMMENDATION:

That the request for a Certificate of Appropriateness to construct a new two-story single-family main structure and detached accessory structure be **approved**. Comment: "Thank you to the applicant for incorporating all recommendations and conditions."

BACKGROUND / HISTORY:

2522 Park Row Blvd. is a vacant, noncontributing lot in the South Blvd.-Park Row historic overlay district. The applicant is proposing to construct a new 2-story, single-family home with a detached garage.

Previous applications for Certificates of Appropriateness (or Demolition) filed for this property that are pertinent to this CA include:

CASE NUMBER	REVIEW TYPE	DATE	OWNER	DECISION
CA223-554(MW) Construct New House and Garage	Standard	9/5/23	NOORIZADEH	Deny w/o Prej.

ANALYSIS:

This project has gone to the neighborhood task force several times and was reviewed by the LMC once before. The reasons for denial without prejudice were:

1. The dormer was too large, and the windows in the dormer were too large and too numerous.
2. The front windows should be paired.
3. The windows should be Craftsman style.

The project was otherwise met with positive comments. This revised submittal reflects the requested changes, which is why staff has placed the item on the consent agenda.

Previous analysis included the following staff remarks:

The South Blvd.-Park Row preservation criteria are some of the earliest developed in Dallas and are somewhat minimal and broad. While I will address the relevant preservation criteria here, a general discussion of compatibility may be more appropriate.

Height: The ordinance only sets a maximum height of 36 feet. It does not require an average as other ordinances do. The roof height of the proposed structure is just under 28 feet.

Roof: The ordinance requires a complex roof pattern with dormers. The proposed building has a cross gables with a predominant front dormer ([Note: the dormer has been changed from a front gable to a shed and reduced considerably in size](#)), typical of the Craftsman style. Also, the overhang on the roof meets the 12-inch requirement.

Front entrance: The front of this house features a prominent full-width porch shed porch.

Columns: The columns on the porch meet the 1/6 of the total column height requirement.

Window openings: The windows are proposed to be wood and multi-light, as the ordinance requires. However, the ordinance requires that the front façade windows be paired, not single. Therefore, staff recommendation is to group the four lower windows on the front into two pairs. ([Note: this revision has been made.](#))

Material: The siding of the house will be wood clapboard.

Setbacks:

Side yard: While the preservation criteria require a minimum of 7 feet, the task force and staff again agree that 7 feet would be the exception, not the rule compared to other houses on the block, which have varying side setbacks (many far less than 7 feet). This house meets the zoning minimum.

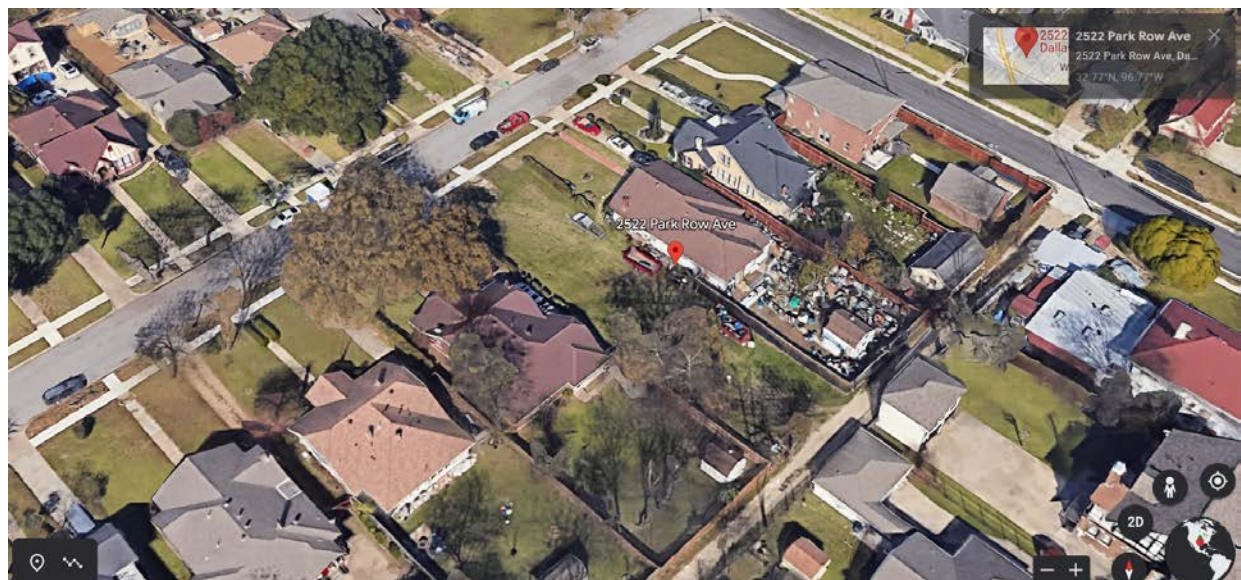
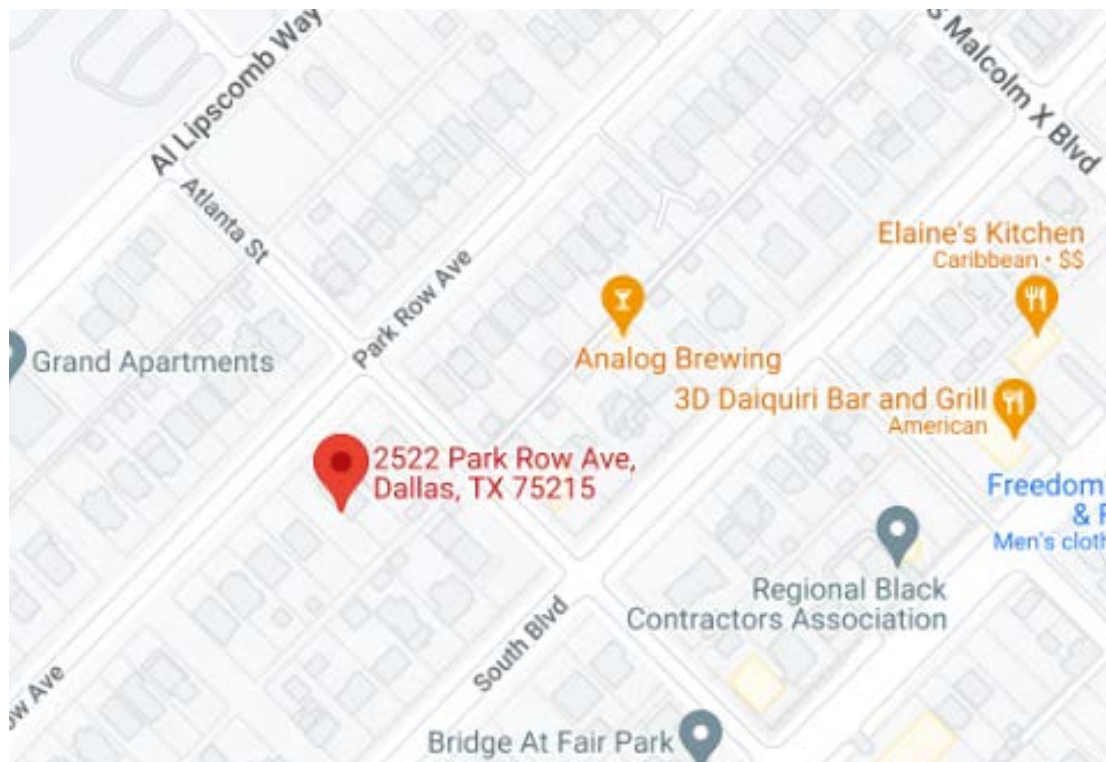
RELEVANT PRESERVATION CRITERIA:

- 1) South Boulevard-Park Row (H-4); Ordinance 15512:
Criteria 3(b)(1-8)
- 2) City Code Section 51A-4.501(g)(6)(C)(ii) for noncontributing structures
- 3) Secretary of the Interior's Standard for Setting (District/Neighborhood)

LOCATION MAPS

2522 Park Row

Source: Google Earth



CURRENT PHOTOS

2522 Park Row





EXAMPLES OF 1.5- AND 2-STORY HOUSES ON THE STREET



2532 Park Row (approved new construction)



2530 Park Row



2430 Park Row



2402 Park Row



2316 Park Row



2407 and 2409 Park Row



2635 Park Row

ATTACHMENTS:

- **Task Force Recommendation Form**
- **Certificate of Appropriateness Application**

TASK FORCE RECOMMENDATION REPORT

South Boulevard-Park Row Historic District

DATE: 5/8/2024
TIME: 2:00 p.m.
LOCATION: Hybrid Virtual/2922 Swiss Ave

Applicant Name: Noorizadeh, Nadia
Address: 2522 Park Row
Request Type: CA

Request: New construction of a main and accessory single-family residential structure.

Recommendation:

☒ Approve ☐ Approve with conditions ☐ Deny w/o prejudice ☐ Deny

Comments:

Thank you to the applicant for incorporating all recommendations and conditions.

Task force members present:

<input checked="" type="checkbox"/> Jeanette Bolden	<input type="checkbox"/> Joshua McDowell
<input type="checkbox"/> Jason Brown (Vice-chair)	<input checked="" type="checkbox"/> Felicia Santiago (Chair)
<input checked="" type="checkbox"/> Greg Johnston	

Ex Officio staff members present: ☒ Marcus Watson

Quorum: ☒ Yes ☐ No (three makes a quorum)

Maker: Johnston	2 nd : Santiago
FOR: 3	AGAINST: 0
Basis for opposition:	

Certificate of Appropriateness (CA)

City of Dallas Landmark Commission

CA _____ - _____ (MW)

OFFICE USE ONLY

Name of Applicant: _____
Mailing Address: _____
City, State and Zip Code: _____
Daytime Phone: _____ Alternate Phone: _____
Relationship of Applicant to Owner : _____

OFFICE USE ONLY

Main Structure:

☐ Contributing
☐ Non-contributing

PROPERTY ADDRESS: _____
Historic District: _____

PROPOSED WORK:

List all proposed work simply and accurately, use extra sheet if needed. Attach all documentation specified in the submittal criteria checklist for type of work proposed. **DO NOT** write "see attached."

EMAIL ADDRESS:

Signature of Applicant: *N. Noor* Date: _____

Signature of Owner: _____ Date: _____
(IF NOT APPLICANT)

APPLICATION DEADLINE:

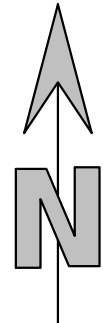
Application material must be **completed and submitted by the FOURTH MONDAY OF EACH MONTH BY 12:00 NOON**, (see official calendar for exceptions), before the Dallas Landmark Commission can consider the approval of any change affecting the exterior of any building. Provide this form along with applicable fees, and any supporting documentation must be filed with a Preservation Planner at City Hall, 1500 Marilla 5BN, Dallas, Texas, 75201. You may submit by email to Historicpreservation@dallas.gov. Please write your address and district in the email subject line.

Please use the enclosed criteria checklist as a guide to complete the application. Incomplete applications cannot be reviewed and will be returned to you for more information. You are encouraged to contact a Preservation Planner to ensure your application is complete. Click on the following link to the City of Dallas website for contact information:

<https://dallascityhall.com/departments/sustainabledevelopment/historicpreservation/Pages/Contacts.aspx>

OTHER:

In the event of a denial, you have the right to an appeal within 30 days after the Landmark Commission's decision. You are encouraged to attend the Landmark Commission hearing the first Monday of each month at 1:00 pm in Council Chambers of City Hall (see exceptions). Information regarding the history of past certificates of appropriateness for individual addresses is available for review in 5BN of City Hall.



NOORIZADEH NADIA

NEW CONSTRUCTION

2522 PARK ROW AVE
DALLAS, TEXAS 75215
MAY 13TH, 2024

PROJECT INFORMATION

ZONING	PD-595, SUBDISTRICT R-7.5 (A) SOUTH BLVD/PARK ROW HISTORIC DISTRICT
LEGAL DESCRIPTION	EDGEWOOD BLK 1/284 E10' LT 5 & W40' LT 6
CONSTR TYPE	V-B
CLIMATE ZONE	ZONE 3A (MOIST)
HOUSE DESCRIPTION	TWO STORY SINGLE FAMILY RESIDENCE 4 BEDROOMS, 3.5 BATHROOMS TWO CAR DETACHED GARAGE

SHEET INDEX

G0.00	COVER SHEET
C2.00	SITE PLAN
C8.01	DRAINAGE PLAN
C8.02	DRAINAGE DETAILS
S2.00	FOUNDATION PLAN
S3.00	FOUNDATION DETAILS
A3.00	WALL SECTIONS
S4.01	FRAMING PLAN
S5.00	FRAMING SECTION & DETAIL
S5.01	FRAMING SECTION & DETAIL
A1.05	ROOF PLAN
S6.00	ROOF FRAMING
S7.00	ROOF FRAMING DETAILS
A1.01	GROUND LEVEL FLOOR PLAN
I4.00	WINDOW & DOOR - SCHEDULE
I0.04	FINISH LISTING
A2.01	ELEVATIONS
A2.02	ELEVATIONS
E2.01	FLOOR PLAN - ELECTRICAL
E2.02	FLOOR PLAN - ELECTRICAL
E4.01	ELECTRICAL DETAILS
EL2.01	FLOOR PLAN - LIGHTING
EL2.02	FLOOR PLAN - LIGHTING
P2.01	FLOOR PLAN - PLUMBING
P2.02	FLOOR PLAN - PLUMBING
P3.01	PLUMBING DETAILS



PROJECT AREA CALCULATIONS			
PRPSD. LIVING AREA (AC)		PRPSD. NON CONDITIONED AREA	
GROUND LVL FLOOR PLAN	2,159 S.F.	GARAGE	487 S.F.
SECOND LVL FLOOR PLAN	1,889 S.F.	COVER PORCH	223 S.F.
		COVER PATIO	126 S.F.
		EXTG. PATIO	305 S.F.
LOT USAGE			
TTL CONDITIONED AREA (AC)	4,048 S.F.	LOT SIZE	8,895 S.F.
PERIMETER (AC)	227 F.	NON ROOF AREA	5,595 S.F.
TTL UNDER ROOF	4,884 S.F.	% OF LOT	37.09 %
FOOTPRINT	3,300 S.F.		

DISCLAIMER

THESE PLANS ARE INTENDED TO PROVIDE BASIC CONSTRUCTION INFORMATION NECESSARY TO SUBSTANTIALLY BUILD THIS STRUCTURE. THESE PLANS MUST BE VERIFIED AND CHECKED BY THE BUILDER, HOMEOWNER, AND ALL CONTRACTORS OF THIS JOB PRIOR TO CONSTRUCTION. BUILDER SHOULD OBTAIN COMPLETE ENGINEERING SERVICES, HVAC, AND STRUCTURAL BEFORE BEGINNING CONSTRUCTION OF ANY KIND.

NOTE: ALL FEDERAL, STATE, AND LOCAL CODES AND RESTRICTIONS TAKE PRECEDENCE OVER ANY PART OF THESE PLANS.

DISCLAIMER

GREAT CARE AND EFFORT HAVE GONE INTO THE CREATION OF THESE BLUEPRINTS. HOWEVER, BECAUSE OF THE VARIANCE IN GEOGRAPHIC LOCATIONS, CCI HOUSEPLANS WILL NOT ASSUME LIABILITY FOR ANY DAMAGES DUE TO ERRORS, OMISSIONS, OR DEFICIENCIES ON THESE OWNER/BUILDER MUST COMPLY WITH LOCAL BUILDING CODES PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE PURCHASE OF THESE PLANS ENTITLES THE BUYER TO CONSTRUCT THIS HOUSE ONLY ONCE. ANY COPYING, TRACING, OR ALTERING OF THESE PLANS IS NOT PERMITTED. VIOLATORS WILL BE SUBJECT TO PROSECUTION UNDER COPYRIGHT LAWS. IT IS THE BUILDER/OWNER RESPONSIBILITY TO VERIFY ANY EASEMENTS OR DEED RESTRICTIONS THAT MAY IMPACT THIS PROJECT PRIOR TO CONSTRUCTION.

BUILDING CODE

- IRC 2021 INTERNATIONAL RESIDENTIAL CODE
- NEC 2020 NATIONAL ELECTRICAL CODE
- IPC 2021 INTERNATIONAL PLUMBING CODE
- IECC 2021 INTERNATIONAL ENERGY CONSERVATION CODE

SEAL

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CONSTRUCTION CONCEPTS INC.
"Planning and Designing a Better Tomorrow"
317 E. JEFFERSON BLVD.
DALLAS, TX. 75203
TEL. (214) 946-4300
FAX. (214) 948-9544

REVISIONS

DRAFTER	SENT DATE
IB	03-25-2024
IB	04-04-2024

ADDRESS
2522 PARK ROW AVE
DALLAS, TEXAS
75215

DATE

5/23/24

DRAWN BY

IB

CHECKED BY

ER

DESCRIPTION

TWO-STORY SINGLE FAMILY RESIDENCE
4 BEDROOM, 3 1/2 BATHROOM,
DETACHED TWO CAR GARAGE

SCALE

NTS

SHEET TITLE

COVER PAGE

SHEET #

G0.00

FILE NAME

G0.00_COVER_SHEET

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2522 PARK ROW AVE
75215, DALLAS, TEXAS

EDGEWOOD
BLK 8 1/2 E10' LT 5 & W40' LT 6



PROJECT INFORMATION

ZONING	PD-595, SUBDISTRICT R-7.5 (A) SOUTH BLVD/PARK ROW HISTORIC DISTRICT
LEGAL DESCRIPTION	EDGEWOOD BLK 8 1/2 E10' LT 5 & W40' LT 6
CONSTR TYPE	V-B
CLIMATE ZONE	ZONE 3A (MOIST)
HOUSE DESCRIPTION	TWO STORY SINGLE FAMILY RESIDENCE 4 BEDROOMS, 3.5 BATHROOMS TWO CAR DETACHED GARAGE

1 PROJECT INFORMATION

C2.00 N.T.S.

1 SITE PLAN

C2.00 1" = 10' - 0"



1 VICINITY MAP

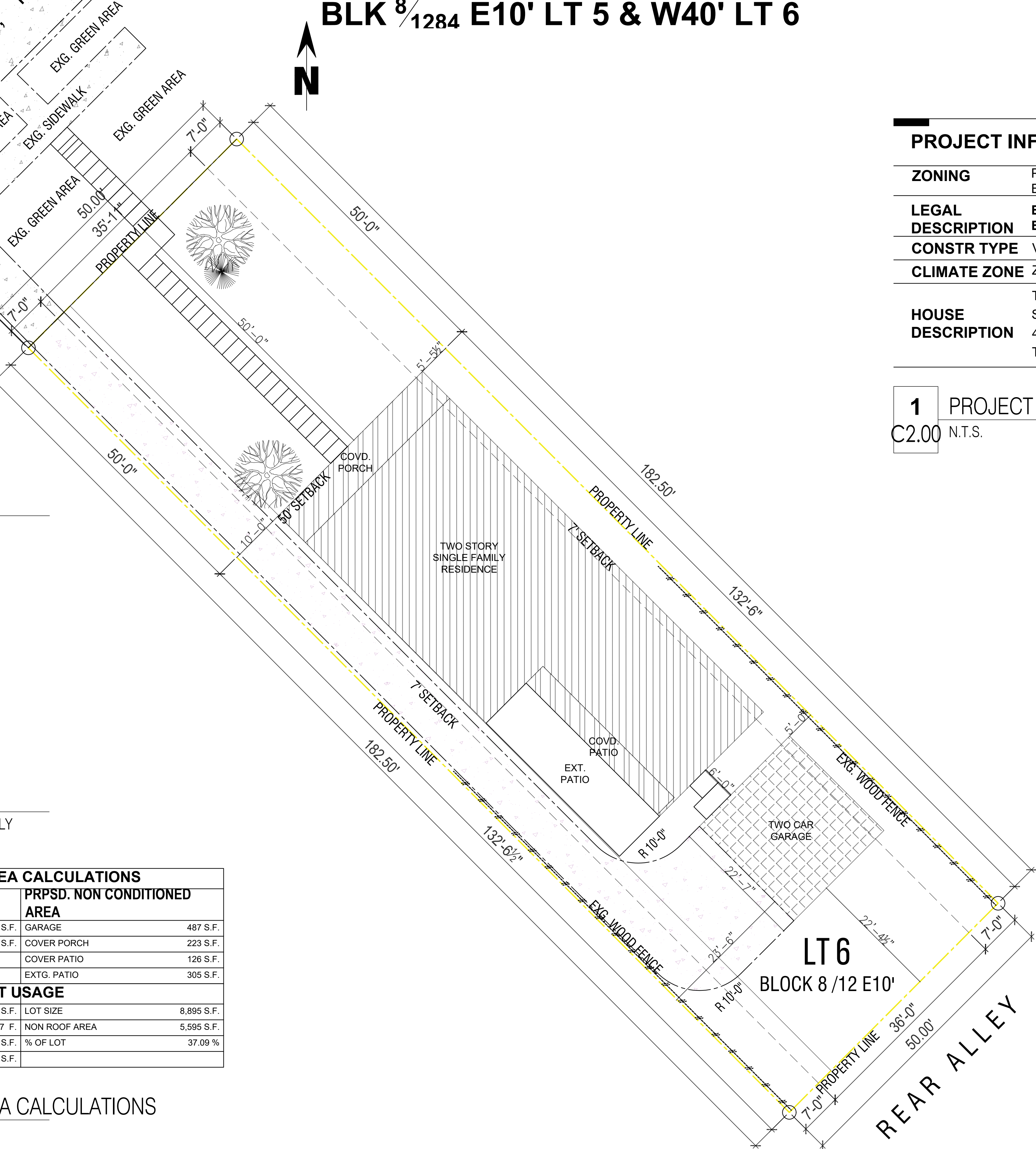
C2.00 FOR REFERENCE ONLY

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TTL UNDER ROOF FOOTPRINT	4,884 S.F.	% OF LOT	37.09 %

1 PROJECT AREA CALCULATIONS

C2.00 N.T.S.

- PROPERTY LINE
- UTILITY EASEMENT
- BUILDING FOOTPRINT
- BUILDING FOOTPRINT
- LOT SUBDIVISION
- LIVING AREA
- GARAGE
- DRIVEWAY & STORAGE
- COVD. PORCH & PATIO



*TRASH ENCLOSURE AND CONSTRUCTION SITE MANAGEMENT SIGN MUST BE POSTED IN AN AREA VISIBLE TO THE INSPECTOR.

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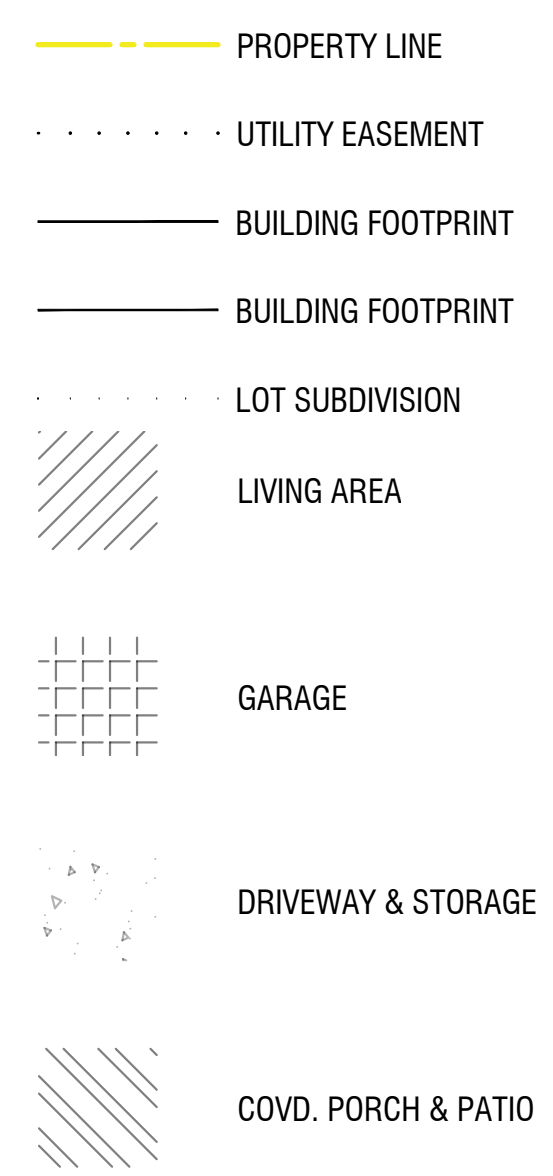
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TWO-STORY SINGLE FAMILY RESIDENCE
4 BEDROOM, 3 1/2 BATHROOM,
DETACHED TWO CAR GARAGE

SCALE
1" = 10' - 0"

SHEET TITLE
SITE PLAN

SHEET #
C2.00

FILE NAME
C2.00_SITE_PLAN



C8.01	1	DRAINAGE PLAN
	1" = 20' - 0"	

* ALL DRAINAGE TO FLOW TO STREET OR DRAINAGE STRUCTURES, AND NO TO ADJACENT PROPERTIES

* THE FINISHED FLOOR ELEVATION WILL BE A MINIMUM OF 12 INCHES ABOVE THE STREET LEVEL.

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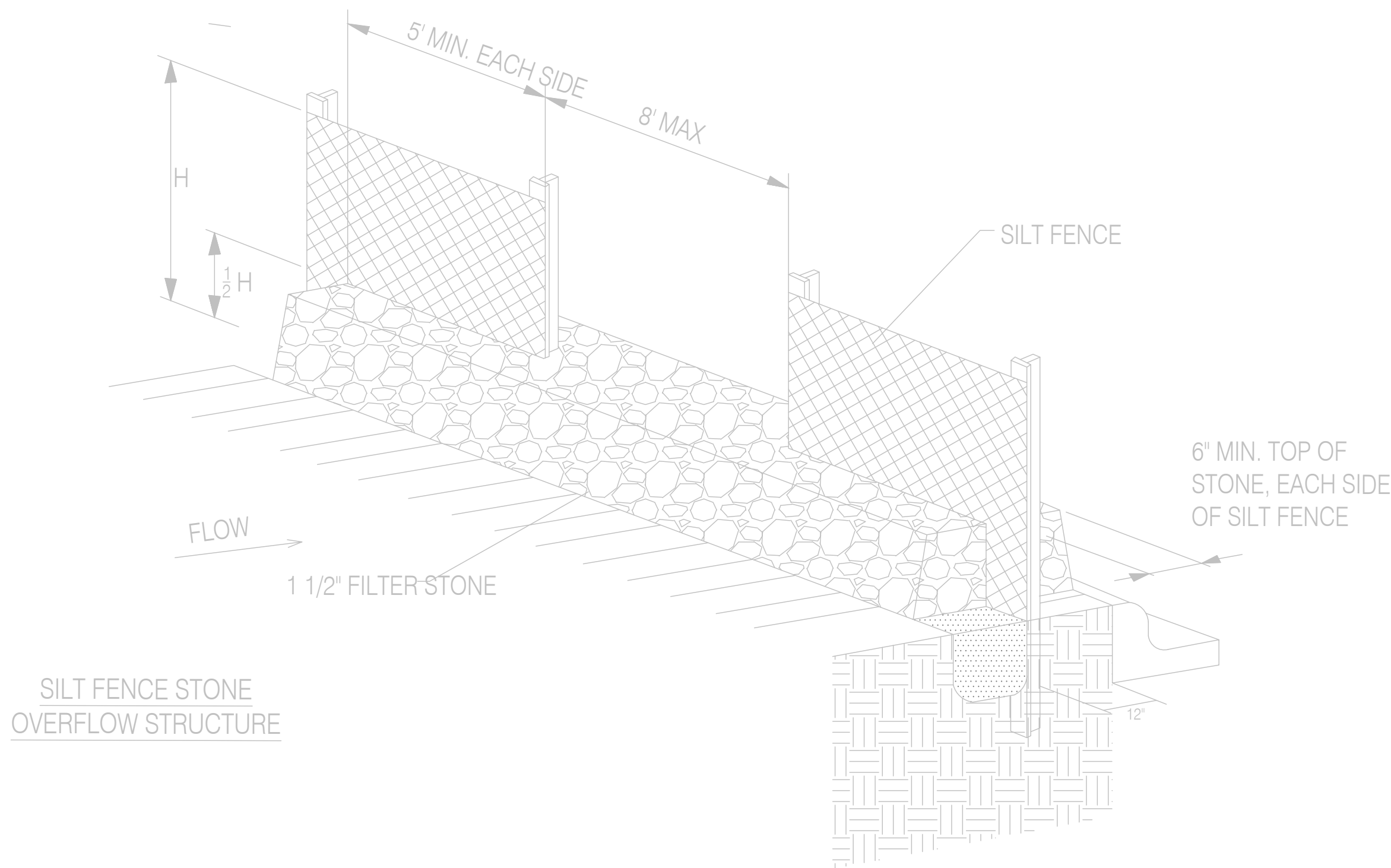
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DESCRIPTION

TWO-STORY SINGLE FAMILY RESIDENCE
4 BEDROOM, 3 1/2 BATHROOM,
DETACHED TWO CAR GARAGE

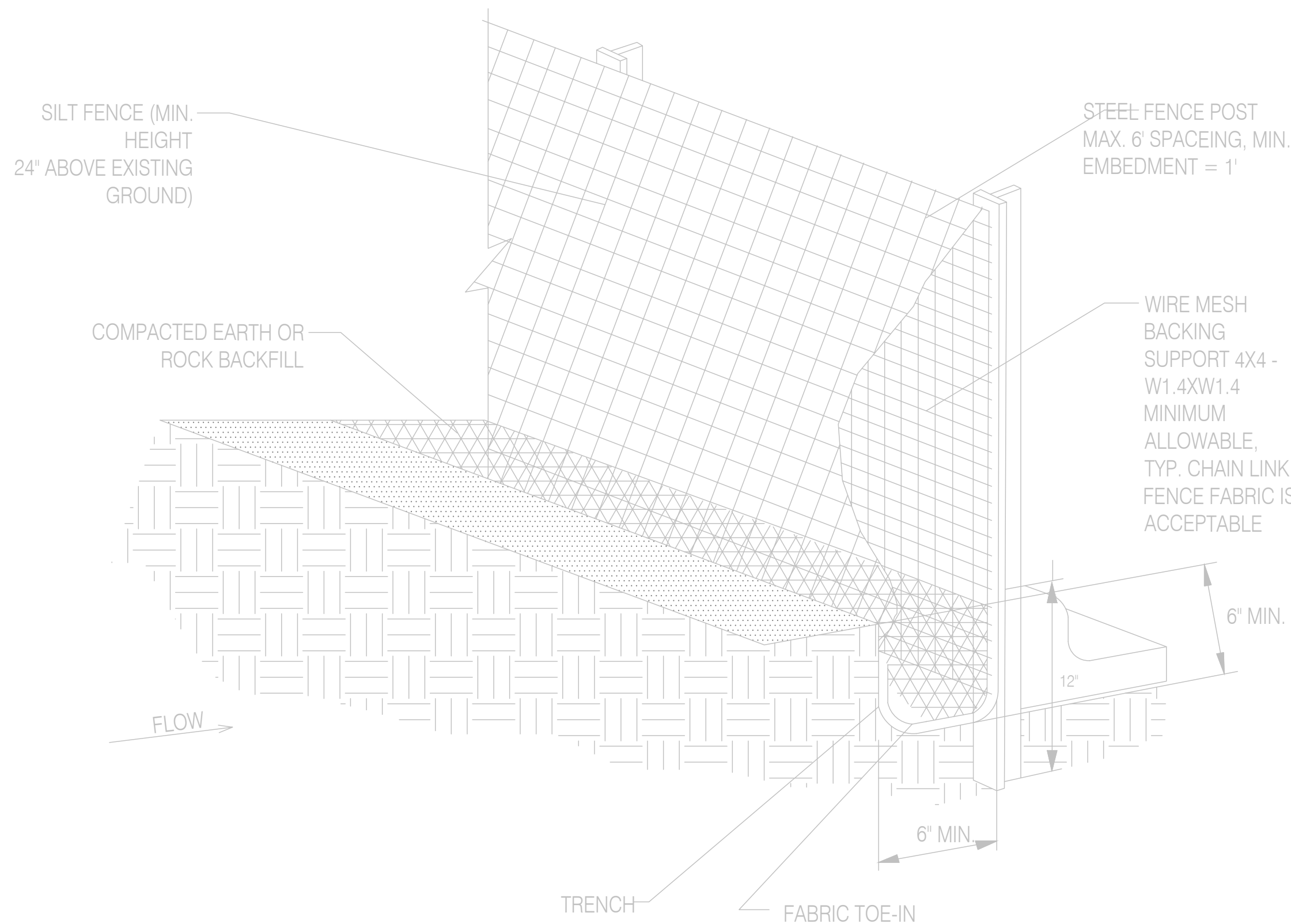
SHEET TITLE
DRAINAGE PLAN

FILE NAME
C8.01_DRAINAGE_PLAN



SILT FENCE STONE
OVERFLOW STRUCTURE

NOTE: STONE OVERFLOW STRUCTURES OR OTHER OUTLET CONTROL DEVICES SHALL BE INSTALLED AT ALL LOW POINTS ALONG THE FENCE AT A MINIMUM OF EVERY 300 FEET.



GENERAL NOTES

1. INSPECTIONS SHALL BE PERFORMED EVERY 7 DAYS AND ANY REPAIR OR MAINTENANCE ON EROSION CONTROLS AND BEST MANAGEMENT PRACTICES WILL BE MADE PROMPTLY AS NEEDED.
2. NO EXCAVATION OR CURB CUT-BACKS WILL BE ALLOWED WITHIN 18 INCHES OF THE STREET OR CURB WITHOUT APPROVAL FROM THE CITY ENGINEER.
3. STREETS WILL BE KEPT FREE FROM MUD OR EARTH MATERIALS DURING THE CONSTRUCTION.
4. USE OF ALTERNATE EROSION CONTROL DEVICES MUST BE APPROVED IN ADVANCE BY THE STORM WATER UTILITY MANAGER AND SHOWN CLEARLY ON THE EROSION CONTROL PLANS PRIOR TO ANY EARTH DISTURBING ACTIVITIES.
5. THE REQUIREMENTS OF NCTCOG BEST MANAGEMENT PRACTICES STANDARDS SHALL APPLY TO ALL ALTERNATE EROSION CONTROL DEVICES AS AMENDED BY THE CITY.
- 6.

SILT FENCE GENERAL NOTES

1. STEEL POSTS WHICH SUPPORT THE SILT FENCE SHALL BE INSTALLED ON A SLIGHT ANGLE TOWARD THE ANTICIPATED RUNOFF SOURCE. POST MUST BE EMBEDDED A MINIMUM OF ONE FOOT.
2. THE TOE OF THE SILT FENCE SHALL BE TRENCHED-IN WITH SPADE OR MECHANICAL TRENCHER, SO THAT THE DOWN SLOPE FACE OF THE TRENCH CANNOT BE TRENCHED - IN (E.G. PAVEMENT OR ROCK SURFACE), WIGHT FABRIC FLAP WITH ROCK ON UPHILL SIDE TO PREVENT FLOW FROM SEEPING UNDER FENCE.
3. THE TRENCH MUST BE A MINIMUM OF 6 INCHES DEEP AND 6 INCHES WIDE TO ALLOW FOR THE SILT FENCE FABRIC TO BE LAID IN THE GROUND AND BACKFILLED WITH COMPACTED MATERIAL.
4. SILT FENCE SHOULD BE SECURELY FASTENED TO EACH STEEL SUPPORT POST OR TO WOVEN WIRE WHICH IN TURN IS ATTACHED TO THE STEEL FENCE POST. THERE SHALL BE A 3 FOOT OVERLAP, SECURELY FASTENED WHERE ENDS OF FABRIC MEET.
5. SILT FENCE SHALL BE REMOVED WHEN THE SITE IS COMPLETELY STABILIZED.
6. ACCUMULATED SILT SHALL BE REMOVED WHEN IT REACHES A DEPTH HALF THE HEIGHT OF THE FENCE. THE SILT SHALL BE DISPOSED OF AT AN APPROVED SITE AND IN SUCH A MANNER AS TO NOT CONTRIBUTE TO ADDITIONAL SILTATION.
7. ROCK FILTER DAM SHALL BE USED AT CONCENTRATED HIGH FLOW DISCHARGE AREAS IN LIEU OF SILT FENCE.
- 8.

EROSION CONTROL MAT NOTES

1. EROSION CONTROL MATS SHALL BE IN COMPLIANCE WITH NCTCOG BEST MANAGEMENT PRACTICES. EROSION CONTROL MATS MAY BE USED IN PLACE OF, OR IN ADDITION TO SILT FENCE FOR SHEET FLOW FILTERING APPLICATIONS.
2. MATS SHALL BE INSTALLED AND ANCHORED SECURELY TO THE GROUND IN COMPLIANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
3. THE WIDTH REQUIREMENT OF THE EROSION CONTROL MATS SHALL BE COMPARABLE TO THE WIDTH OF THE DISTURBED SURFACE TO BE FILTERED. THE MINIMUM WIDTH SHALL BE 10 FEET FOR SINGLE FAMILY LOTS AND 20 FEET FOR COMMERCIAL APPLICATIONS, UNLESS OTHERWISE APPROVED FROM THE STORM WATER UTILITY MANAGER.
4. THE WIDTH OF EROSION CONTROL MATS CAN BE REDUCED WHEN USED IN CONJUNCTION WITH SILT FENCE AND CLOCK SOD VEGETATIVE BUFFER STRIPS. IN NO APPLICATIONS WILL EROSION CONTROL MATS BE LESS THAT 4 FEET WIDE.

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4 BEDROOM, 3 1/2 BATHROOM,
DETACHED TWO CAR GARAGE

SCALE
NTS

SHEET TITLE
DRAINAGE PLAN DETAILS

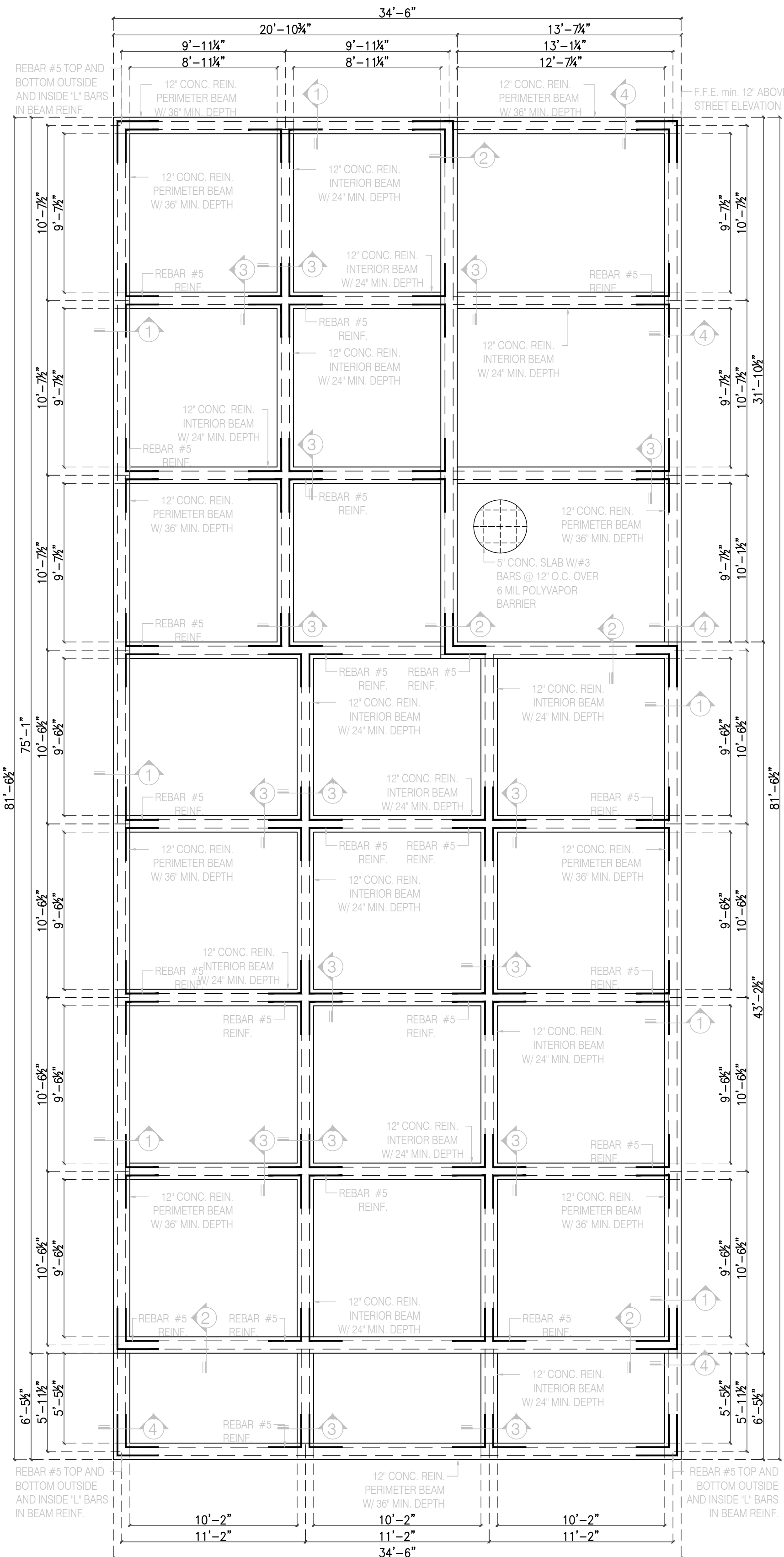
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C8.02

FILE NAME
C8.02_DRAINAGE_DTLS

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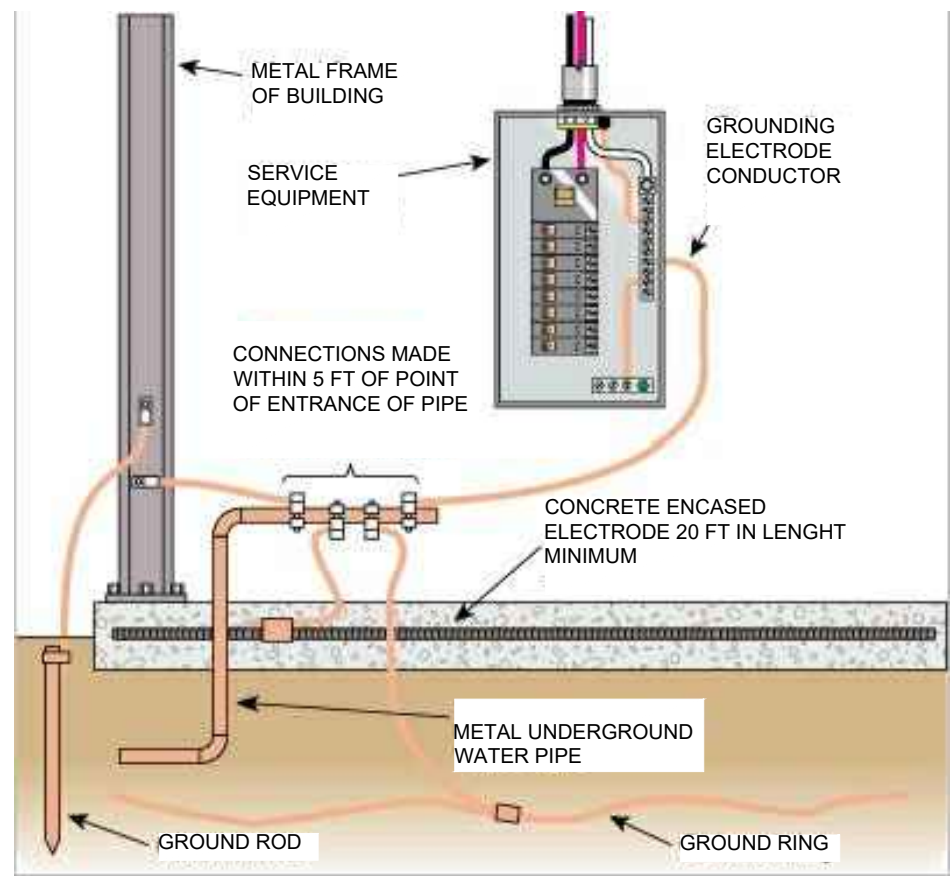
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C8.02 NTS



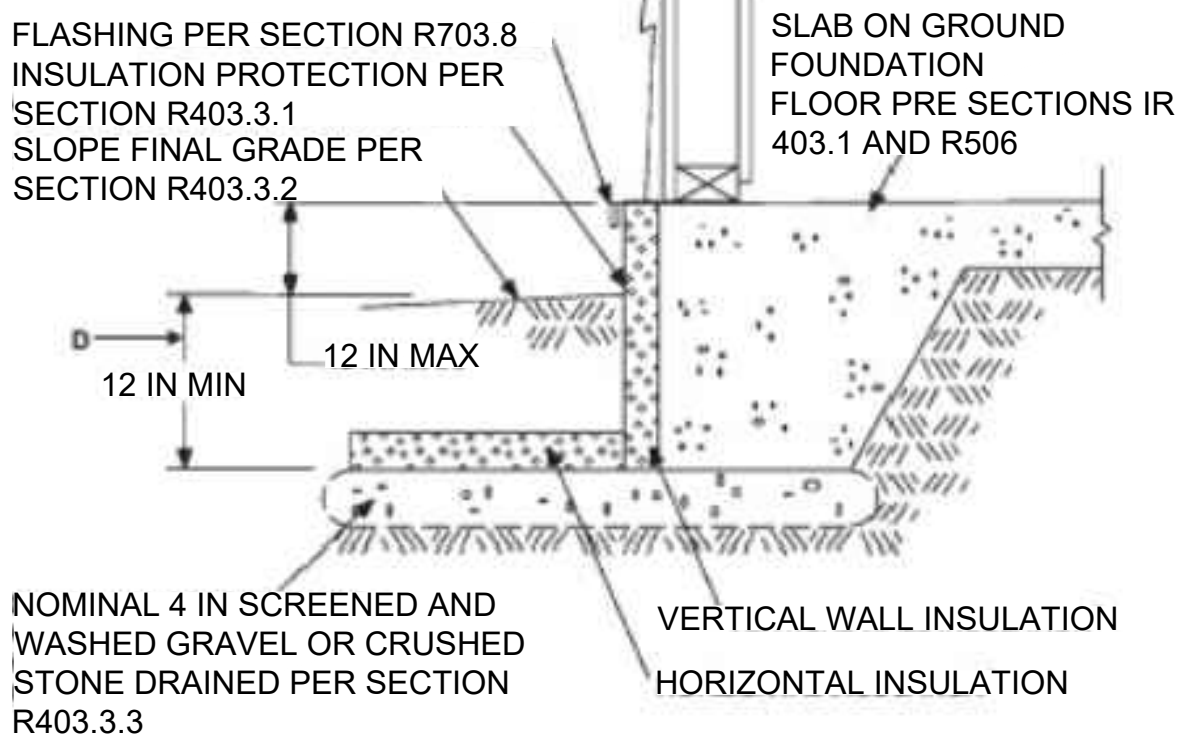
PROJECT INFORMATION	
ZONING	PD-595, SUBDISTRICT R-7.5 (A) SOUTH BLVD/PARK ROW HISTORIC DISTRICT
LEGAL DESCRIPTION	EDGEWOOD BLK 5/284 E10' LT 5 & W440' LT 6
CONSTR TYPE	V-B
CLIMATE ZONE	ZONE 3A (MOIST)
HOUSE DESCRIPTION	TWO STORY SINGLE FAMILY RESIDENCE 4 BEDROOMS, 3.5 BATHROOMS TWO CAR DETACHED GARAGE

DISCLAIMER
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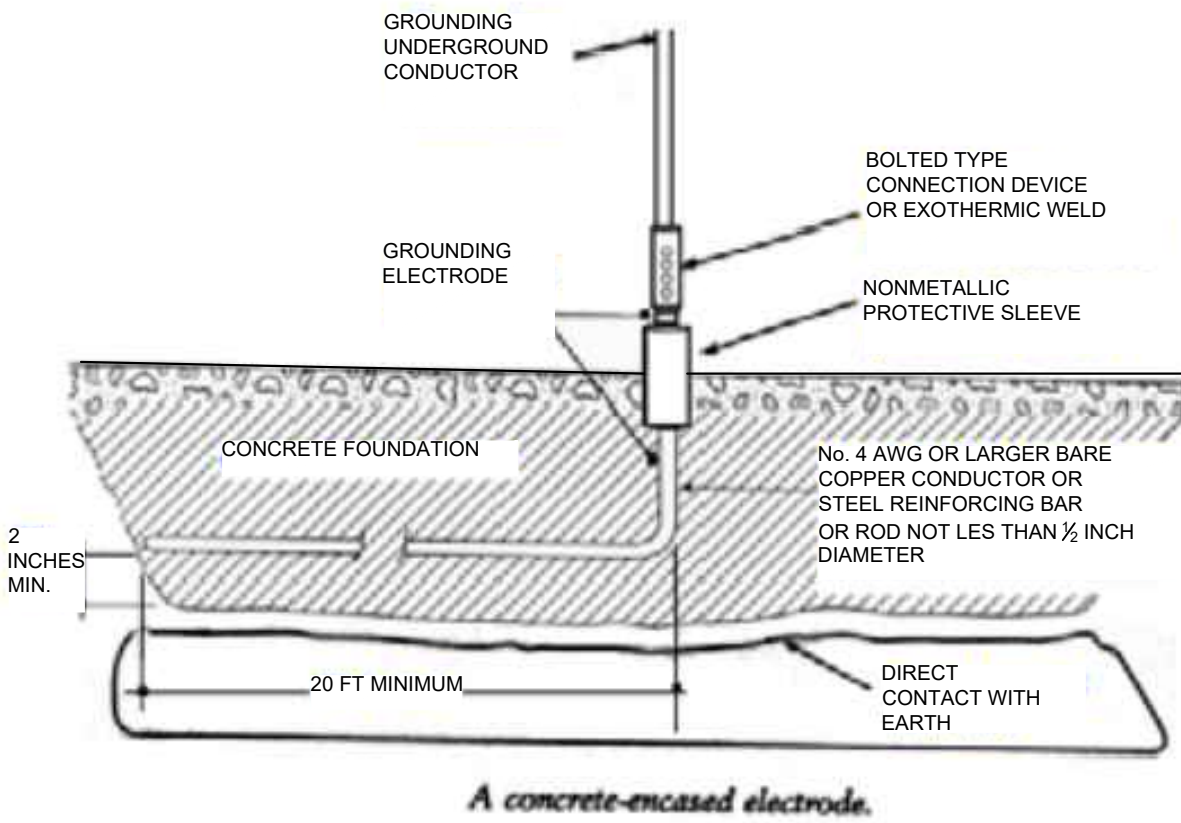


UFER SYSTEM
NOT TO SCALE

INSULATION DETAIL
R403.3 FROST PROTECTED SHALLOW FOUNDATIONS



FOUNDATION INSULATION *COMPLYING WITH ASTM C578
NOT TO SCALE



1 CONCRETE ENCASED ELECTRODE (20 FT LENGTH MIN.)
NOT TO SCALE

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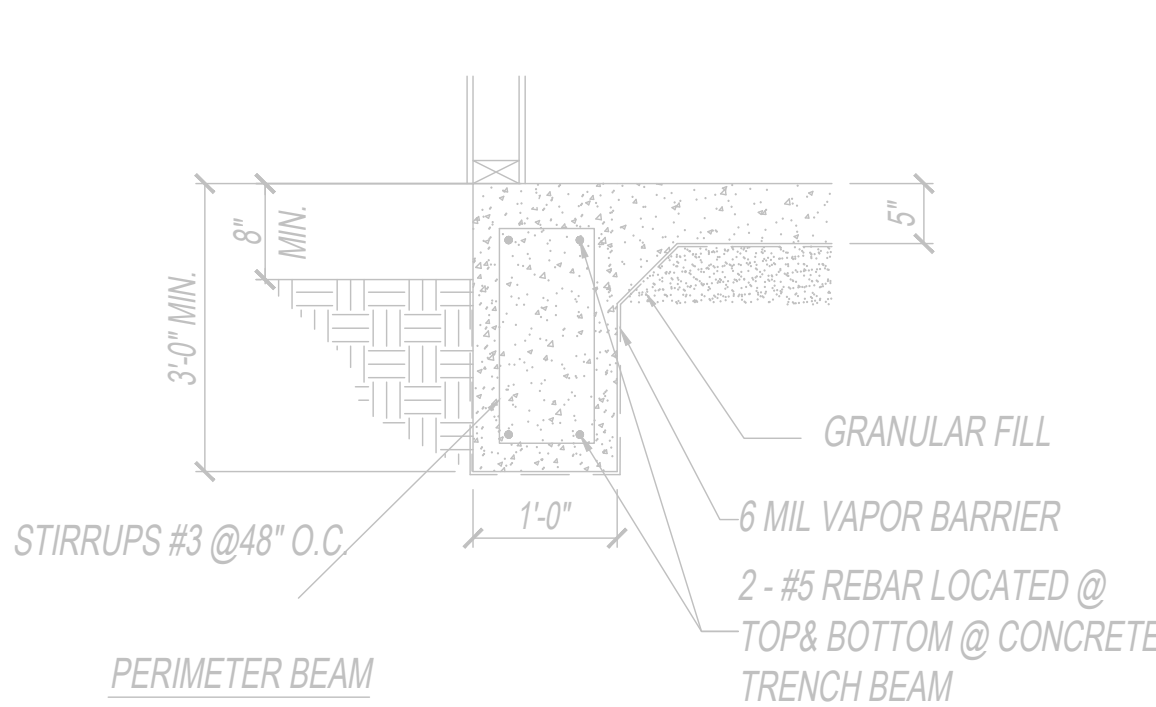
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DETACHED TWO CAR GARAGE

SCALE
3/16" = 1'-0"

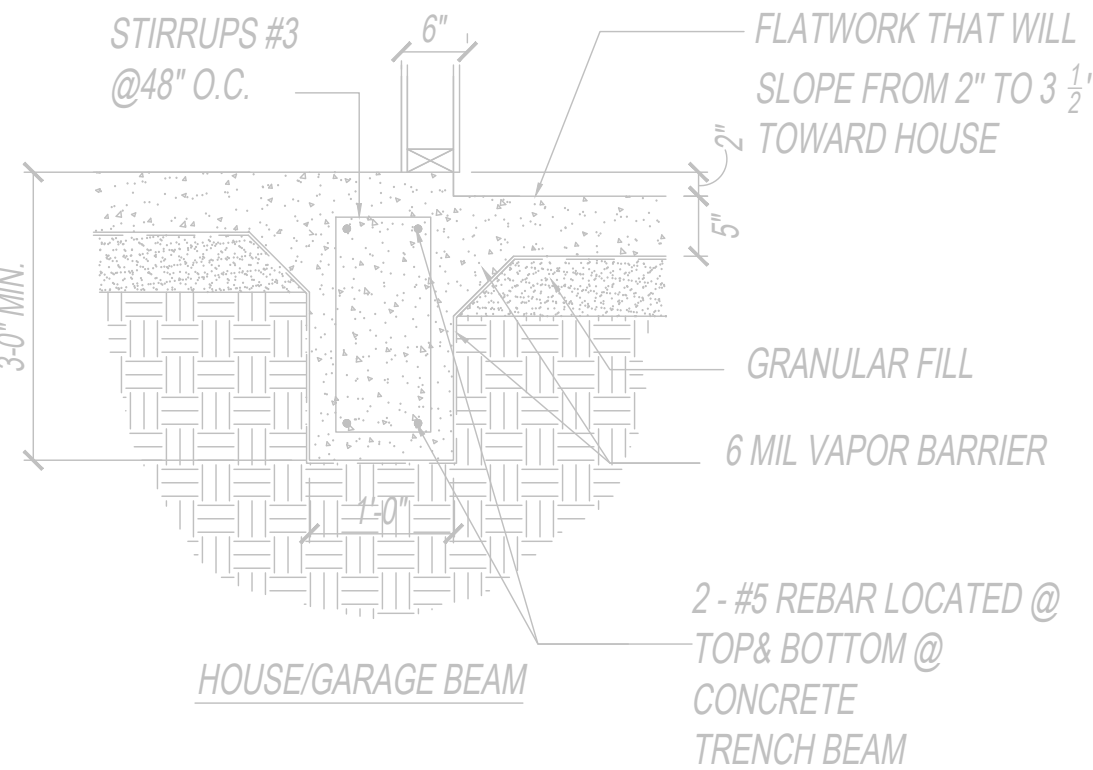
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SHEET #
S2.00

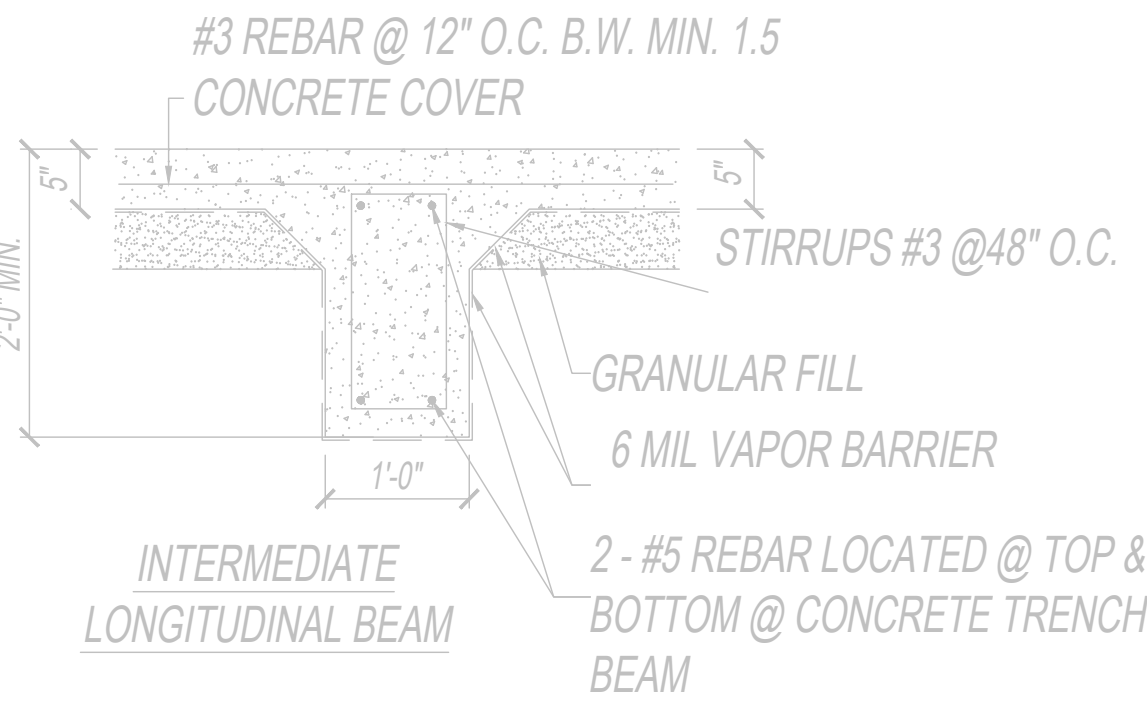
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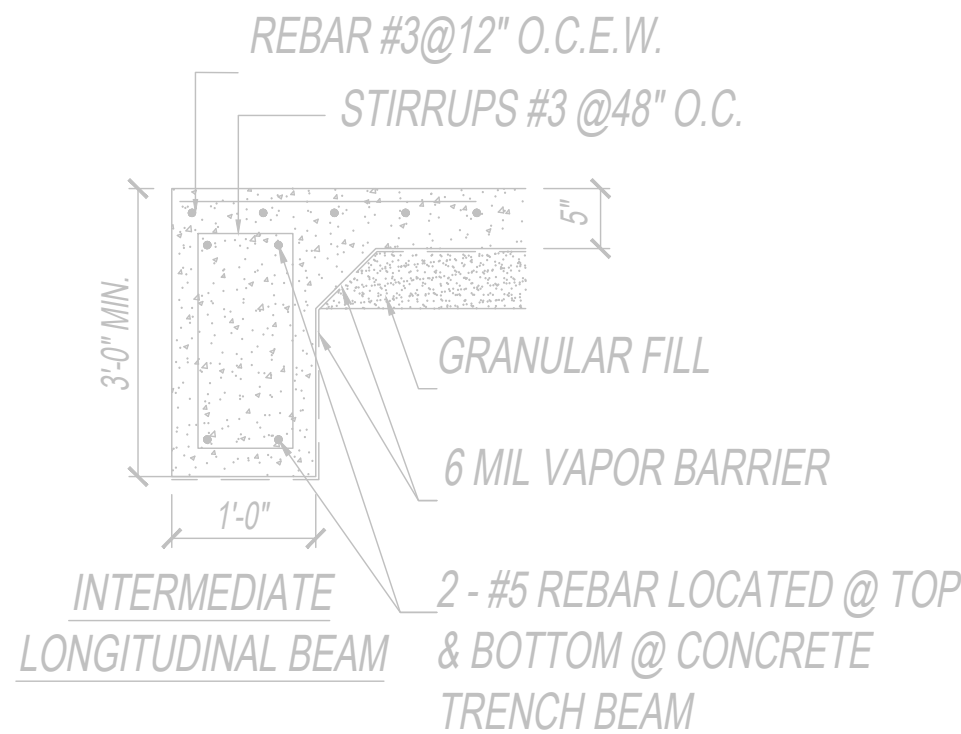
1 TYP. EXT. BEAM SECTION SIDINGS
N.T.S



2 STEP @ BEAM SECTION
N.T.S



3 TYP. INTERIOR BEAM SECTION
N.T.S



4 TYP. CORNER BEAM SECTION
N.T.S

PROJECT INFORMATION

ZONING	PD-595, SUBDISTRICT R-7.5 (A) SOUTH BLVD/PARK ROW HISTORIC DISTRICT
LEGAL DESCRIPTION	EDGEWOOD BLK $\frac{3}{4}$ 284 E10' LT 5 & W40' LT 6
CONSTR TYPE	V-B
CLIMATE ZONE	ZONE 3A (MOIST)
HOUSE DESCRIPTION	TWO STORY SINGLE FAMILY RESIDENCE 4 BEDROOMS, 3.5 BATHROOMS TWO CAR DETACHED GARAGE

FUNDATION NOTES IRC 2021

- THE FLOOR SLABS SHOULD BE PLACED ON A MINIMUM OF 2 FEET OF COMPACTED AND TESTED SELECT FILL DUE TO THE HIGHLY PLASTIC NATURE OF INSITU SOIL.
- IT IS RECOMMENDED THAT THE EXISTING SOIL BE STRIPPED TO A DEPTH OF 2 FEET BELOW THE BOTTOM OF ALL FOUNDATION ELEMENTS. PRIOR TO PLACING, ANY ADDITIONAL FILL MATERIAL, WE RECOMMEND THAT ALL EXPOSED SURFACES BE SCARIFIED TO A DEPTH OF ABOUT 6 TO 8 INCHES, MOISTURE CONDITIONED TO A MOISTURE CONTENT RANGING BETWEEN 2 TO 5 PERCENTAGE POINTS ABOVE THE OPTIMUM MOISTURE CONTENT AS DEFINED BY ASTM D 698 (STANDARD PROCTOR TEST.), AND COMPACTED BETWEEN 93 AND 98 PERCENT OF THEIR MAXIMUM DRY DENSITY.
- OVER-EXCAVATIONS SHOULD EXTEND A MINIMUM OF 2 FEET BEYOND ALL SIDES OF THE PERIMETER FOOTINGS OR BEAMS.
- WE RECOMMEND THAT PROOFROLLING OF EXPOSED SUBGRADE PRIOR TO BACKFILLING AND THE COMPACTION OF STRUCTURAL FILL OPERATION BE OBSERVED AND DOCUMENTED BY A GEOTECHNICAL ENGINEER OR QUALIFIED REPRESENTATIVE OF THE GEOTECHNICAL ENGINEER (RGE).
- ALL FILL SHALL BE SPREAD IN LAYERS NOT EXCEEDING EIGHT (8) INCHES, WATERED AS NECESSARY, AND COMPACTED. MOISTURE CONTENT AT THE TIME OF COMPACTION SHALL BE WITHIN 2 PERCENT OF OPTIMUM MOISTURE CONTENT. COMPACTION OF THE FILL SHALL BE ACCOMPLISHED TO OBTAIN A DENSITY OF NOT LESS THAN 98 PERCENT OF MAXIMUM DRY DENSITY.
- A MINIMUM OF 6-MIL POLYETHYLENE VAPOR BARRIER (PVB) SHOULD BE PLACED ON TOP OF THE PREPARED SUITABLE SUBGRADE TO MITIGATE MOISTURE MIGRATION THROUGH THE SLABS. THE INTEGRITY OF THE PVB MUST BE MAINTAINED DURING SLABS CONSTRUCTION. A 2-INCH TO 4-INCH THICK CUSHION LAYER CONSISTING OF FINE SAND CAN BE PLACED BELOW THE PVB FOR LEVING PURPOSES.

GENERAL NOTES

- THE CONTRACTOR SHALL COORDITATE THE FOUNDATION PLAN WITH DRAWINGS FOR OPENINGS, DROPS, INSERTS, AND RELATED ITEMS. CONTRACTOR SHALL ALSO VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD BEFORE CONCRETE IS PLACED.
- THE CONTRACTOR SHALL VERIFY, PRIOR TO CONSTRUCTION, THAT THE NEW CONSTRUCTION WILL NOT CONFLICT WITH ANY EXISTING UTILITIES. IF CONFLICTS ARISE, THE CONTRACTOR SHALL NOTIFY THE JURISDICTION AND SHALL STOP UNTIL AN APPROPRIATE SOLUTION TO THE CONFLICTS IS FOUND.
- TYPICAL DETAILS AND NOTES SHALL APPLY UNLESS SPECIFICALLY SHOWN OR NOTED OTHERWISE. CONSTRUCTION DETAILS NOT FULLY SHOWN OR NOTED SHALL BE SIMILAR TO DETAILS SHOWN FOR SIMILAR CONDITIONS.
- DUE TO THE INTRICACIES OF CONSTRUCTION, IT IS IMPRACTICAL TO SPECIFY OR SHOW EVERY DETAIL. IF A CONDITION IS NOT SHOWN, A SIMILAR DETAIL OR THE CURRENT RULES OF GOOD COSTRUCTION PRACTICES SHALL BE PRACTICES SHALL BE FOLLOWED.
- SITE GRADINGS AND DRAINAGE AROUND THE FOUNDATION SHALL BE MAINTAINED AT ALL TIMES IN SUCH A MANNER THAT SURFACE OR GROUND WATER WILL NOT COLLECT UNDER OR ADJACENT TO THE SLAB. MOISTURE CONTENT SHOLD BE KEPT CONSISTENT AND PROPER DRAINAGE AWAY FROM SLAB IS REQUIRED.
- DRAINAGE: THE FINAL GRADE AROUND THE FOUNDATION SHALL BE 6" BELOW THE TOP OF THE FOUNDATION AND SLOPE AWAY FROM THE FOUNDATION A MINIMUM OF 3" IN 5'-0".
- AT OWNERS / CONTRACTORS OPTION, BRICK LEDGE MAY BE INCLUDED OR OMITTED AT EXTERIOR DOOR OPENINGS.
- MINIMUM EMBEDMENT DEPTH OF THE BEAMS SHALL BE NO LESS THAN 24 INCHES.
- CONSTRUCTION
- ALL BEAMS BOTTOMS MUST BE FOUNDED A MINIMUM OF 24" INTO UNDISTURBED SOIL OR PROPERLY COMPACTED FILL.
- BEAM BOTTOMS MAY BE SLOPED OR STEPPED TO MEET THIS REQUIREMENTS. BEAM SIZES SHOWN NOT BE DECREASED WITHOUT WRITTEN APPROVAL OF THE ENGINEER. BEAM DEPTHS MAY BE INCREASED UP TO 34 IN. TO MEET THIS REQUIREMENT WITHOUT ADDITIONAL REINFORCING. UPON COMPLETION OF FINAL GRADING, ALL BEAMS SHALL HAVE 6"-12" EXPOSED ABOVE GRADE. BEAM BOTTOMS SHALL BE CLEAN AND FREE OF ANY LOOSE MATERIAL.
- BRICK CONTROL JOINST SHALL BE PLACED AT 20'-30' ON CENTER FOR WALL OVER 40'-0" IN LENGTH.
- VERIFY ALL DIMENSIONS WITH BUILDER.

DESIGN

- ALL REINFORCING BARS SHALL BE GRADE 60 AND CONFORM TO A.S.T.M. A615-60
- BARS SHALL BE CLEAN AND SUPPORTED ON CHAIRS AND TIED AT ALL INTERSECTIONS TO PREVENT VERTICAL AND HORIZONTAL MOVEMENT DURING CONCRETE PLACEMENT. USE 4 FT. MAXIMUM SUPPORT CENTERS ALONG EACH BAR. LAP BARS A MINIMUM OF 12". PROVIDE CORNER BARS AT EACH OUTSIDE CORNER AS SHOWN ON PLAN. STIRRUPS AND TIES SHALL HAVE 4 INCH. HOOK.
- ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH, F'C, OF 4,000 P.S.I. AT 28 DAYS. MAXIMUM SLUMP, SHALL BE 6" WITH 6% AIR. ALL CONCRETE SHALL BE PLACED IN ACCORDANCE WITH APPLICABLE ACI STANDARDS.
- MINIMUM CONCRETE PROTECTION FOR REINFORCEMENT:
- PROVIDE CORNER BARS AT ALL EXTERIOR CORNERS AND ALL DISCONTINUOUS ENDS OF BEAMS.

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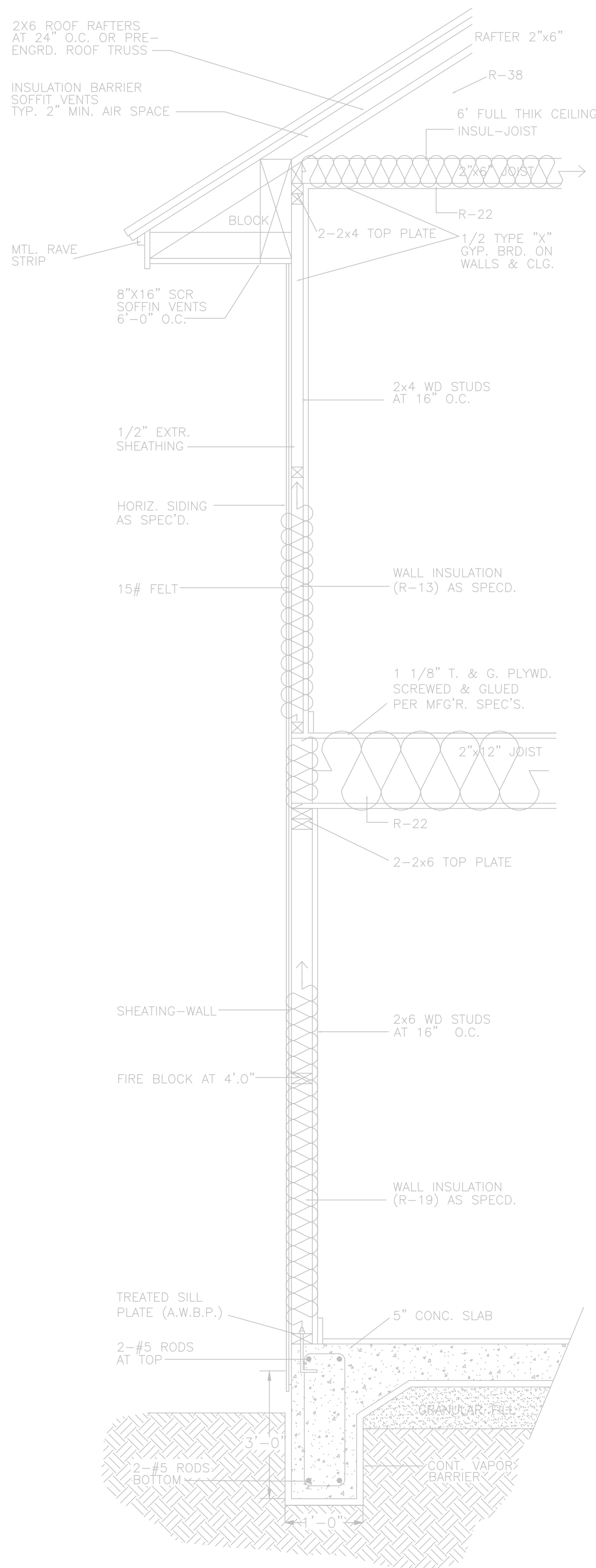
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FOUNDATION SECTION & DETAILS

SHEET #
S3.00

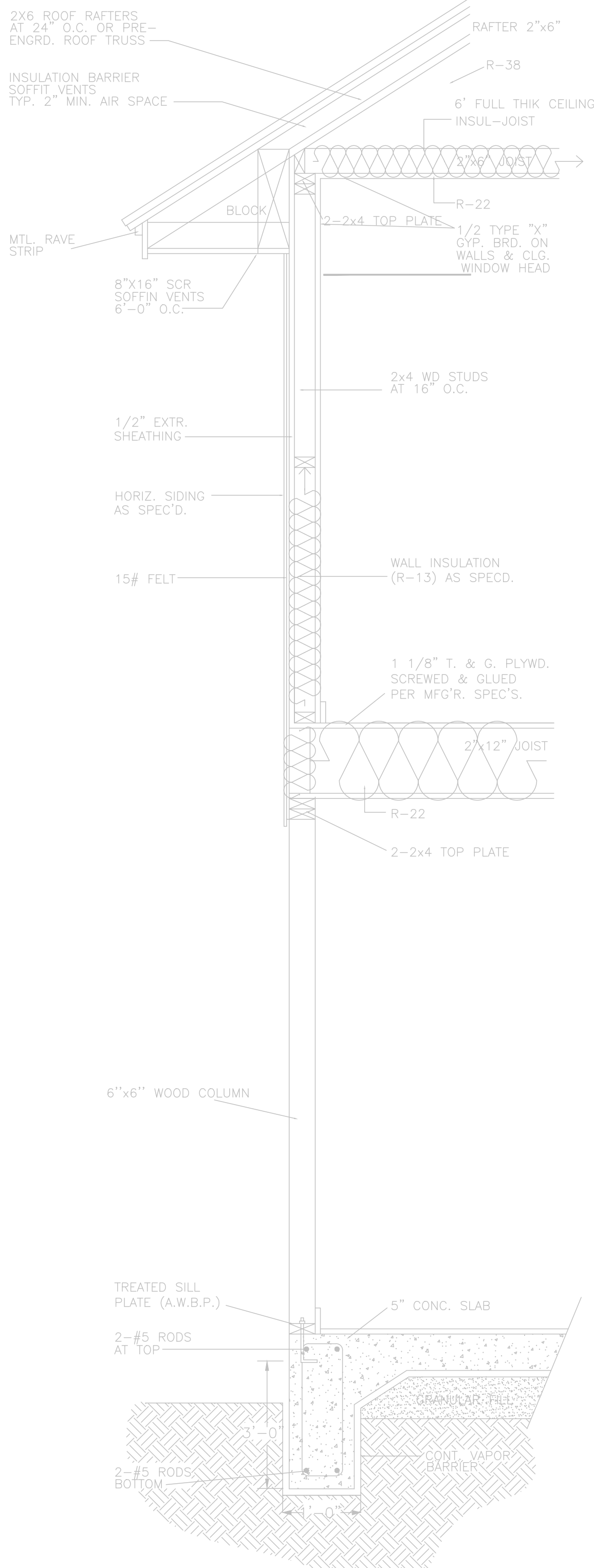
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WALL SECTION - SIDING
not to scale



COLUMN SECTION - SIDING
not to scale

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WALL SECTIONS

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A3.00

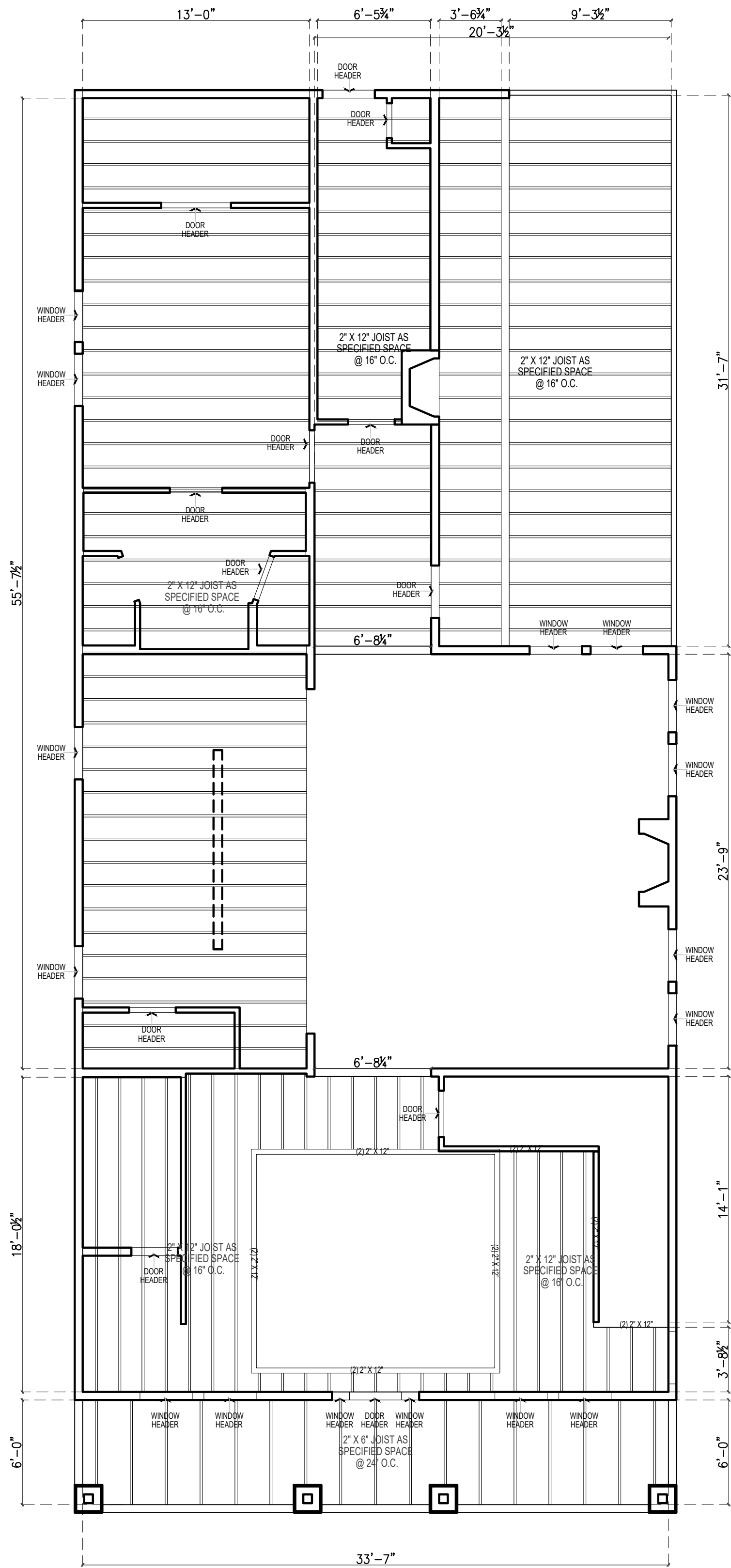
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S4.01

GROUND LEVEL FLOOR PLAN - FRAMING PLAN

3/16" = 1'-0"



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317 E. JEFFERSON BLVD.
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TEL. (214) 946-4300
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REVISIONS	
DRAFTER	SENT DATE
IB	03-25-2024
IB	04-04-2024

ADDRESS
2522 PARK ROW AVE
DALLAS, TEXAS
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DATE
5/23/24

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DESCRIPTION
TWO-STORY SINGLE FAMILY RESIDENCE
4 BEDROOM, 3 1/2 BATHROOM,
DETACHED TWO CAR GARAGE

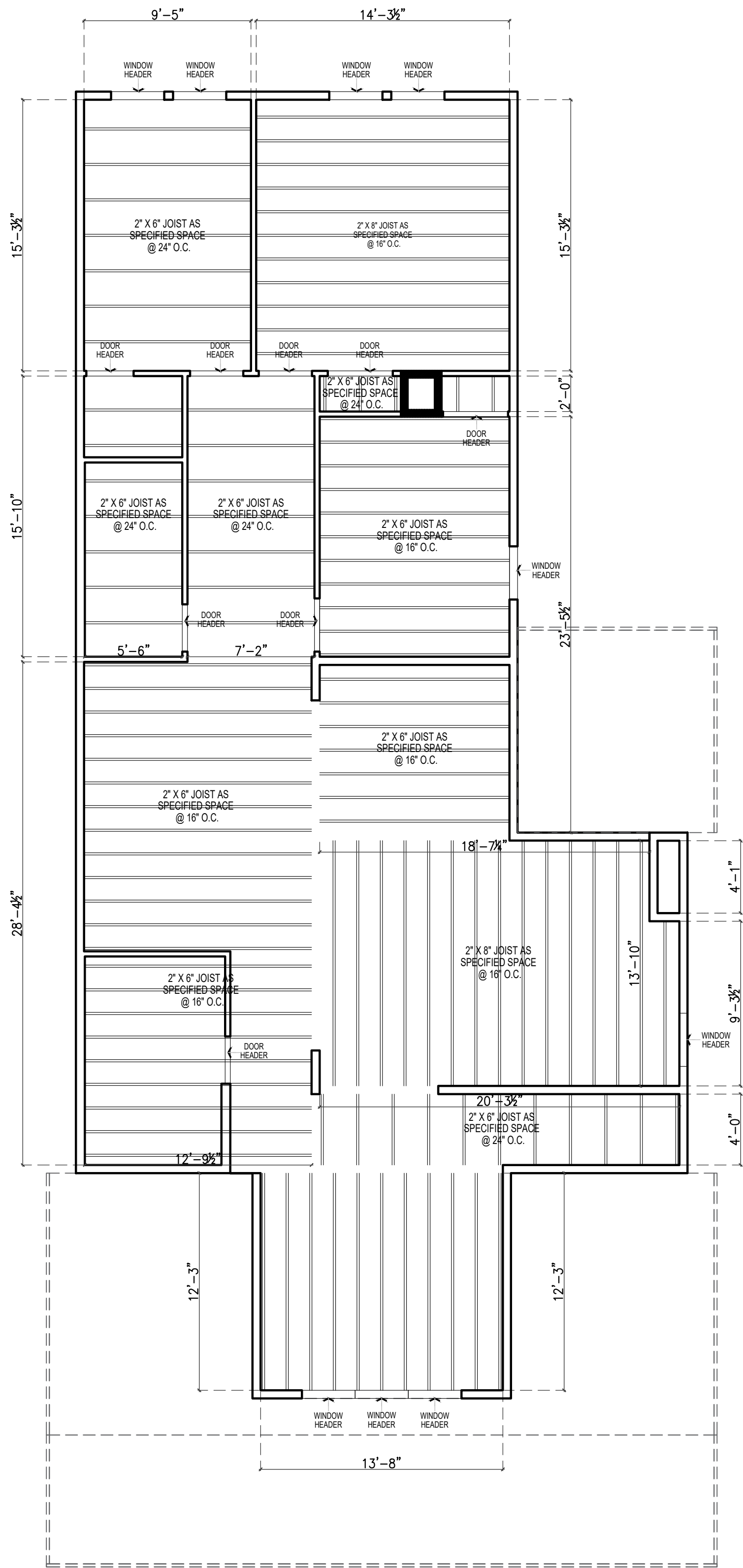
SCALE
3/16" = 1'-0"

SHEET TITLE
FRAMING PLAN

SHEET #
S4.01

FILE NAME
S4.01_FLR1_FRMG

*DISCLAIMER. ANY LVL, GLUED LAM BEAMS, ANY STRUCTURAL LOAD BEARING BEAM CANNOT BE MODIFIED OR ALTERED TO ACCOMMODATE A/C DUCT WORK.



1 SECOND LEVEL FLOOR PLAN - FRAMING PLAN
S4.02 3/16" = 1'-0"

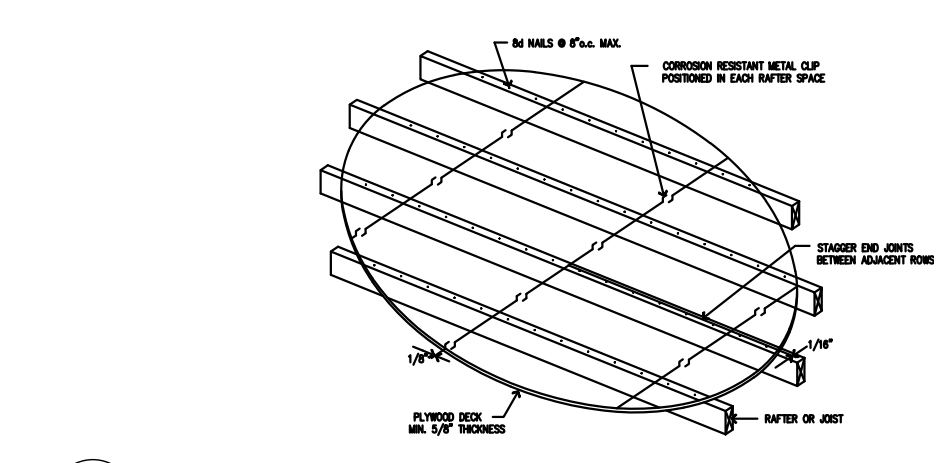
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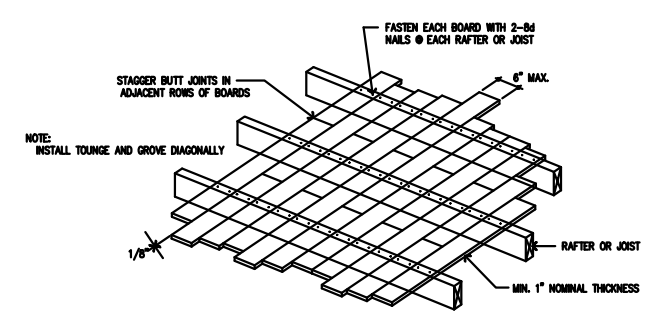
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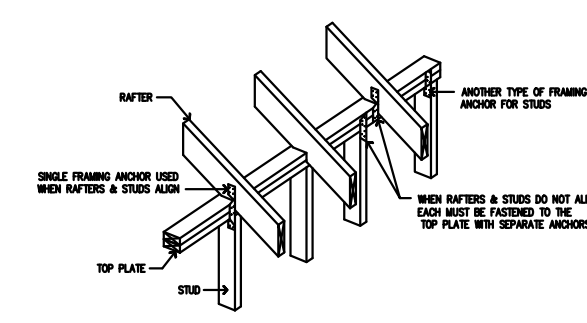
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SCALE	3/16" = 1'-0"
SHEET TITLE	FRAMING PLAN
SHEET #	S4.02
FILE NAME	S4.02_FLR2_FRMG



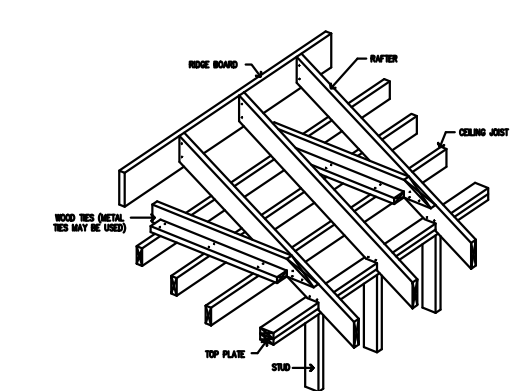
1 SOLID PLYWOOD SHEATHING



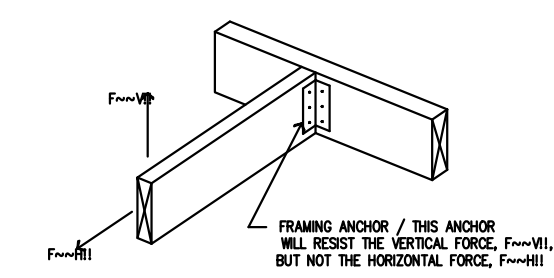
2 SOLID END - MATCHED BOARD SHEATHING



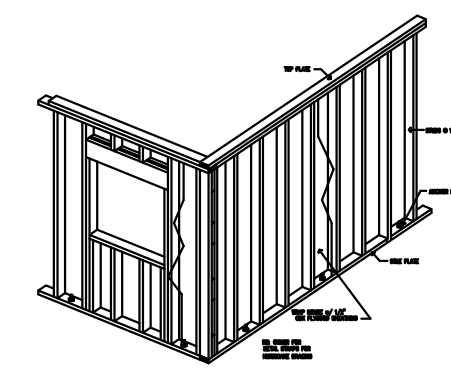
3 FASTENING RAFTERS TO THE WALL FRAMING



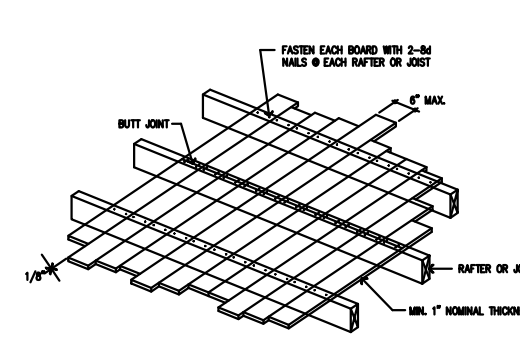
4 SECURING RAFTERS TO PERPENDICULAR JOIST BELOW



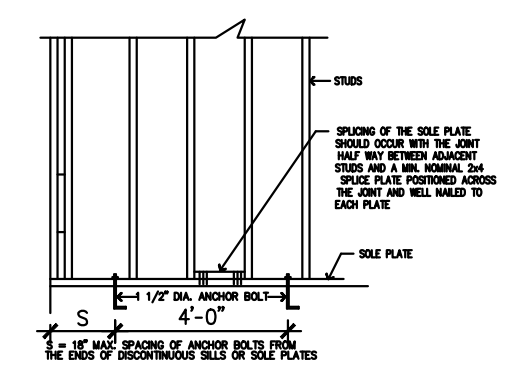
5 PROPER USE OF RAMING ANCHORS



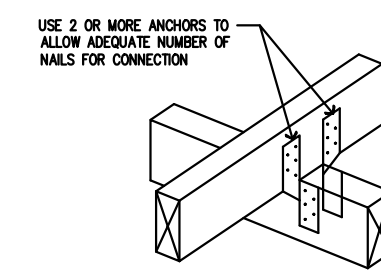
6 LATERAL BRACING OF EXTERIOR WALLS



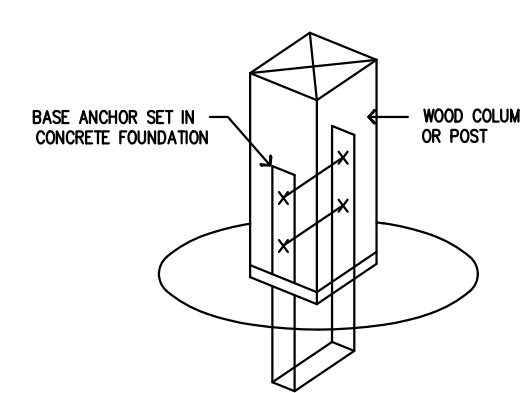
7 SOLID BOARD SHEATHING



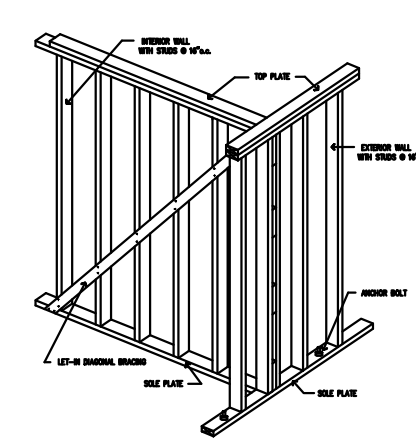
8 SPLICING OF SILLS OR SOLE PLATES



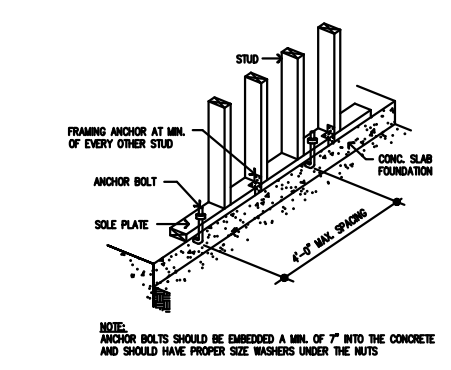
9 MEETING MIN. NAIL REQUIREMENTS WITH LARGE LUMBER OR TIMBER CONNECTIONS



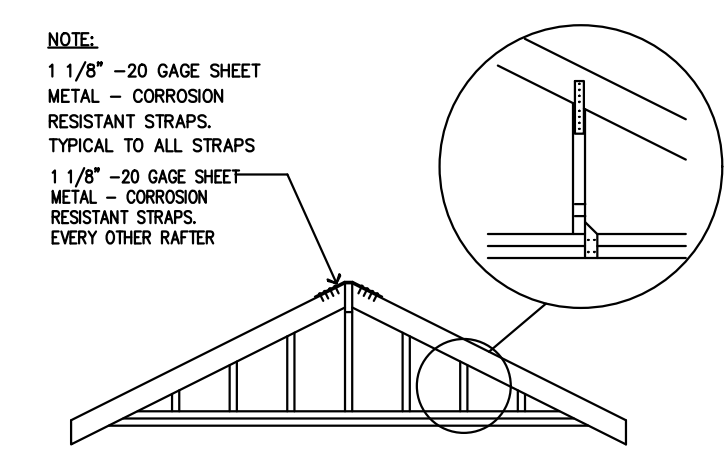
10 TYPICAL ANCHORAGE OF WOOD COLUMN OR POST TO A CONCRETE FOUNDATION



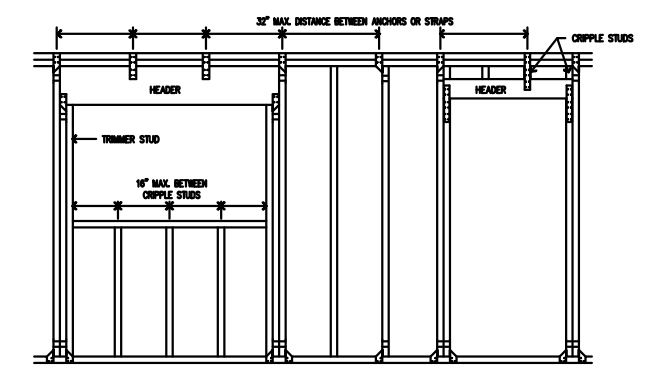
11 LATERAL BRACING OF INTERIOR WALL AT INTERSECTION WITH AN EXTERIOR WALL



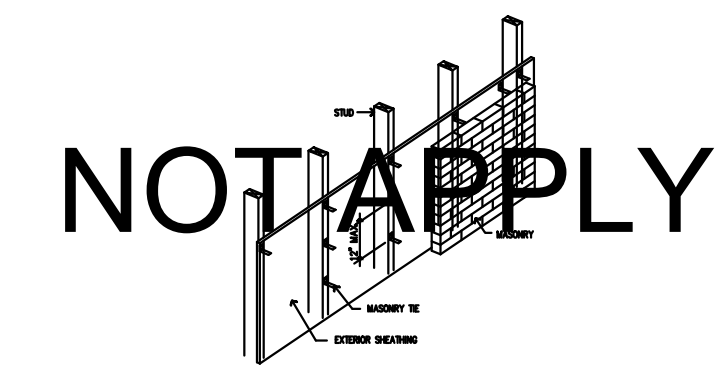
12 ANCHOR SILL PLATE TO FOUNDATION



13 CONNECTING GABLE STUDS TO RAFTER AND TOP PLATE



14 ANCHORAGE OF HADERS



15 ANCHORING MASONRY VENEER TO WALL FRAMING

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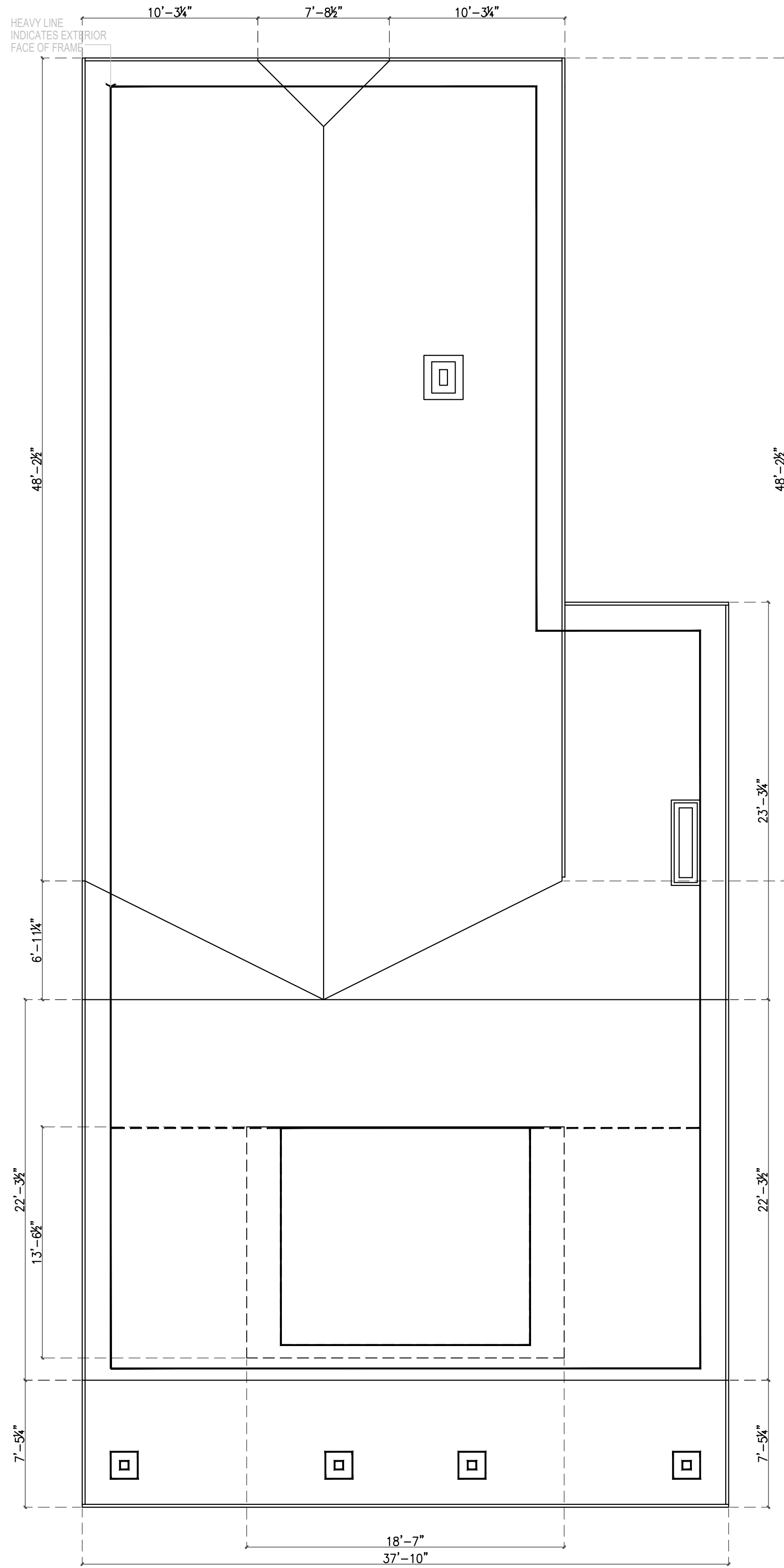
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4 BEDROOM, 3 1/2 BATHROOM,
DETACHED TWO CAR GARAGE

SCALE
NTS

SHEET TITLE
FRAMING SECT & DETLS

SHEET #
S5.00

FILE NAME
S5.00_FRMG_SEC_DTLS



1 ROOF PLAN
A1.05 $\frac{3}{16}" = 1'-0"$

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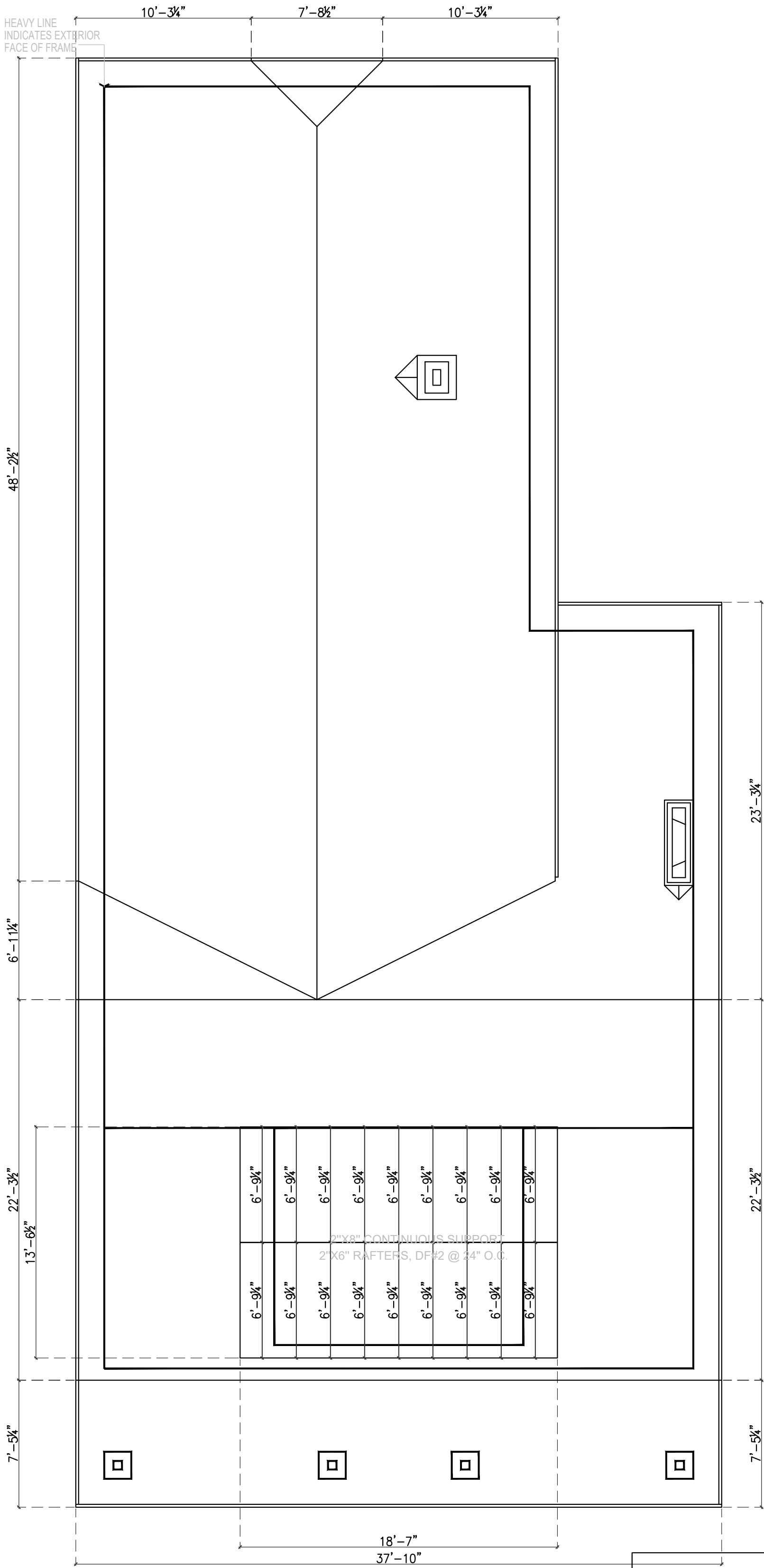
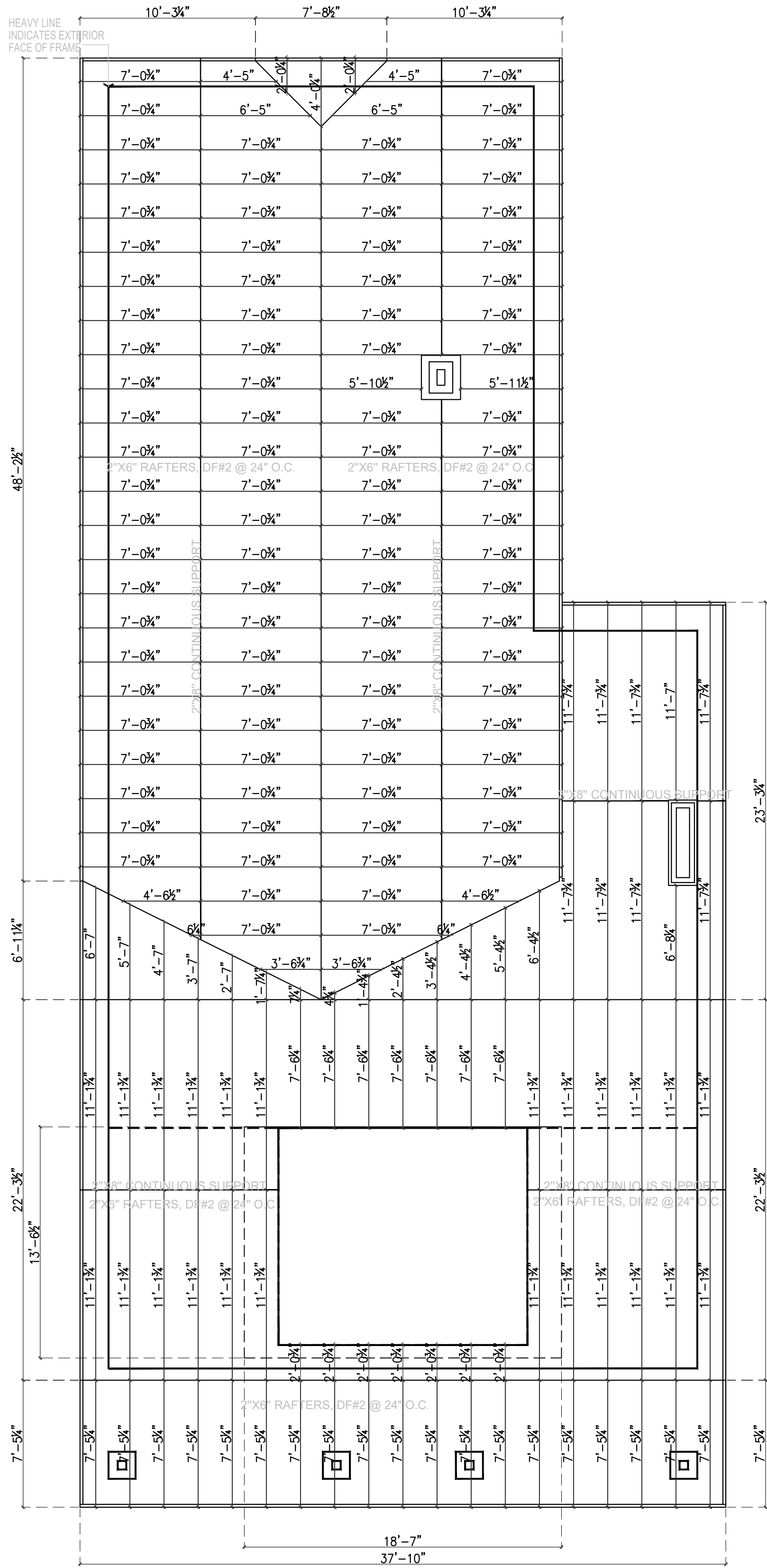
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DESCRIPTION TWO-STORY SINGLE FAMILY RESIDENCE 4 BEDROOM, 3 1/2 BATHROOM, DETACHED TWO CAR GARAGE
SCALE $\frac{3}{16}" = 1'-0"$
SHEET TITLE ROOF PLAN
SHEET # A1.05
FILE NAME A1.05_ROOF_PLAN

1

ROOF FRAMING

S6.01

3/16" = 1'-0"



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DETACHED TWO CAR GARAGE

SCALE

3/16" = 1'-0"

SHEET TITLE

ROOF FRAMING

SHEET #

S6.01

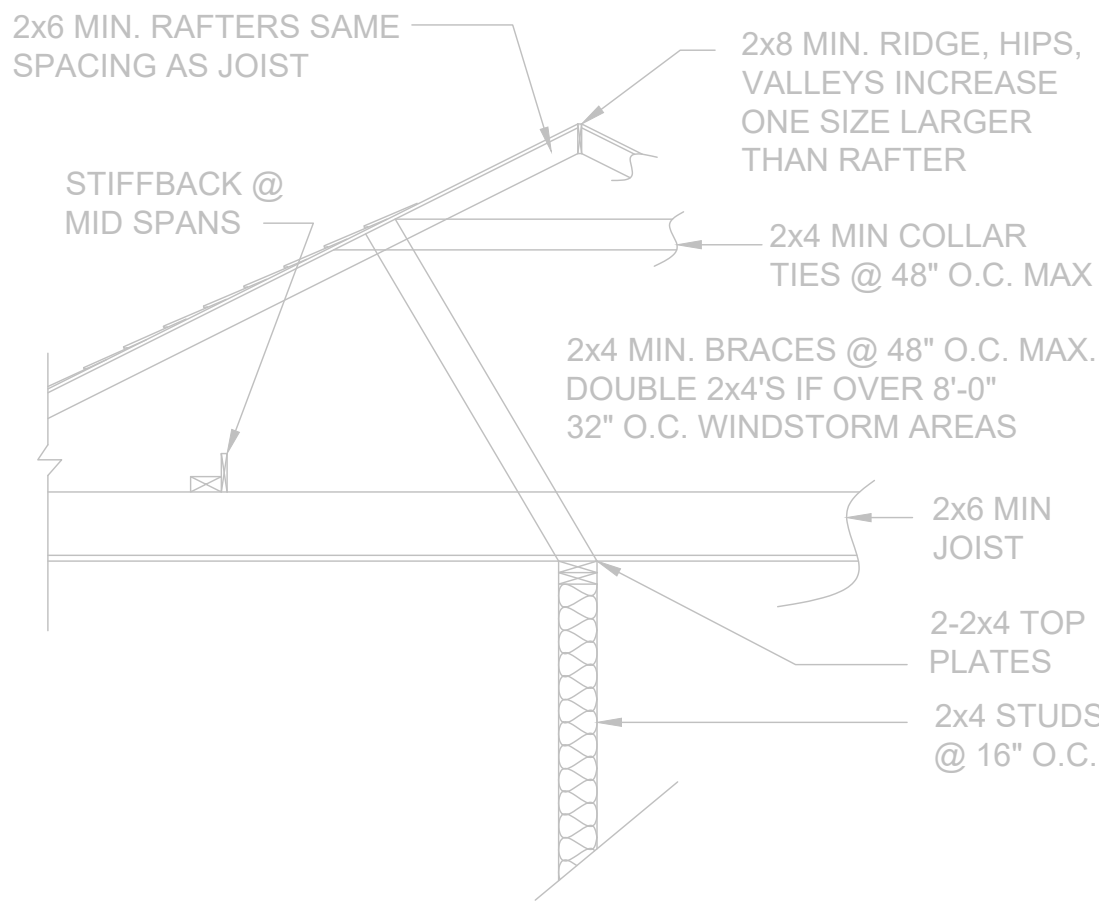
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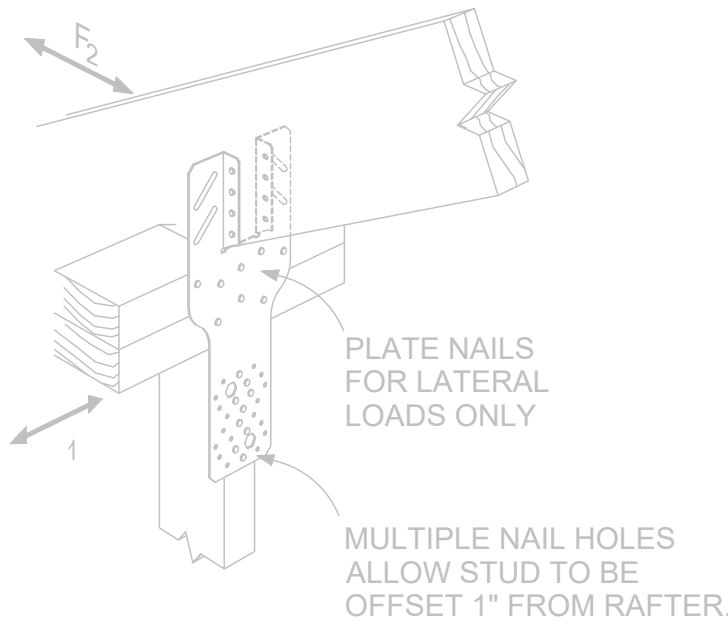
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ROOF FRAMING NOTES:

- 1. DESIGN LOADS:
ROOF LIVE LOAD 20 PSF
- 2. ALL ROOFS SHALL BE FRAMED 2X6 #2 SYP RAFTERS SPACED @ 16" O.C. WITH A MAX SPAN OF 17"-11". ALL RAFTER SPLICES SHALL BE BRACED W/PLYWOOD GUSSETS BOTH SIDES.
- 3. PURLINS ARE TO BE SAME DEPTH AS RAFTERS THEY ARE SUPPORTING.
- 4. ALL HIP, RIDGES AND VALLEYS TO BE AT LEAST ONE MILL SIZE LARGER THAN RAFTERS THEY ARE SUPPORTING.
- 5. PROVIDE COLLAR TIES AR 4'-0" O.C. ON ALL RIDGES.
- 6. ROOF SYSTEM SHALL BE COMPOSITE SHINGLES OVER 30# ROOFING FELT OVER 1/2" CDX PLYWOOD OR OSB STRUCTURAL PANELS. EXPOSURE I.
- 7. CONTRACTOR SHALL FIELD VERIFY ALL ARCHITECTURAL FEATURES AND IS RESPONSIBLE FOR FIT AND FINISH.



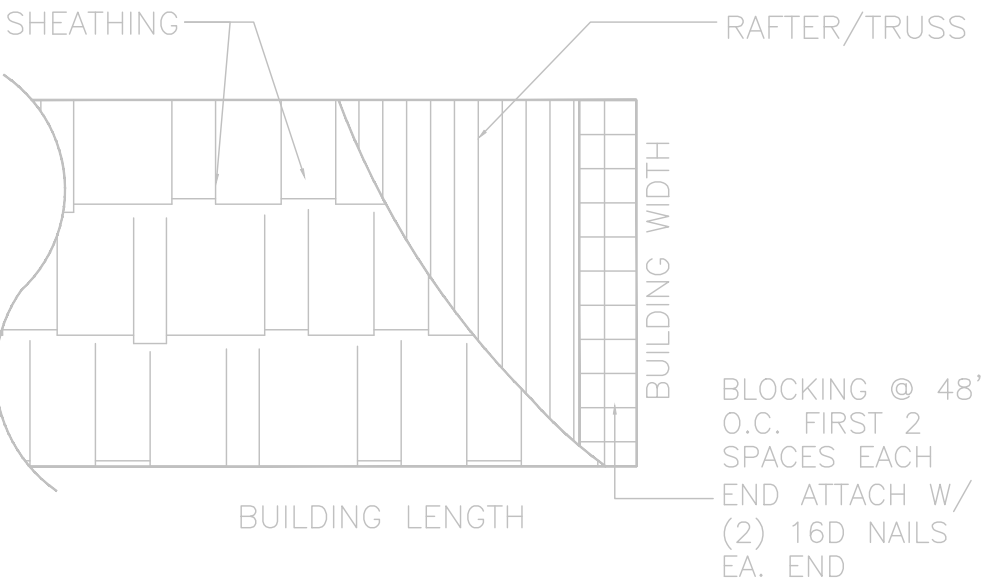
TYPICAL ROOF DETAIL



BEAM AND RAFTER TIE DETAIL

FRAMING GENERAL NOTES:

- 1. ALL LUMBER TO BE NO.2 SYP OR DOUGLAS FUR, 19% M.C. U.O.N.
- 2. USE BLOCKING WHERE REQUIRED BY 2021 IBC.
- 3. CONNECTIONS TO BE PROPERLY INSTALLED WHERE REQUIRED PER 2021 IBC.
- 4. NAILS IN CONTACT WITH TREATED WOOD ARE TO BE STAINLESS STEEL OR A MIN. G185 HDS HOT DIP GALVANIZED SUCH AS: SIMPSON (AMAX G185).
- 5. TRANSFER ALL LOAD BEARING POINTS TO FOUNDATION.
- 6. SILL PLATES FOR ALL EXTERIOR WALLS SHALL BE OF PRESSURE TREATED LUMBER, OR SHALL BE PROVIDED WITH AN APPROVED VAPOR BARRIER BENEATH THEM.
- 7. ALL STUD WALLS SHALL BE S.P.F. #2 OR BETTER, KD (19% M.C.) OR #2 SOUTHERN PINE (U.O.N.)
- 8. ALL EXT. AND LOAD BEARING STUD WALLS: STUD SPACING SHALL NOT EXCEED 16" O.C. FOR 2X4 STUDS AND 24"O.C. FOR 2X6 STUDS U.N.O.
- 9. EXT. JOINTS IN DOUBLE TOP PLATES SHALL BE OFFSET AT LEAST 48 INCHES AND SHALL BE NAILED WITH NOT LESS THAN EIGHT 16d FACE NAILS ON EACH SIDE OF THE JOINT. PLATES SHALL BE NOMINAL 2 INCHES IN DEPTH AND HAVE A WIDTH AT LEAST EQUAL TO THE WIDTH OF THE STUDS.
- 10. AT GABLE ENDS, AT LEAST EVERY OTHER GABLE STUD SHALL BE ATTACHED TO THE DOUBLED TOP PLATE AND THE RAFTER WITH A SIMPSON H2.5.
- 11. BUILDER SHALL TAKE EXTRA CARE TO ENSURE THAT UPPER LEVEL LOAD BEARING WALLS AND POSTS, CAN TRANSFER THEIR LOADS TO THE SUPPORTS DIRECTLY BELOW THEM. INSTALL BLOCKING OR STUB COLUMNS BELOW FLOOR DECKING.
- 12. ALL ROOF FRAMING DETAILS AND CONNECTIONS SHALL BE IN ACCORDANCE WITH THE 2021 INTERNATIONAL RESIDENTIAL CODE.



ROOF SHEATHING LAYOUT

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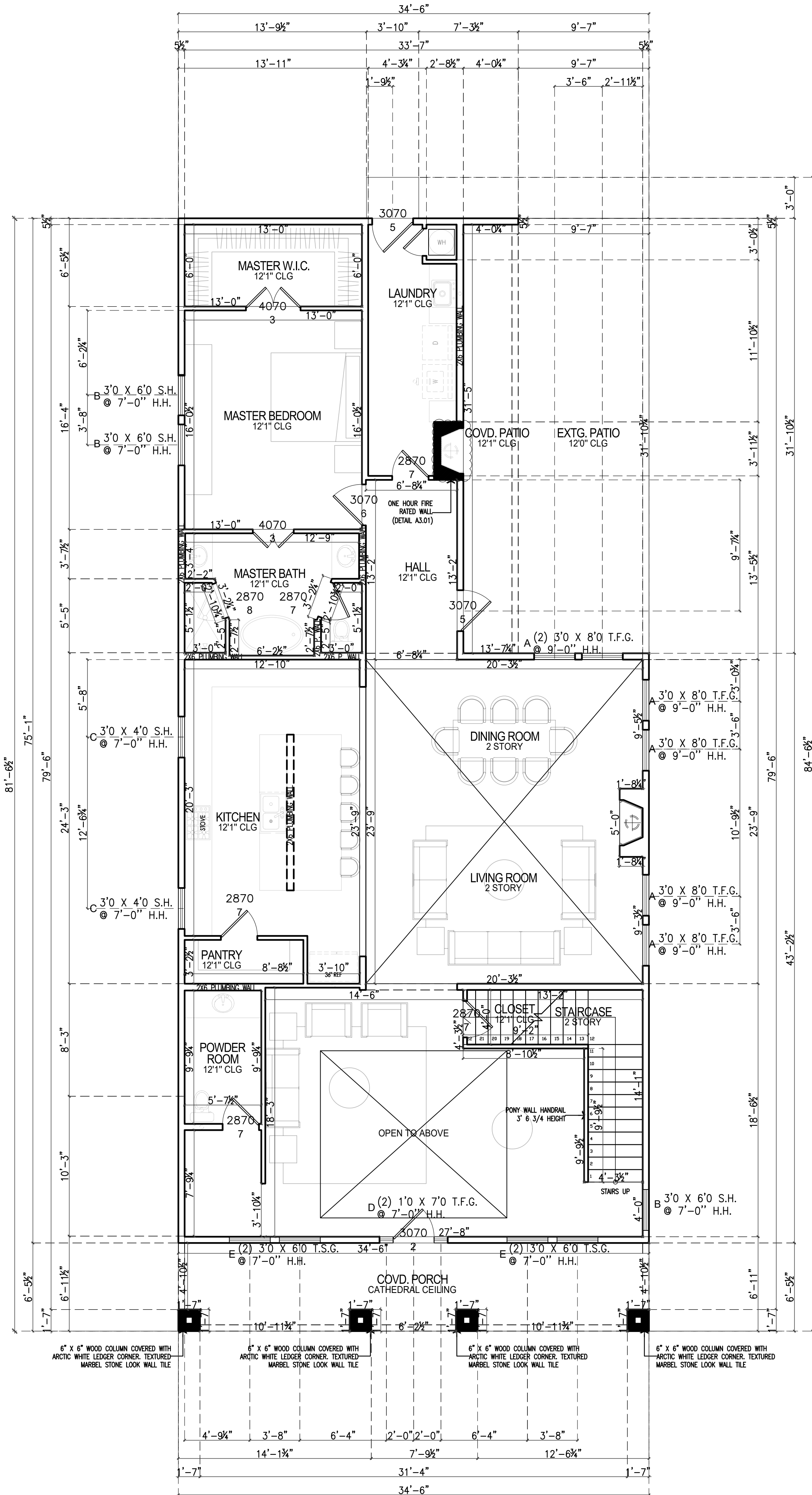
SCALE
NTS

SHEET TITLE
ROOF FRAMING DETAILS

SHEET #
S7.00

FILE NAME
S7.00_ROOF_FRMG_DETLS

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1 GROUND LEVEL FLOOR PLAN
A1.01 3/16" = 1'-0"

SIGNATURE

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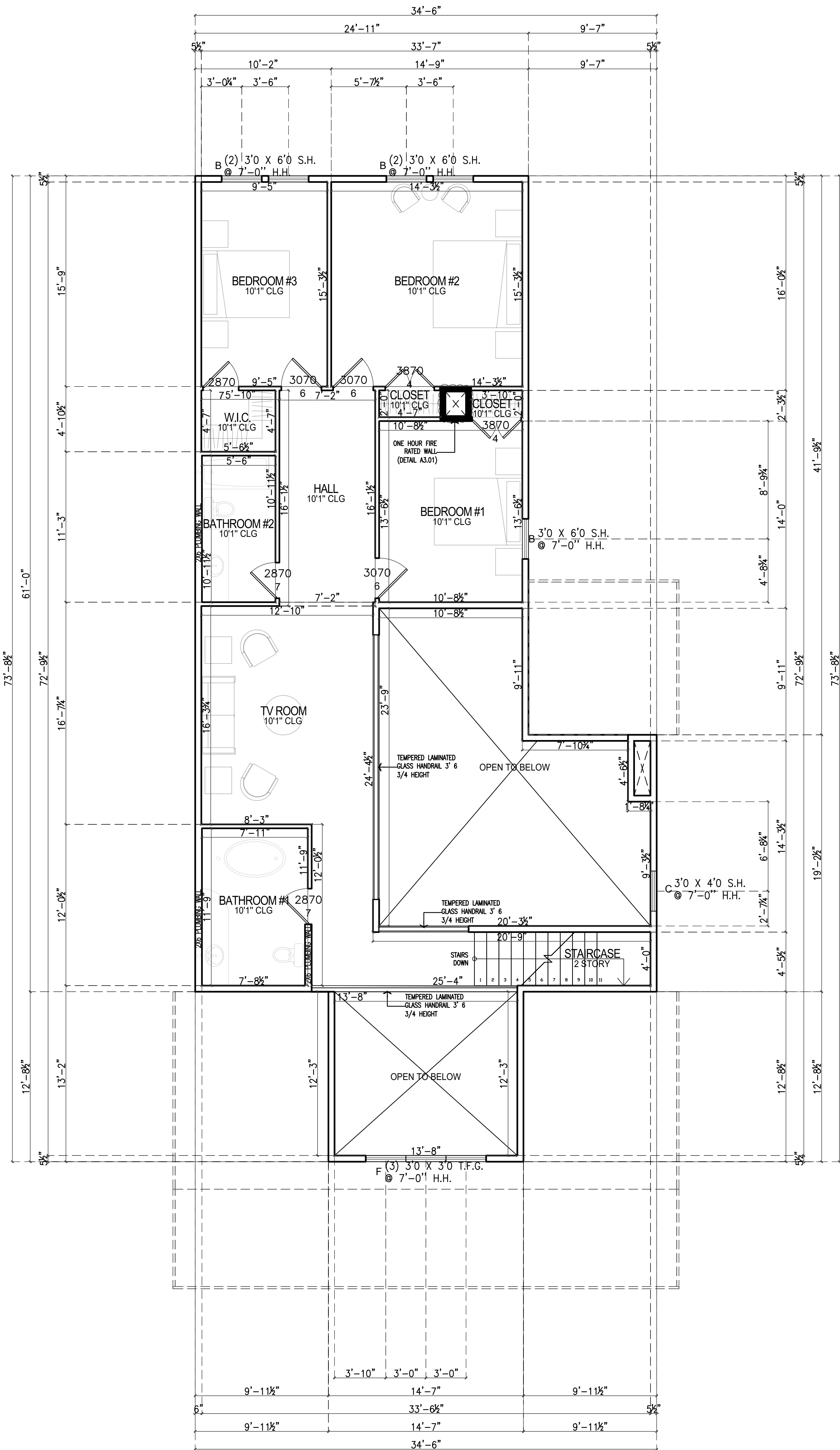
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SCALE
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SHEET TITLE
FLOOR PLAN

SHEET #
A1.01

FILE NAME
A1.01_FLR1_PLAN



1 SECOND LEVEL FLOOR PLAN
A1.02 3/16" = 1'-0"

SIGNATURE

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SHEET TITLE
FLOOR PLAN

SHEET #
A1.02

FILE NAME
A1.02_FLR2_PLAN

DOOR SCHEDULE

MK.	SIZE	DESCRIPTION	QUANTITY
1	8' 0" - 7' 0"	SOLID WD GARAGE DOOR	2
2	3' 0" - 7' 0"	EXTG. TEMP. GLASS DOOR	1
3	4' 0" - 7' 0"	INT. DBL. WHITE SOLID WD DOOR	2
4	3' 8" - 7' 0"	INT. DBL. WHITE SOLID WD DOOR	2
5	3' 0" - 7' 0"	36" X 84" CRAFTSMAN 6	3
6	3' 0" - 7' 0"	INT. WHITE SOLID WD DOOR	4
7	2' 8" - 7' 0"	INT. WHITE SOLID WD DOOR	8
8	2' 8" - 7' 0"	INT. TEMP. GLASS DOOR	1

WINDOW SCHEDULE

MK.	SIZE	DESCRIPTION	QUANTITY
A	3' 0" - 8' 0"	ANDERSEN E-SERIES PW- FIXED	6
B	3' 0" - 6' 0"	ANDERSEN E-SERIES PW	5
C	3' 0" - 4' 0"	ANDERSEN E-SERIES PW	3
D	1' 0" - 7' 0"	SIDELIGHTS	2
E	3' 0" - 6' 0"	ANDERSEN E-SERIES PW	7
F	3' 0" - 3' 0"	ANDERSEN E-SERIES PW- FIXED	3

GENERAL NOTES:

1. REPORT ANY AND ALL DISCREPANCIES, ERRORS OR OMISSIONS IN THE DOCUMENTS TO THE BUILDER/ARCHITECT PRIOR TO THE ORDERING OF ANY MATERIALS AND/OR THE COMMENCEMENT OF CONSTRUCTION.
2. ALL WORK MUST BE DONE ACCORDING TO MANUFACTURE'S SPECIFICATIONS & INDUSTRY STANDARDS.
3. ALL WORK MUST BE DONE ACCORDING TO ALL CONCERNED CODE & REGULATIONS.
4. A STRUCTURAL ENGINEER MUST BE CONSULTED FOR ALL CONSTRUCTION DETAILS.
5. CONTRACTOR TO FIELD VERIFY BUILDING ELEVATIONS AND EXISTING UTILITIES.
6. VERIFY CLEARANCES ARE REQUIRED FOR ALL EQUIPMENT.
7. BEFORE PROCEEDING WITH ANY WORK OR ORDERING ANY MATERIALS, THE CONTRACTOR AND/OR SUBCONTRACTOR SHALL VERIFY ALL MEASUREMENTS AND LOCATIONS OF BUILDING COMPONENT AND THEIR INTERRELATIONSHIP AT THE BUILDING SITE, AND SHALL BE RESPONSIBLE FOR THEIR CORRECTNESS.
8. CONTRACTOR AND/OR SUBCONTRACTOR IS ULTIMATELY RESPONSIBLE FOR VERIFYING AND MAKING ADJUSTMENTS TO ANY DISCREPANCIES BETWEEN THE PLANS AND THE BUILDING SITE.
9. ALL DIMENSIONS TO BE VERIFIED AT JOBSITE.
10. SLIGHT ADJUSTMENT IN WALL LOCATIONS, UP TO 1" SHALL BE MADE IN ORDER TO GET PLUMBING IN WALLS SO LONG AS IT DOES NOT EFFECT THE FUNCTION OF FLOOR, OR ROOF TRUSSES , THIS DOES NOT RELIEF THE PLUMBER OF LIABILITY IF NOT DONE.
11. UNDER NO CIRCUMSTANCES SHALL ANY DIMENSION BE SCALES FROM THESE DRAWINGS. ANY CRITICAL DIMENSIONS NOT GIVEN SHALL BE BROUGHT TO THE ATTENTION OF THE BUILDER/ARCHITECT PRIOR TO CONSTRUCTION.
12. DOOR AND WINDOW ROUGH OPENINGS SHALL BE SUCH THAT OUTSIDE EDGES OF ADJACENT, UNLESS OTHERWISE NOTED.
13. WINDOW SIZES GIVEN ARE APPROXIMATE UNIT SIZES, VERIFY ACTUAL SIZES AND ROUGH OPENING REQUIREMENTS WITH MANUFACTURER.
14. U.N.O. ALL DOORS TO BE 6'-8" HIGH.
15. U.N.O. ALL ANGLED WALLS TO BE AT 45° DEGREES.
16. FRAME ALL DOORS 3" FROM CORNERS WHERE POSSIBLE U.N.O.
17. U.N.O. HEADER HEIGHTS SHALL BE AS FOLLOWS:
8" PLATE: 8'-10"
9" PLATE: 7'-10"
10" PLATE: 8'-10"
18. ALL INTERIOR AND EXTERIOR CORNERS SHALL HAVE MOIST-STOP RAN VERTICALLY UNDER THE SHEATHING.
19. PROVIDE ATTIC VENTING AT REAR OR SIDE OF ROOF AR REQUIRED PER PLANS AND CODE
- 20.ALL BATHROOM MIRRORS TO BE INSERTED 1" FROM EDGE OF COUNTERTOPS.
- 21.SEE BUILDER SPECIFICATIONS FOR ADDITIONAL INFORMATION.

GREEN BUILDING PROGRAM:

1. AVERAGE FLOW RATE FOR ALL LAVATORY FAUCETS MUST BE 2.0 GPM.
2. AVERAGE FLOW RATE FOR ALL SHOWERHEADS MUST BE 2.0 GPM.
3. AVERAGE FLOW RATE FOR ALL TOILETS MUST BE 1.3 GALLONS PER FLUSH
4. UTILIZE ENERGY STAR LABELED DISH WASHERS THAT USE 6.0 GALLONS OR LESS PER CYCLE.

GREEN/ENERGY CODE COMPLIANCE
OUTLINE 2021 IECC

1. WATER EFFICIENCY:
1.1. ALL LAV. FAUCETS TO HAVE AN AVERAGE FLOW OF 2.0 GAL./MIN. OR LOWER.
- 1.2. ALL SHOWER HEADS TO HAVE AN AVERAGE FLOW OF 2.0 GAL./MIN. OR LOWER.
- 1.3. ALL TOILETS TO BE 1.3 GAL. PER FLUSH OR DUAL FLUSH OR WATER SENSE.
2. STORM WATER:
2.1. 70% OF NON-ROOF AREA MUST BE LANDSCAPED, HAVE PERMEABLE PAVING AND SLOPED FOR RUNOFF TO FILTRATION FEATURE.
3. POLY SEAL:
3.1. WINDOWS AND DOORS MUST BE SEALED WITH FOAM OR CAULK.
- 3.2. SILL PLATE MUST BE SEALED ON THE INSIDE WITH FOAM OR CAULK.
- 3.3. ALL PENETRATIONS OF TOP PLATE/CEILING INTO ATTIC, MUST BE SEALED WITH FOAM OR CAULK.
- 3.4. ALL WALL PENETRATIONS TO THE EXTERIOR MUST BE SEALED WITH FOAM OR CAULK.
- 3.5. BLOWER DOOR TESTING IS MANDATORY, NOT TO EXCEED 4 AIR CHANGES PER HOUR AT 50 PASCALS.
- 3.6. DUCT TIGHTNESS TESTING IS MANDATORY, TESTED AT 25 PASCALS, TOTAL LEAKAGE, LESS THAN OR EQUAL TO 4FT³/MIN PER 100 SQUARE FOOT OF CONDITIONED FLOOR AREA.
3.6.1. EXCEPT, WHEN THE DUCTS AND AIR HANDLERS ARE ENTIRELY WITHIN THE BUILDING THERMAL ENVELOPE.
4. INSULATION:
4.1. 2-12 OR GREATER SLOPED ROOFS MUST BE ENERGY STAR QUALIFIED OR MAY USE A RADIANT BARRIER OR USE SPRAY FOAM INSULATION AT THE ROOF DECK OR BE A VEGETATED ROOF.
- 4.2. ALL PIER AND BEAM/RAISED FLOORS MUST BE INSULATED WITH R-19 INSULATION OR HIGHER.
4.2.1. EXCEPT, UNVENTED CRAWL SPACE WALLS MUST BE INSULATED R-5CONTINUOUS OR R-13 CAVITY INSULATION, WITH VAPOR BARRIER OVER EXPOSED EARTH.
- 4.3. ALL EXTERIOR WALLS MUST BE INSULATED WITH R-20 CAVITY OR R-13 CAVITY WITH R-5 CONTINUOUS INSULATION OR HIGHER.
- 4.4. CEILINGS MUST BE INSULATED WITH R-49 IF THERE IS ATTIC SPACE AND R-30 IF NO ATTIC SPACE (CATHEDRAL) AND THAT IS LIMITED TO 500 SQ. TOTAL OR 20% OF CEILING WHICHEVER IS LESS.
- 4.5. ATTIC ACCESS LADDERS AND OR HATCHES, MUST BE INSULATED THE SAME AS THE ATTIC AND HAVE WEATHER SEAL.
5. HVAC/SERVICE WATER:
5.1. ALL DUCTS IN UNCONDITIONED SPACE/ATTICS MUST USE R-8 DUCTING.
- 5.2. MECHANICAL SYSTEM PIPING CARRYING FLUID OVER 104°OR BELOW 55° MUST BE INSULATED WITH R-13 INSULATION.
6. WINDOWS AND DOORS:
6.1. MUST HAVE A U-FACTOR OF .32 OR LESS.
- 6.2. MUST HAVE A SHGC OF .25 OR LESS.
7. LIGHTNING:
7.1. ALL CAN LIGHTS MUST BE AIR-TIGHT TYPE.
- 7.2. MINIMUM OF 75% OF LIGHTNING MUST BE EFFICIENCY (ANYTHINGBUT INCANDESCENT).

SEAL

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DALLAS, TX. 75203
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FAX. (214) 948-9544

REVISIONS	
DRAFTER	SENT DATE
IB	03-25-2024
IB	04-04-2024

ADDRESS
2522 PARK ROW AVE
DALLAS, TEXAS
75215

DATE
5/23/24

DRAWN BY
IB

CHECKED BY
ER

DESCRIPTION
TWO-STORY SINGLE FAMILY RESIDENCE
4 BEDROOM, 3 1/2 BATHROOM,
DETACHED TWO CAR GARAGE

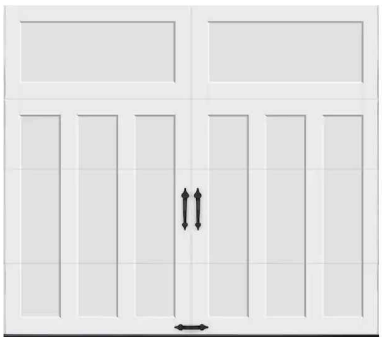


SCALE
NTS

SHEET TITLE
WINDOW & DOOR-SCHED

SHEET #
14.00

FILE NAME
14.00_WN-DR_SCHED

DOOR SCHEDULE



MK.	SIZE	DESCRIPTION	QUANTITY	IMAGE
1	8' 0" - 7' 0"	COACHMAN COLLECTION 8 FT. X 7 FT. 18.4 R-VALUE INTELICORE INSULATED SOLID WHITE GARAGE DOOR	2	
WWW.HOMEDEPOT.COM/P/CLOPAY-COACHMAN-COLLECTION-8-FT-X-7-FT-18-4-R-VALUE-INTELICORE-INSULATED-SOLID-WHITE-GARAGE-DOOR-CXU13-SW-TOP11/204598551				
2	3' 0" - 7' 0"	CUSTOM WOOD DOOR. CLEAR TEMPERED GLASS DOOR (1-3/4") w/ 12" SIDELIGHTS	1	
WWW.BRENNANCORP.COM/DOORS/				
5	3' 0" - 8' 0"	36" X 84" CRAFTSMAN 6 LITE MAHOGANY FRONT DOOR SLAB	3	
WWW.DISCOUNTDOORSANDMORE.COM/PRODUCT/36-X-84-CRAFTSMAN-6-LITE-MAHOGANY-FRONT-DOOR-SLAB-IN-STOCK/				

WINDOW SCHEDULE



MK.	SIZE	DESCRIPTION	QUANTITY	IMAGE
A	3' 0" - 8' 0"	36 X 96 FIXED WINDOW. TRU- DIVIDED LITES - INVISIBLE BALANCE-GLAZING STANDARD ⁵ / ₈ " CLEAR DUAL-GLAZED WITH ALUMINUM COLORED SPACER, WOOD SPECIES EASTERN WHITE PINE	6	
F	3' 0" - 3' 0"	36 X 36 FIXED WINDOW. TRU- DIVIDED LITES - INVISIBLE BALANCE-GLAZING STANDARD ⁵ / ₈ " CLEAR DUAL-GLAZED WITH ALUMINUM COLORED SPACER, WOOD SPECIES EASTERN WHITE PINE	3	
B	3' 0" - 6' 0"	36 X 72 SINGLE PANE, TRU- DIVIDED LITES-INVISIBLE BALANCE- GLAZING STANDARD ⁵ / ₈ " CLEAR DUAL-GLAZED WITH ALUMINUM COLORED SPACER, WOOD SPECIES EASTERN WHITE PINE	8	
C	3' 0" - 4' 0"	36 X 48 SINGLE PANE, TRU- DIVIDED LITES-INVISIBLE BALANCE- GLAZING STANDARD ⁵ / ₈ " CLEAR DUAL-GLAZED WITH ALUMINUM COLORED SPACER, WOOD SPECIES EASTERN WHITE PINE	3	
E	3' 0" - 6' 0"	36 X 72 SINGLE PANE, TRU- DIVIDED LITES-INVISIBLE BALANCE- GLAZING STANDARD ⁵ / ₈ " CLEAR DUAL-GLAZED WITH ALUMINUM COLORED SPACER, WOOD SPECIES EASTERN WHITE PINE	4	

<https://adamsarch.com/product/invisible-balance/#1563823637128-dd732bc4-928c>


MATERIALS

MK.	DESCRIPTION	IMAGE
1	SMALL MODULAR BRICK - WEATHERWOOD GRAY (2-1/4"H x 7-5/8"L x 3-5/8"D)	
WWW.HOMEDEPOT.COM/P/OLD-MILL-BRICK-7-625-IN-X-12-5-IN-X-0-625-IN-BRICKWEBB-HERRINGBONE-VINTAGE-OAK-THIN-BRICK-SHEETS-BOX-OF-4-SHEETS-BWH-370015CS/319215722		
2	TITAN XT NATURAL TIMBER PREMIUM ARCHITECTURAL SHINGLES (AVERAGE 32.8 SQ. FT. PER BUNDLE) - COLOR NATURAL TIMBER	
WWW.HOMEDEPOT.COM/P/TAMMO-TITAN-XT-NATURAL-TIMBER-PREMIUM-ARCHITECTURAL-SHINGLES-AVERAGE-32-8-SQ-FT-PER-BUNDLE-31004570/319064731		

COLORS

MK.	DESCRIPTION	IMAGE
1	SW 0032 - NEEDLEPOINT NAVY *USED ON WOOD SHUTTER	
1	SW 7006 - EXTRA WHITE *USED ON THE TRIM	
WWW.SHERWIN-WILLIAMS.COM/EN-US/COLOR/COLOR-FAMILY/BLUE-PAINT-COLORS/SW0032-NEEDLEPOINT-NAVY WWW.SHERWIN-WILLIAMS.COM/EN-US/COLOR/COLOR-FAMILY/WHITE-PAINT-COLORS/SW7006-EXTRA-WHITE		

LIGHTING

MK.	DESCRIPTION	IMAGE
1	GLOBE ELECTRIC - RAY 1-LIGHT MATE BLACK 18.5-WATT LED INTEGRATED OUTDOOR INDOOR FLUSH MOUNT CEILING LIGHT WITH FAUX WOOD ACCENT	
WWW.HOMEDEPOT.COM/P/GLOBE-ELECTRIC-RAY-1-LIGHT-MATE-BLACK-18-5-WATT-LED-INTEGRATED-OUTDOOR-INDOOR-FLUSH-MOUNT-CEILING-LIGHT-WITH-FAUX-WOOD-ACCENT-44683/316068779		

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DETACHED TWO CAR GARAGE

SCALE
NTS

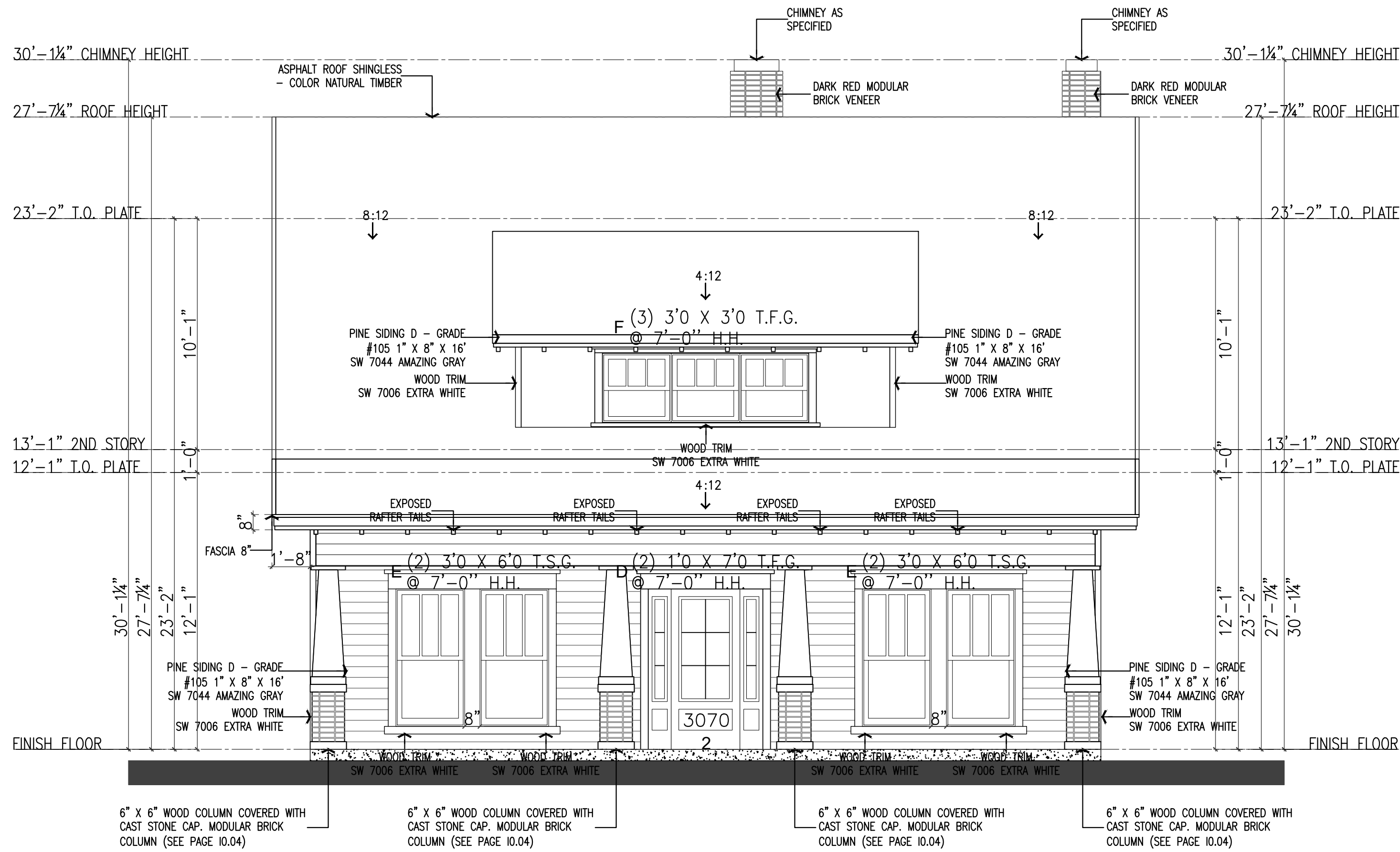
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FINISH LISTING

SHEET #
10.04

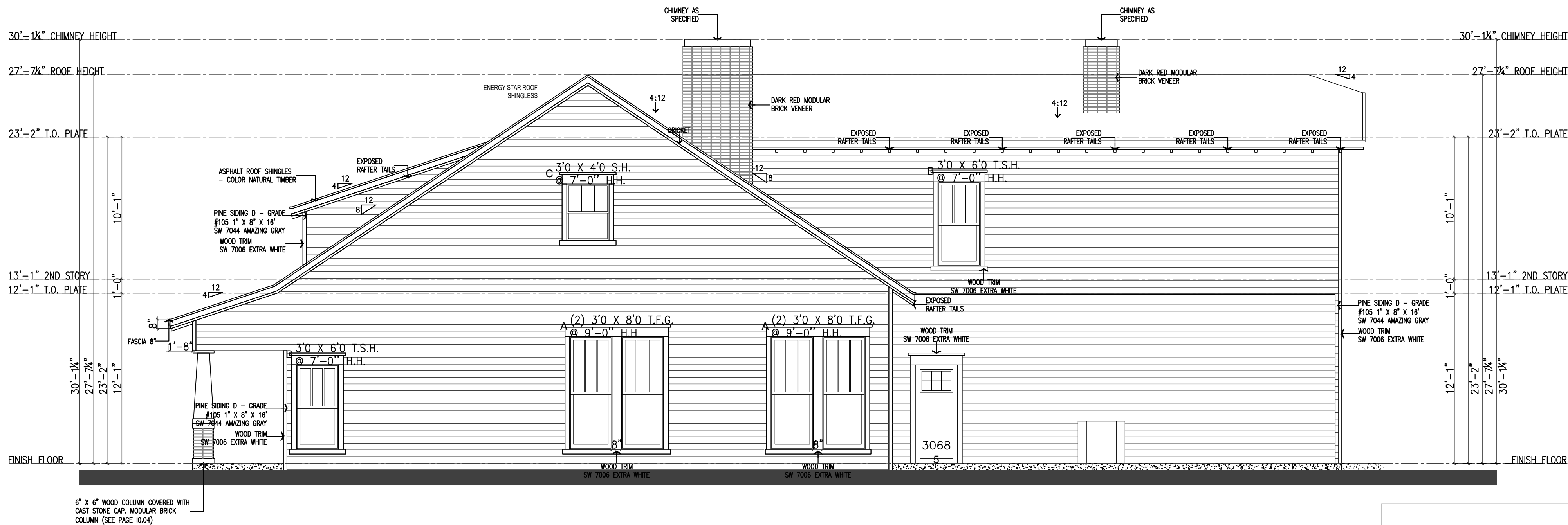
FILE NAME
10.04_FIN_SCHED

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1 FRONT ELEVATION
A2.01 1/4" = 1'-0"



1 RIGHT ELEVATION
A2.01 3/16\"/>



SIGNATURE

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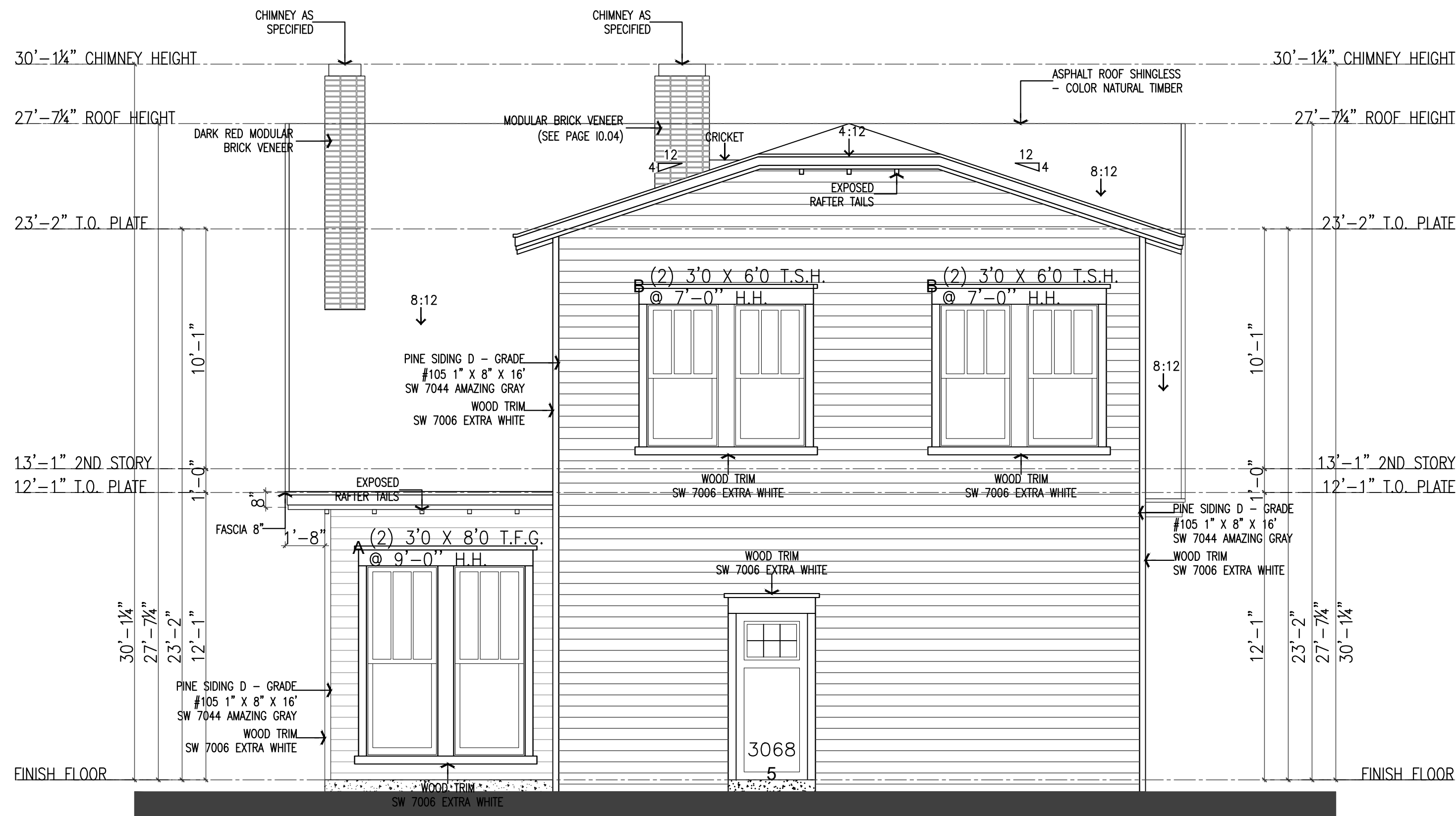
SCALE
AS SPECIFIED

SHEET TITLE
ELEVATIONS

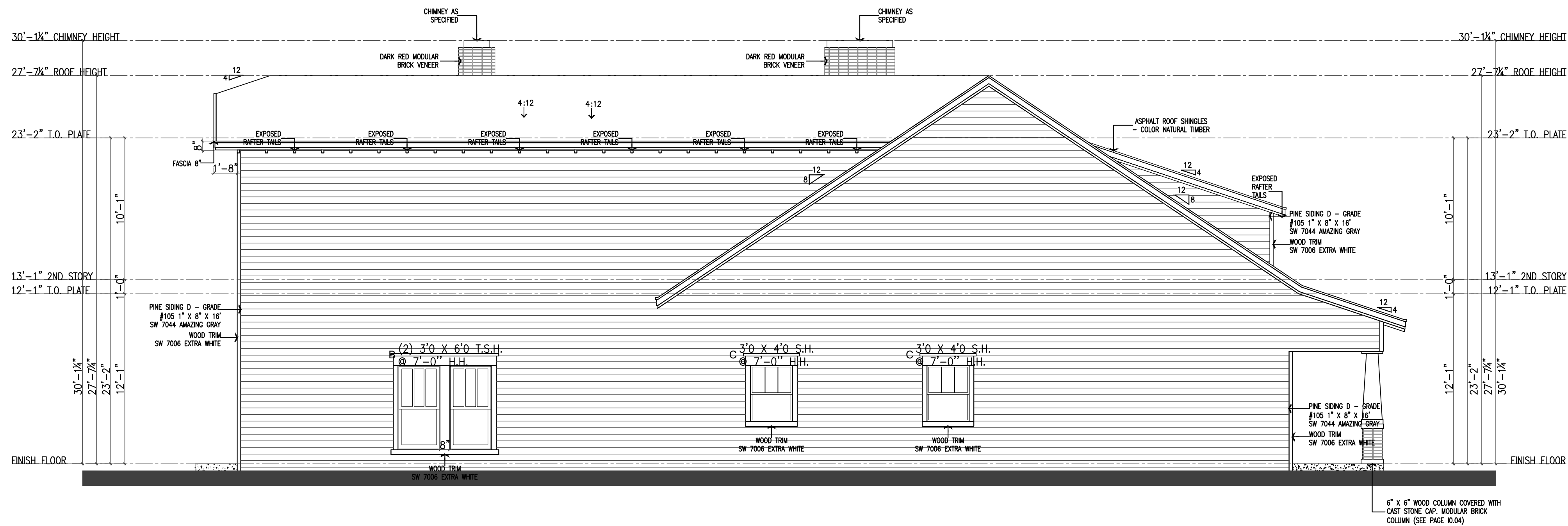
SHEET #
A2.01

FILE NAME
A2.01_ELEVATIONS

1 REAR ELEVATION
A2.02 1/4" = 1'-0"



1 LEFT ELEVATION
A2.02 3/16" = 1'-0"



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DETACHED TWO CAR GARAGE

SCALE
AS SPECIFIED

SHEET TITLE
ELEVATIONS

SHEET #
A2.02

FILE NAME
A2.02_ELEVATIONS



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DESCRIPTION

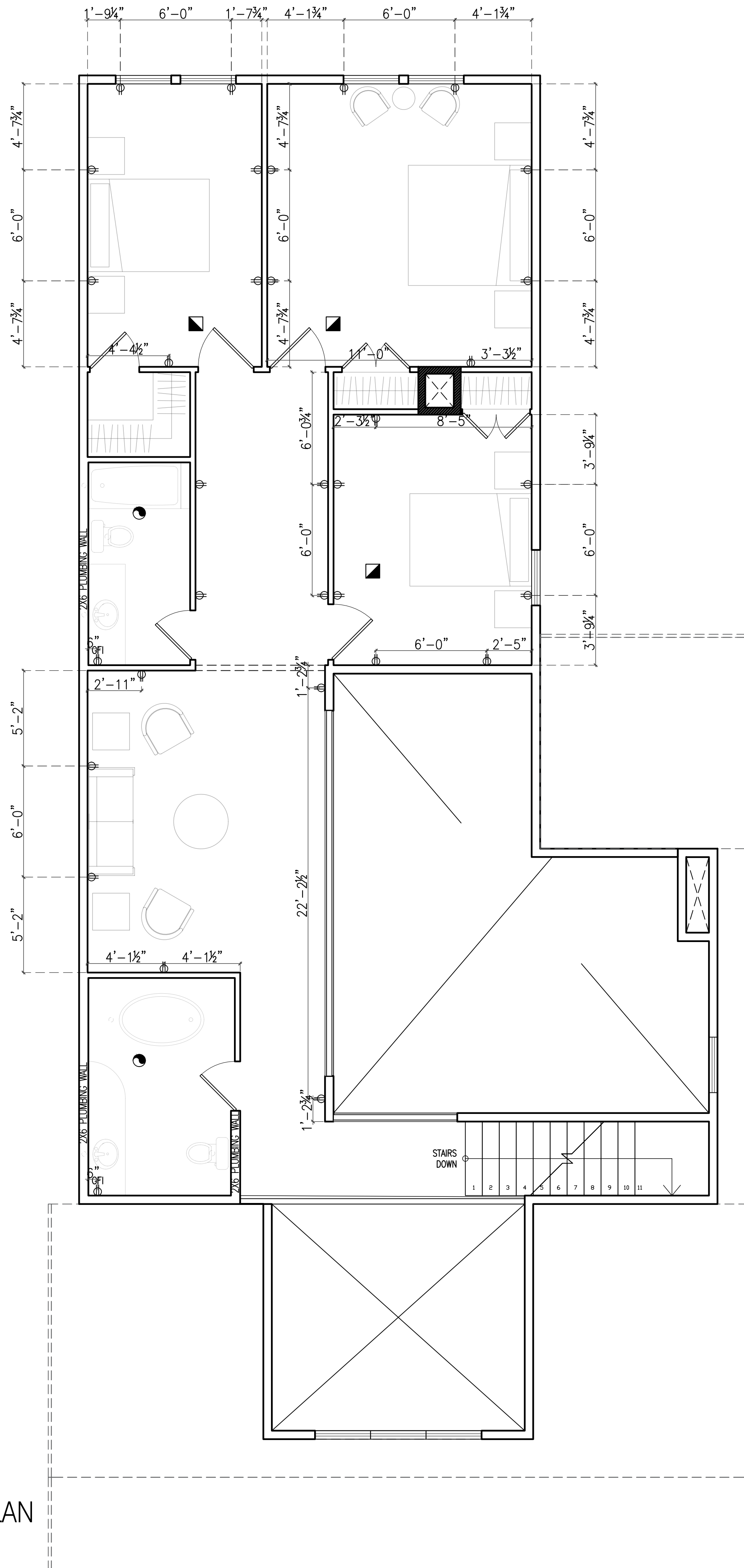
TWO-STORY SINGLE FAMILY RESIDENCE
4 BEDROOM, 3 1/2 BATHROOM,
DETACHED TWO CAR GARAGE

SCALE **1/4" = 1'-0"**

SHEET TITLE
ELECTRIC PLAN

SHEET # **E2.01**

FILE NAME
E2.01_FLR1_ELEC



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DETACHED TWO CAR GARAGE

SCALE
1/4" = 1'-0"

SHEET TITLE
ELECTRIC PLAN

SHEET #
E2.02

FILE NAME
E2.02_FLR2_ELEC

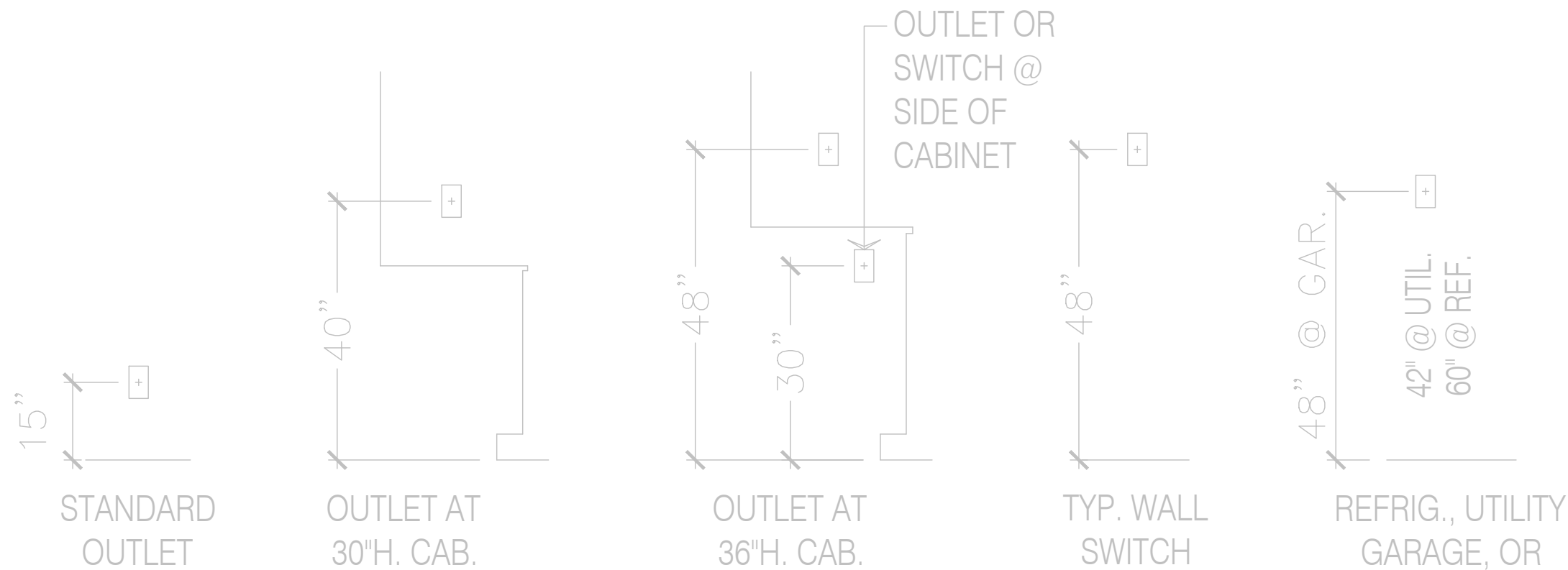
1 SECOND LEVEL FLOOR PLAN - ELECTRIC PLAN
E2.02 1/4" = 1'-0"

ELECTRIC LEGEND			
	110 VOLT RECEPTACLE		HANGING LIGHT
	WATERPROOF OUTLET		RECESSED, ADJUSTABLE CAN LIGHT
	110 VOLT IN CEILING		VAPOR PROTECTED LIGHT
	110 VOLT GROUND FAULT INTERRUPTER		WALL MOUNTED LIGHT
	110 VOLT IN FLOOR		24" UNDER-CABINET FLUOR. FIXTURE
	220 VOLT RECEPTACLE		TRACK LIGHTING (LENGTH PER PLAN)
	110 VOLT DIRECT HARD WIRE		EXHAUST FAN (50 CFM MIN.)
	SMOKE & CO DETECTOR (BATTERY BACKUP)		EXHAUST FAN (50 CFM MIN.) W/ LIGHT
	THERMOSTAT		1X6 FLUORESCENT FIXTURE
	ELEC. PANEL		FLOURESCENT LIGHT W/ 2 BULBS
	ELEC. METER		CEILING FAN W/OPT. LIGHT
	SWITCH		PUSH BUTTON
	THREE-WAY SWITCH		WALL PAK
	FOUR-WAY SWITCH		
	DIMMER SWITCH		
	CEILING MOUNTED LIGHT		
	GARAGE DOOR OPENER		
	FLOOD LIGHT		

GENERAL ELECTRICAL NOTES

1. ALL ELECTRICAL DEVICES AND WORK SHALL COMPLY WITH THE HIGHEST STANDARD OF THE GOVERNING ELECTRICAL CODE.
2. PERFORMANCE STANDARDS SHALL CONFORM TO ALL APPLICABLE CODES AND REGULATIONS AS ESTABLISHED BY GOVERNING AND APPROVAL AGENCIES.
3. ALL DEVICES SHALL BE U.L. APPROVED AND BEAR U.L. LABELS.
4. UNLESS NOTED OTHERWISE, ALL SWITCHES AND OUTLET HEIGHTS SHALL BE AS NOTED ON THESE DRAWINGS.
5. SWITCH AND DUPLEX OUTLETS OF MULTIPLE SWITCHES UP TO (4) FOUR WHEN SHOWN ADJACENT TO EACH OTHER ON PLAN SHALL BE GROUPED UNDER (1) ONE PLATE.
6. VERIFY SERVICES AND LOCATION REQUIREMENTS FOR ALL APPLIANCES AND MECHANICAL EQUIPMENT PRIOR TO INSTALLATION.
7. PROVIDE A MINIMUM OF TWO SEPARATE 20 AMP CIRCUITS TO KITCHEN APPLIANCES.
8. PROVIDE A MINIMUM OF ONE SEPARATE 20 AMP CIRCUIT TO LAUNDRY APPLIANCES.
9. EXTERIOR RECEPTACLES TO BE GFI AND WEATHER PROTECTED.

ELECTRIC FIXTURE HEIGHTS



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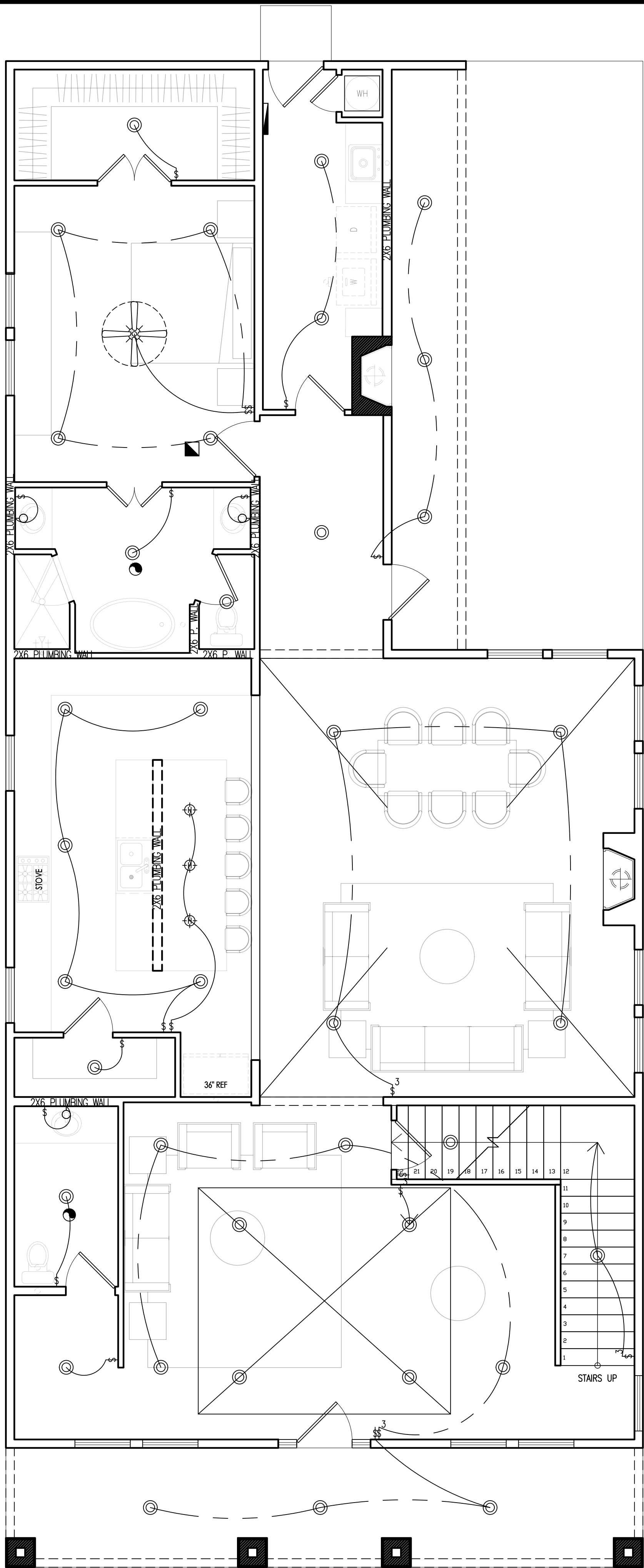
REVISIONS	
DRAFTER	SENT DATE
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DESCRIPTION	TWO-STORY SINGLE FAMILY RESIDENCE 4 BEDROOM, 3 1/2 BATHROOM, DETACHED TWO CAR GARAGE
SCALE	NTS
SHEET TITLE	ELECTRIC DETAILS
SHEET #	E4.01
FILE NAME	E4.01_SCHED_DTLS

1

GROUND LEVEL FLOOR PLAN - LIGHTING PLAN

EL2.011/4" = 1'-0"



SEAL

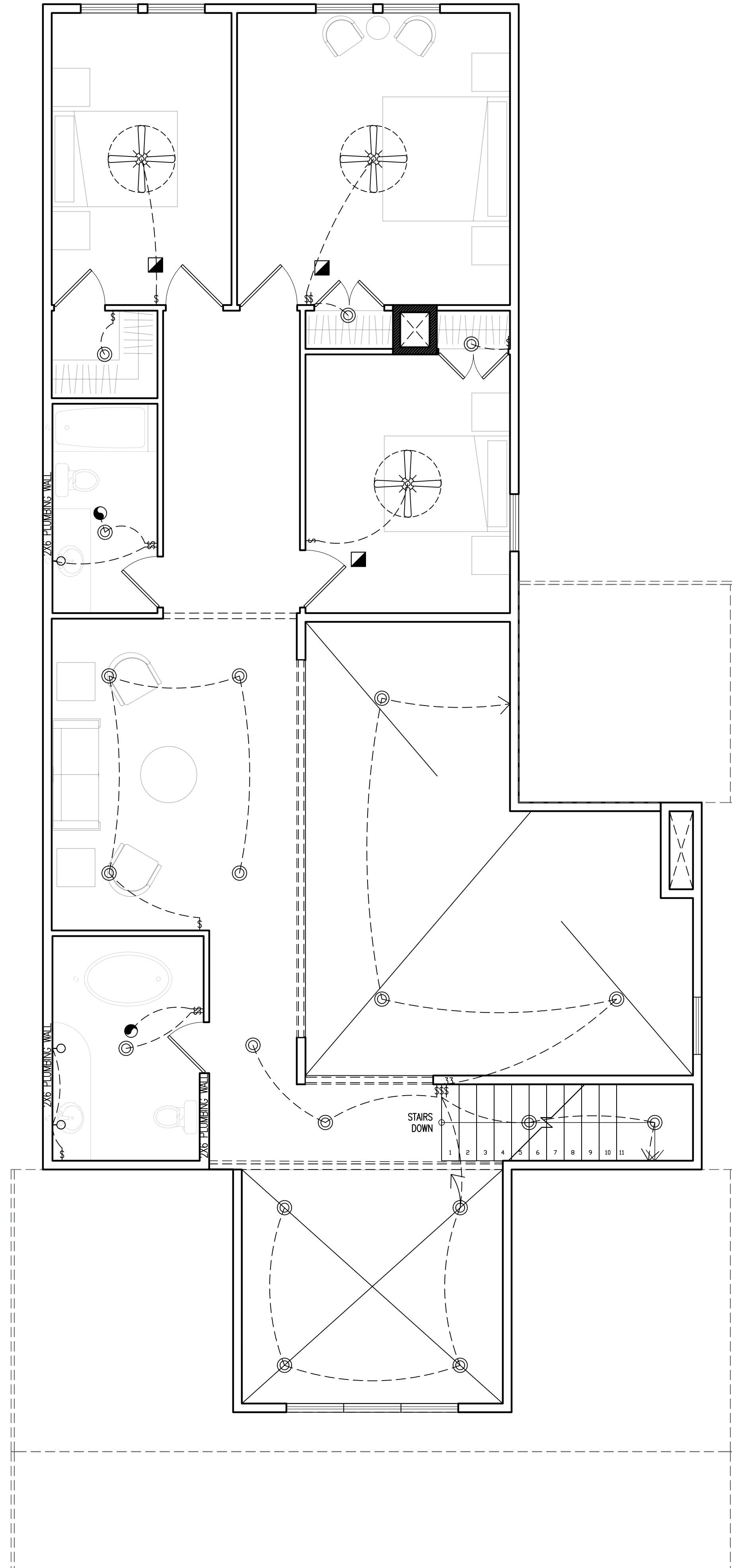
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SCALE
1/4" = 1'-0"
SHEET TITLE
LIGHTING PLAN
SHEET #
EL2.01
FILE NAME
EL2.01_FLR1_LTG

1 SECOND LEVEL FLOOR PLAN - LIGHTING PLAN

EL2.02 1/4" = 1'-0"



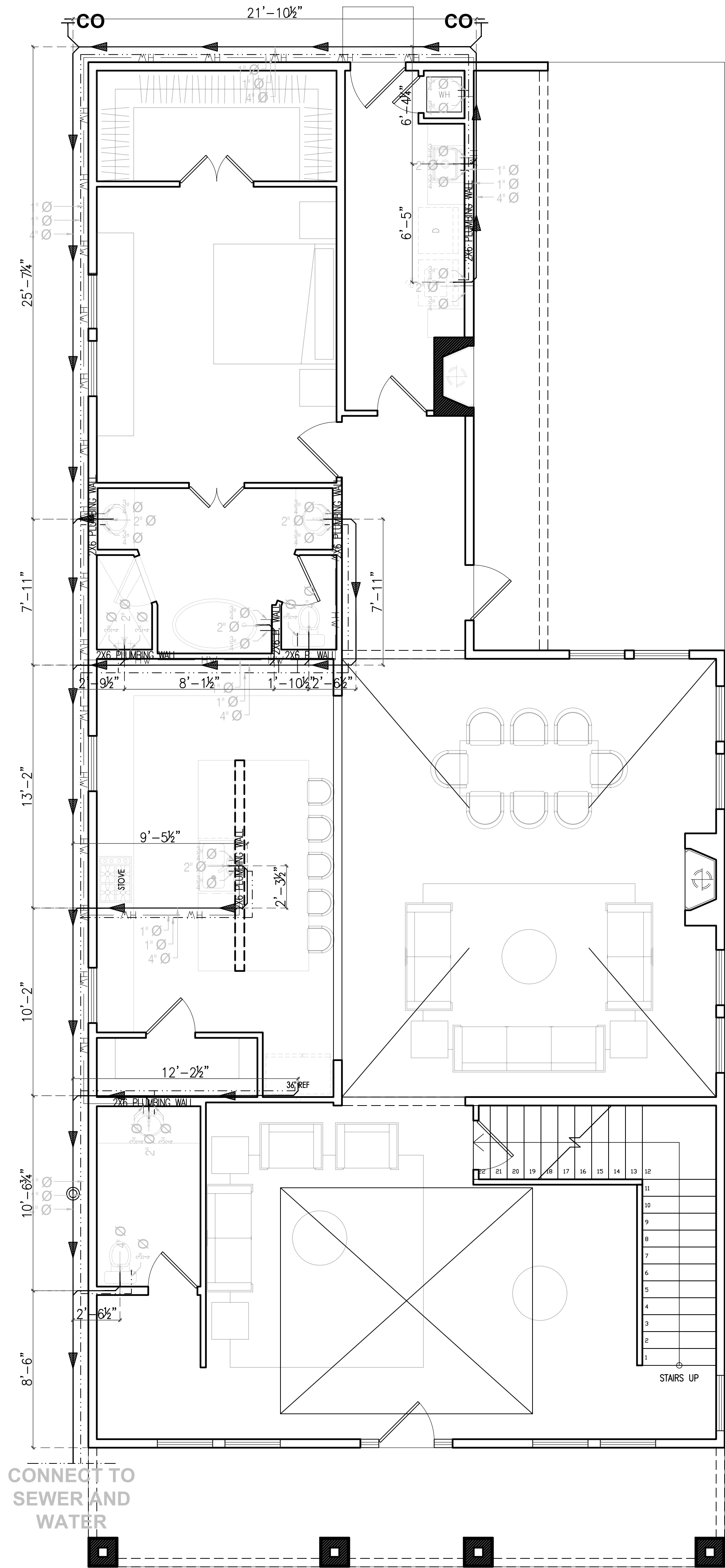
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EL2.02
FILE NAME
EL2.02_FLR2_LTG

1 GROUND LEVEL FLOOR PLAN - PLUMBING PLAN
P2.01 1/4" = 1'-0"



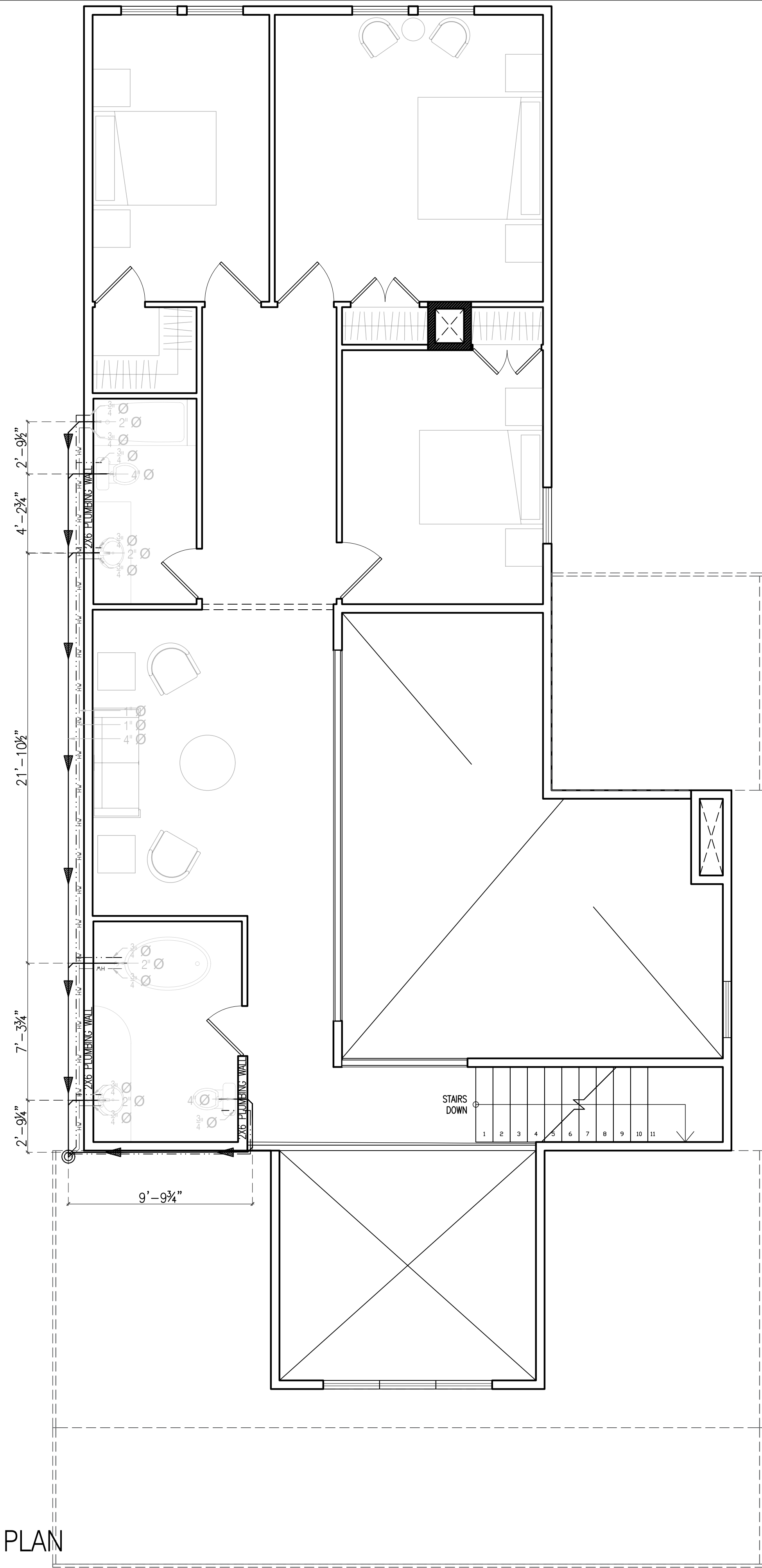
PLUMBING LEGEND	
SANITARY SEWER	—>—
HOT WATER	— · — · — · — · —
COLD WATER	— · — · — · — · —
GAS LINE	— · — · — · — · —
STACK THRU ROOF	⊙
CLEAN OUT	⊕CO
VENT	⊙V
DOWNSPOUT	D

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SCALE	1/4" = 1'-0"
SHEET TITLE	PLUMBING PLAN
SHEET #	P2.01
FILE NAME	P2.01_FLR1_PLBG



PLUMBING LEGEND	
SANITARY SEWER	
HOT WATER	
COLD WATER	
GAS LINE	
STACK THRU ROOF	
CLEAN OUT	
VENT	
DOWNSPOUT	

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SHEET TITLE
PLUMBING PLAN

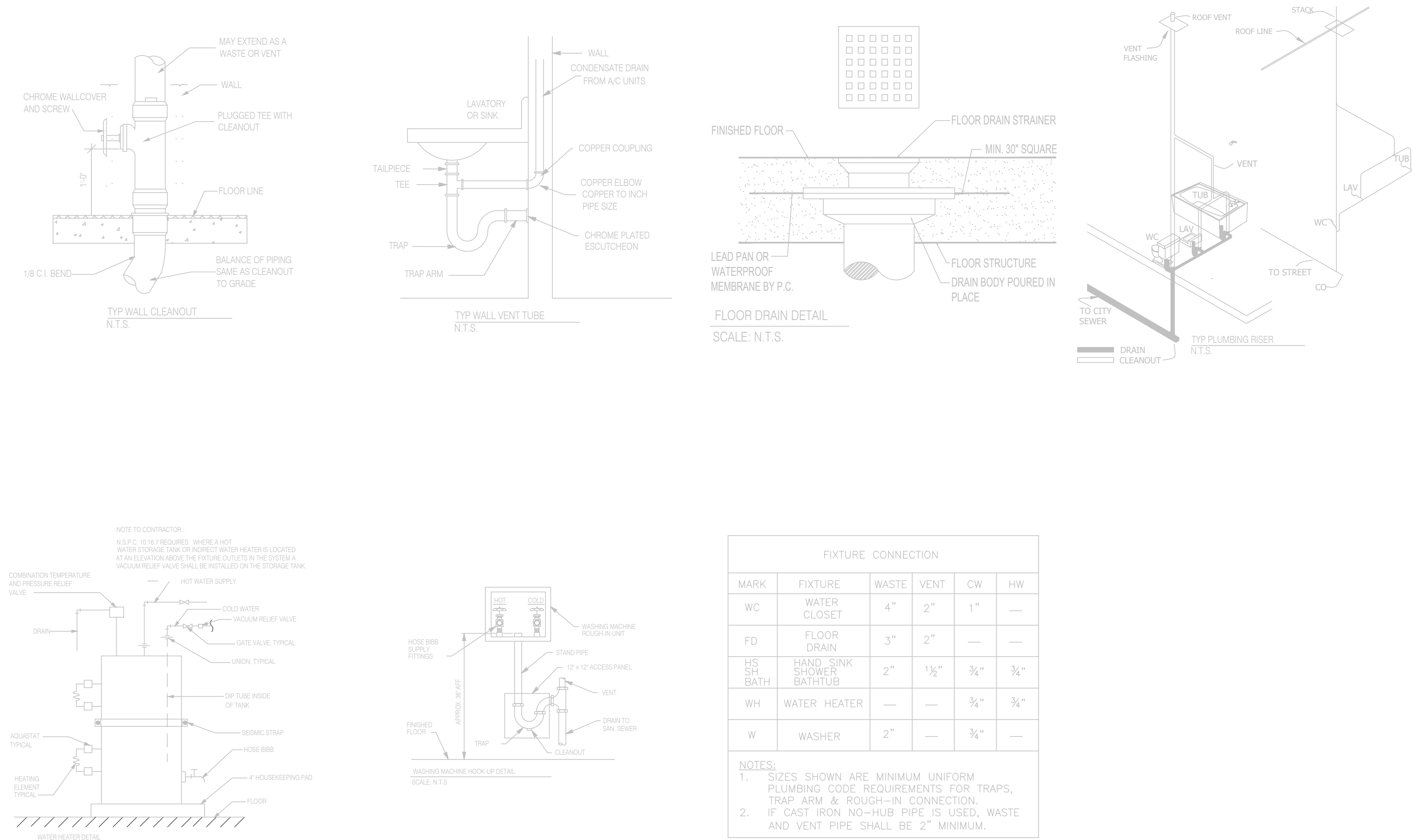
SHEET #
P2.02

FILE NAME
P2.02_FLR2_PLBG

1 SECOND LEVEL FLOOR PLAN - PLUMBING PLAN
P2.02 1/4" = 1'-0"

PLUMBING NOTES

1. ALL PIPING SHALL BE ROUTED ABOVE CEILING UNLESS OTHERWISE INDICATED. ALL PIPING EXPOSED TO VIEW SHALL BE ROUTED AS HIGH AS POSSIBLE AND TIGHT TO THE UNDERSIDE OF STRUCTURE.
2. ALL PIPING SHALL BE CONCEALED IN WALLS AND BEHIND FIXED FURNISHINGS UNLESS OTHERWISE INDICATED.
3. EXPOSED PIPING IN FINISHED AREAS SHALL BE CHROME PLATED WITH CHROME PLATED ESCUTCHEON AT PIPE ENTRY TO FINISHED AREA.
4. SLEEVE OR CORE-DRILL FLOOR SLABS, WALLS, ETC. AS REQUIRED FOR PIPING AND FIRE-STOP OPENING AROUND PIPE. VERIFY LOCATION OF STRUCTURAL BEAMS, JOISTS, ETC. BEFORE DRILLING.
5. ALL OPENINGS IN DRAINAGE AND/OR VENT SYSTEMS AS A RESULT OF INSTALLATION ROUGH-IN SHALL BE PROTECTED WITH A TEST PLUG THAT IS SECURELY LOCKED IN PLACE UNTIL FINAL FINISHED CONNECTIONS ARE INSTALLED.
6. WHEREVER FOUNDATION WALLS, OUTSIDE WALLS, ROOFS, ETC. ARE PENETRATED FOR INSTALLATION OF SYSTEMS, THEY SHALL BE PATCHED TO MATCH EXISTING CONSTRUCTION AND SEALED WEATHER TIGHT.
7. PROVIDE CLEANOUTS AT THE END OF EACH HORIZONTAL RUN, AND AT THE BASE OF ALL VERTICAL WASTE AND DRAIN PIPES. CLEANOUTS SHALL BE OF THE SAME SIZE AS THE PIPES THEY SERVE.
8. ACCESS PANELS SHALL BE PROVIDED WHERE CONCEALED CONTROL DEVICES, VALVES, ETC. ARE CONCEALED WITHIN WALLS. WHERE ACCESS FOR ADJUSTMENT AND MAINTENANCE IS POSSIBLE THROUGH LAY-IN SUSPENDED CEILINGS, ACCESS PANELS ARE NOT REQUIRED.
9. ALL PIPING SHALL BE RUN PARALLEL TO BUILDING LINES AND SUPPORTED AND ANCHORED AS REQUIRED TO FACILITATE EXPANSION AND CONTRACTION. INSTALL ALL PIPING AS REQUIRED TO MEET ALL CONSTRUCTION
10. CONDITIONS AND TO ALLOW FOR INSTALLATION OF OTHER WORK INCLUDING DUCTS AND ELECTRICAL CONDUIT.
11. PROVIDE AN ISOLATING, DIELECTRIC UNION AT ALL CONNECTIONS BETWEEN FERROUS AND NONFERROUS PIPING.
12. PROVIDE ALL FITTINGS, ACCESSORIES, OFFSETS, AND MATERIALS NECESSARY TO FACILITATE THE PLUMBING SYSTEM'S FUNCTIONING AS INDICATED BY THE DESIGN.



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SHEET TITLE
PLUMBING DETAILS

SHEET #
P3.00

FILE NAME
P3.00_SCHED_DTLS

**LANDMARK COMMISSION****JUNE 3, 2024**

FILE NUMBER: CA234-337(RD)
LOCATION: 366 S. Fleming Ave.
STRUCTURE: Contributing
COUNCIL DISTRICT: 4
ZONING: PD-388

PLANNER: Rhonda Dunn, Ph.D.
DATE FILED: April 22, 2024
DISTRICT: Tenth Street Neighborhood
MAPSCO: 55-E
CENSUS TRACT: 0041.00

APPLICANT: Gonzales, Jessica

REPRESENTATIVE: N/A

OWNER: LA ESCUELITA SPANISH

REQUEST(S)

1. A Certificate of Appropriateness to construct a rear porch with stairs (all wood with railing) to replace missing rear porch.
2. A Certificate of Appropriateness to install stairs (all wood with railing) at south side entrance.
3. A Certificate of Appropriateness to install stairs (all wood with railing) and accessible ramp at east side entrance (second rear entrance).
4. A Certificate of Appropriateness to paint all stair railings and rear porch posts off white. (Color: Sherwin Williams "Classic Light Buff" -- SW0050)

BACKGROUND / HISTORY:

Sited at the intersection of S. Fleming Avenue and E. Clarendon Drive, the subject property is a vacant one-story, wood-framed edifice with a gable(d) roof, a front portico and a hipped roof right side addition. Previously utilized as a religious sanctuary (a church), the building is identified as contributing to the Tenth Street Neighborhood Historic District. The current owner(s) of the subject property plan to convert the building into a childcare facility, for children ranging in age from infancy to six years old. Accordingly, the applicant is proposing minor alterations to the building and the site to improve child safety; including the installation of stairs, and the construction of a rear porch.

Previous applications for Certificates of Appropriateness filed for this property that are pertinent to this CA include:

Case Number	Review Type	Date	Owner	Decision
CA234-288(RD)	Routine	4/6/2024	LA ESCUELITA SPANISH	
1. Prepare and paint the main building. (Body: Sherwin Williams "Majolica Green" -- 0013; Trim: Sherwin Williams "Classis Light Buff" -- 0050) 2. Repair driveway using gravel material to match the existing. 3. Repair/replace entrance sign. <u>Condition(s)</u> : that entrance sign be reviewed and approved by Special Provision Sign District (SPSD) prior to commencement of work.				Approved Approved Approved w/ Conditions
CA234-253(RD)	Standard	4/1/2024	LA ESCUELITA SPANISH	
1. A Certificate of Appropriateness to replace existing exterior siding with millwork pattern #117, all wood siding on all elevations of main building. 2. A Certificate of Appropriateness to install a four-foot-high wood picket fence, in (less than 50 percent of) front yard. <u>Condition(s)</u> : that fencing be 5 feet to 6 feet high, chain link fencing for child safety. 3. A Certificate of Appropriateness to install a six-foot-high wood, board on board fence in rear, and side yards. <u>Condition(s)</u> : that fence posts/supports be metal with concrete footing. 4. A Certificate of Appropriateness to enclose and extend front porch. 5. A Certificate of Appropriateness to install landscaping -- trees and shrubs.				Approved Approved w/ Conditions Approved w/ Conditions Approved Approved
CA089-243(TC)	Standard	3/2/2009	BREWER WALTER & FLORENCE	
1. Enclose a rear porch. 2. Install a pipe fence in the front yard not to exceed 24-inches in height. 3. Install a 24 inch high foundation skirt around the entire building.				Approved Approved Approved with conditions

<p><u>Condition(s):</u></p> <p>Staff recommends that the siding be dropped down as a flashing around the skirt so that only 6 inches of brick is visible.</p> <p>4. Install Hardie-board on the entire structure.</p> <p><u>Condition(s):</u></p> <p>Hardie siding should be installed that matches the original wood 117 and 105 siding (8 inch Hardie boards sawed in half for the 117 and the Colonial siding for the 105). The installation of Hardie should match the original detailing as closely as possible, which includes any replacement of soffits or trim boards. The wood windows shall be repaired, not replaced or disturbed through the installation of the Hardie board. Furthermore, staff has significant concerns regarding the foundation of the structure, and the foundation should be stabilized to ensure the Hardie board is installed correctly.</p>	<p>Approved with conditions</p>
---	---------------------------------

RELEVANT PRESERVATION CRITERIA:

Tenth Street Historic District (H-60), Ordinance No.: 22852

Facades.

(f) Wood siding, trim, and detailing shall be carefully restored wherever practical. Historic materials should be repaired; they should be replaced only when necessary. Badly deteriorated paint should be removed in accordance with the Department of Interior standards prior to refinishing. All exposed wood must be painted, stained, or otherwise protected. No resurfacing with vinyl or aluminum siding or stucco is permitted on main structures. Imitation materials are allowed on accessory structure only if they are keeping with the style and materials on the main structure.

(g) COLOR: All colors must comply with the Acceptable Color Range Standards contained in Exhibit E. Fluorescent and metallic colors are not permitted on the exterior of any structure in this district.

Dominant and trim colors. All structures must have a dominant or body color and no more than three trim colors, including any accent colors. Proper location of dominant trim, and accent colors is shown in Exhibit F. The colors of a structure must be complementary of each other and the overall character of this district. Complimenting color schemes are encouraged through the blockface.

RELEVANT SECRETARY OF THE INTERIOR'S STANDARDS FOR THE TREATMENT OF HISTORIC PROPERTIES:

Standards for Rehabilitation

2. *The historic character of a property will be retained and preserved. The replacement of intact or repairable historic materials or alteration of features, spaces and spatial relationships that characterize a property will be avoided.*

5. *Distinctive materials, features, finishes and construction techniques or examples of craftsmanship that characterize a property will be preserved.*

6. *Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.*

9. *New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.*

10. *New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.*

RELEVANT DALLAS CITY CODE:

Section 51A-4.501. Historic Overlay District

(g) Certificate of Appropriateness.

(6) Standard certificate of appropriateness review procedure.

(C) Standard for approval. The landmark commission must grant the application if it determines that:

(i) for contributing structures:

(aa) *the proposed work is consistent with the regulations*

contained in this section and the preservation criteria contained in the historic overlay district ordinance.

(bb) *the proposed work will not have an adverse effect on the architectural features of the structure.*

(cc) *the proposed work will not have an adverse effect on the historic overlay district; and*

(dd) *the proposed work will not have an adverse effect on the future preservation, maintenance and use of the structure or the historic overlay district.*

STAFF RECOMMENDATION(S):

1. That the request for a Certificate of Appropriateness to construct a rear porch with stairs (all wood with railing) to replace missing rear porch be approved in accordance with drawings and specifications dated 5/2/2024. The proposed work

is consistent with preservation criterion Section (f) under Facades; the standards in City Code Section 51A-4.501(g)(6)(C)(i) for contributing structures; and the Secretary of the Interior's Standards for Rehabilitation.

2. That the request for a Certificate of Appropriateness to install stairs (all wood with railing) at south side entrance be approved in accordance with drawings and specifications dated 5/2/2024. The proposed work is consistent with preservation criterion Section (f) under Facades; the standards in City Code Section 51A-4.501(g)(6)(C)(i) for contributing structures; and the Secretary of the Interior's Standards for Rehabilitation.
3. That the request for a Certificate of Appropriateness to install stairs (all wood with railing) and accessible ramp at east side entrance (second rear entrance) be approved in accordance with drawings and specifications dated 5/2/2024. The proposed work is consistent with preservation criterion Section (f) under Facades; the standards in City Code Section 51A-4.501(g)(6)(C)(i) for contributing structures; and the Secretary of the Interior's Standards for Rehabilitation.
4. That the request for a Certificate of Appropriateness to paint all stair railings and rear porch posts off white (Color: Sherwin Williams "Classic Light Buff" -- SW0050) be approved in accordance with drawings and specifications dated 5/2/2024. The proposed work is consistent with preservation criterion Section (g) under Facades; the standards in City Code Section 51A-4.501(g)(6)(C)(i) for contributing structures; and the Secretary of the Interior's Standards for Rehabilitation.

TASK FORCE RECOMMENDATION(S):

1. That the request for a Certificate of Appropriateness to construct a rear porch with stairs (all wood with railing) to replace missing rear porch be approved as submitted.
2. That the request for a Certificate of Appropriateness to install stairs (all wood with railing) at south side entrance be approved as submitted.
3. That the request for a Certificate of Appropriateness to install stairs (all wood with railing) and accessible ramp at east side entrance (second rear entrance) be approved as submitted.
4. That the request for a Certificate of Appropriateness to paint all stair railings and rear porch posts off white (Color: Sherwin Williams "Classic Light Buff" -- SW0050) be approved as submitted.

SITE MAP
366 S Fleming Ave.



The yellow rectangle highlights 366 S Fleming Ave. The orange shading denotes Tenth Street Neighborhood coverage. Basemap Source: Google Earth

CURRENT PHOTOS
366 S Fleming Ave.



Subject property. Front: west elevation. Depicts covered portico (i.e., porch), as well as the front and left side yards. Source: Google Maps – Streetview (May, 2022).



Subject property. Left: north elevation. Depicts two feet high pipe fence, covered windows and an enclosed side projection with shed roof. Source: Google Maps – Streetview (May, 2022).



Subject property. Right: south elevation. Stairs and walkway indicate enclosure of a door opening. Two posts indicate where rear porch will be added. Source: Google Maps – Streetview (May, 2022).



Subject property. Rear: east elevation. Depicts additional alterations in fenestration, from the original building's. Source: Google Maps – Streetview (May, 2022).

ATTACHMENTS:

- **Task Force Recommendation Form**
- **Certificate of Appropriateness Application**

TASK FORCE RECOMMENDATION REPORT
WHEATLEY PLACE / TENTH STREET

DATE: 05/07/2024

TIME: **4:00 pm**

MEETING PLACE: **Preservation Dallas/Videoconference**

Applicant Name: Jessica Gonzales

Address: 366 S Fleming Ave (Wheatley Place/ **Tenth St Neighborhood** HD)

Date of **CA**/CD/CR Request: 04/22/2024

RECOMMENDATION:

☒ Approve ☐ Approve with conditions ☐ Deny ☐ Deny without prejudice

Recommendation / comments/ basis:

Approve work.

Task force members present

<input checked="" type="checkbox"/> Barbara Wheeler (Chair)	<input checked="" type="checkbox"/> Alonzo Harris	<input type="checkbox"/> Patricia Williams
<input checked="" type="checkbox"/> Larry Johnson (Vice Chair)	<input checked="" type="checkbox"/> Shaní Dixon	<input type="checkbox"/> Jarod Fancher
<input type="checkbox"/> VACANT	<input type="checkbox"/> VACANT	

Ex Officio staff members Present: ☒ Dr. Rhonda Dunn

Simple Majority Quorum: ☒ yes ☐ no (four makes a quorum)

Maker:

2nd:

Task Force members in favor: **4**

Task Force members opposed: **0**

Basis for opposition:

CHAIR, Task Force: *[Signature]*

DATE: 05/07/2024

The task force recommendation will be reviewed by the landmark commission in Briefing Room 6ES, starting with a Staff briefing. The Landmark Commission public hearing begins at 1:00 pm in Room 6ES, which allows the applicant and citizens the opportunity to provide public comment(s).

Certificate of Appropriateness (CA)

City of Dallas Landmark Commission

CA _____ - _____ ()

OFFICE USE ONLY

Name of Applicant: _____

Mailing Address: _____

City, State and Zip Code: _____

Daytime Phone: _____ Alternate Phone: _____

Relationship of Applicant to Owner : _____

OFFICE USE ONLY

Main Structure:

☐

Contributing

☐

Non-contributing

PROPERTY ADDRESS: _____

Historic District: _____

PROPOSED WORK:

List all proposed work simply and accurately, use extra sheet if needed. Attach all documentation specified in the submittal criteria checklist for type of work proposed. **DO NOT** write "see attached."

EMAIL ADDRESS:

Signature of Applicant: Jessica Gonzales Date: _____

Signature of Owner: Jessica Gonzales Date: _____
(IF NOT APPLICANT)

APPLICATION DEADLINE:

Application material must be **completed and submitted by the FOURTH MONDAY OF EACH MONTH BY 12:00 NOON**, (see official calendar for exceptions), before the Dallas Landmark Commission can consider the approval of any change affecting the exterior of any building. **Provide this form along with applicable fees, and any supporting documentation must be filed with a Preservation Planner at City Hall, 1500 Marilla 5BN, Dallas, Texas, 75201. You may submit by email to Historicpreservation@dallas.gov** Please write your address and district in the email subject line.

Please use the enclosed criteria checklist as a guide to complete the application. Incomplete applications cannot be reviewed and will be returned to you for more information. You are encouraged to contact a Preservation Planner to ensure your application is complete. Click on the following link to the City of Dallas website for contact information:

<https://dallascityhall.com/departments/sustainabledevelopment/historicpreservation/Pages/Contacts.aspx>

OTHER:

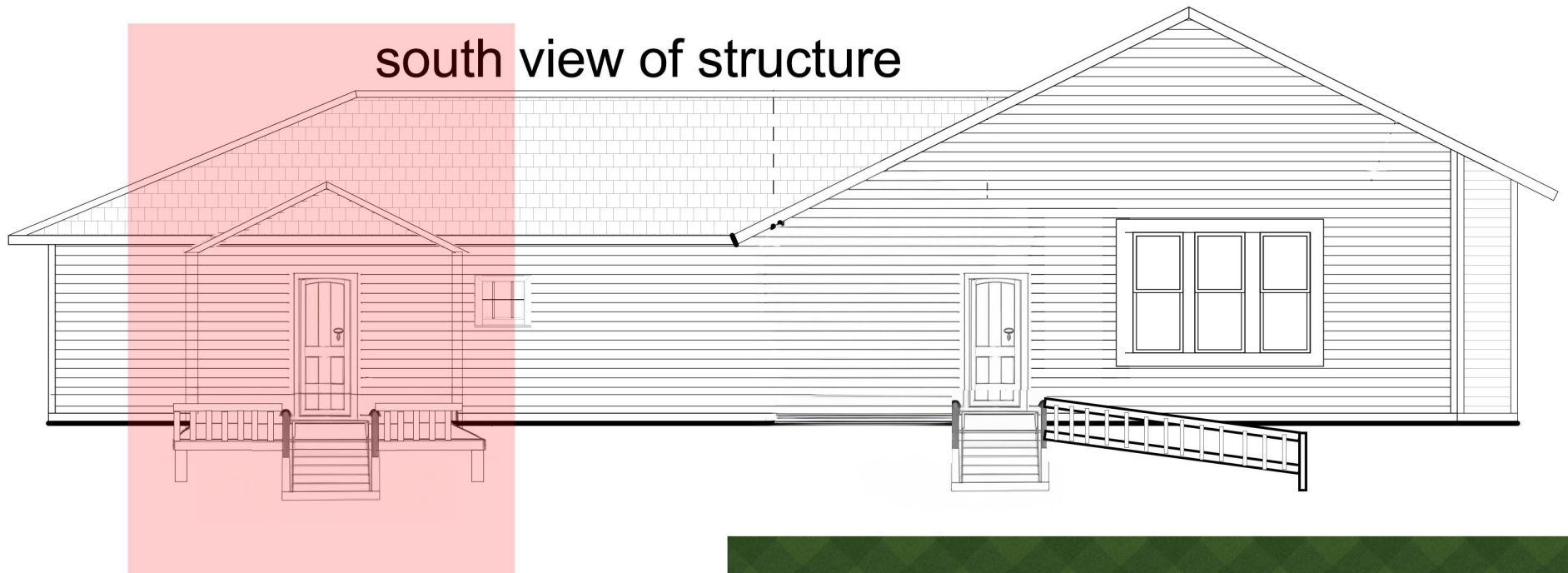
In the event of a denial, you have the right to an appeal within 30 days after the Landmark Commission's decision. You are encouraged to attend the Landmark Commission hearing the first Monday of each month at 1:00 pm in Council Chambers of City Hall (see exceptions). Information regarding the history of past certificates of appropriateness for individual addresses is available for review in 5BN of City Hall.

366 S. Fleming
Dallas, Texas 75203

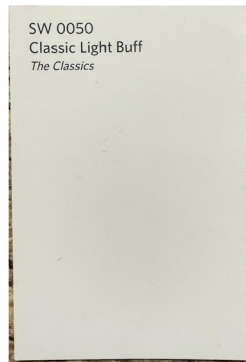
**ALL APPLICATIONS:IMAGES OF FRONT FACADE OF THE STRUCTURE
AND ALL SIDES WHERE WORK IS PREPARED.**



south view of structure



SW 0050
Classic Light Buff
The Classics



CA234-337(RD)

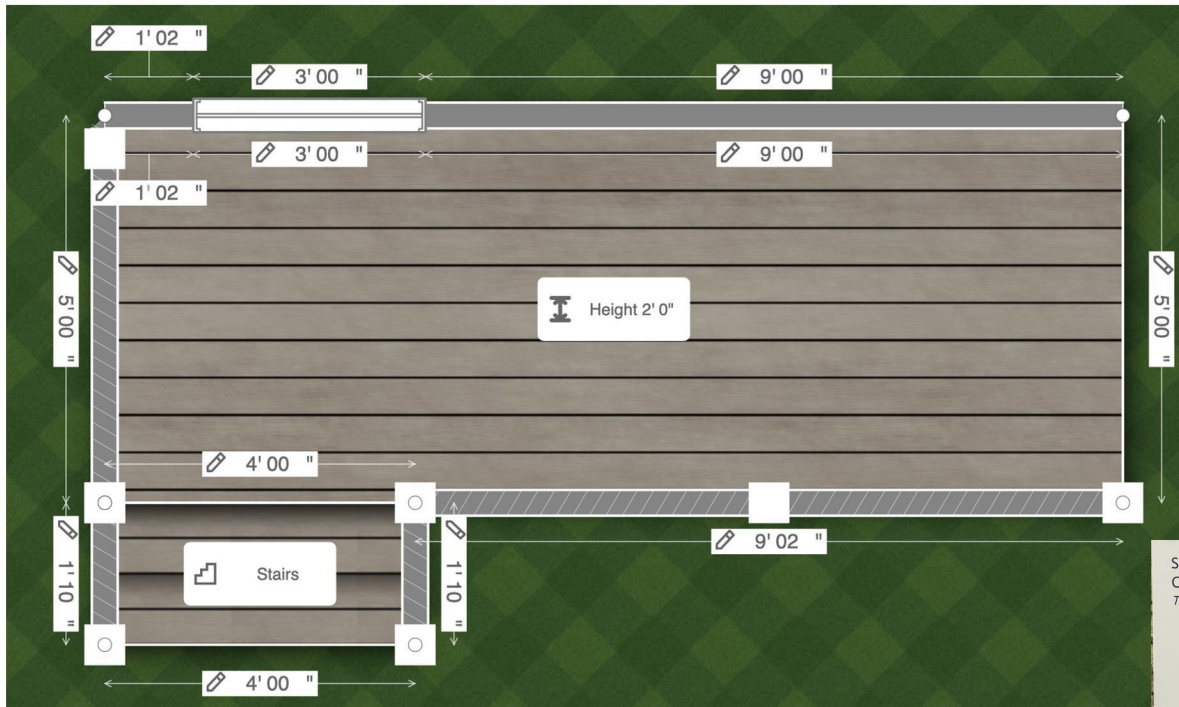
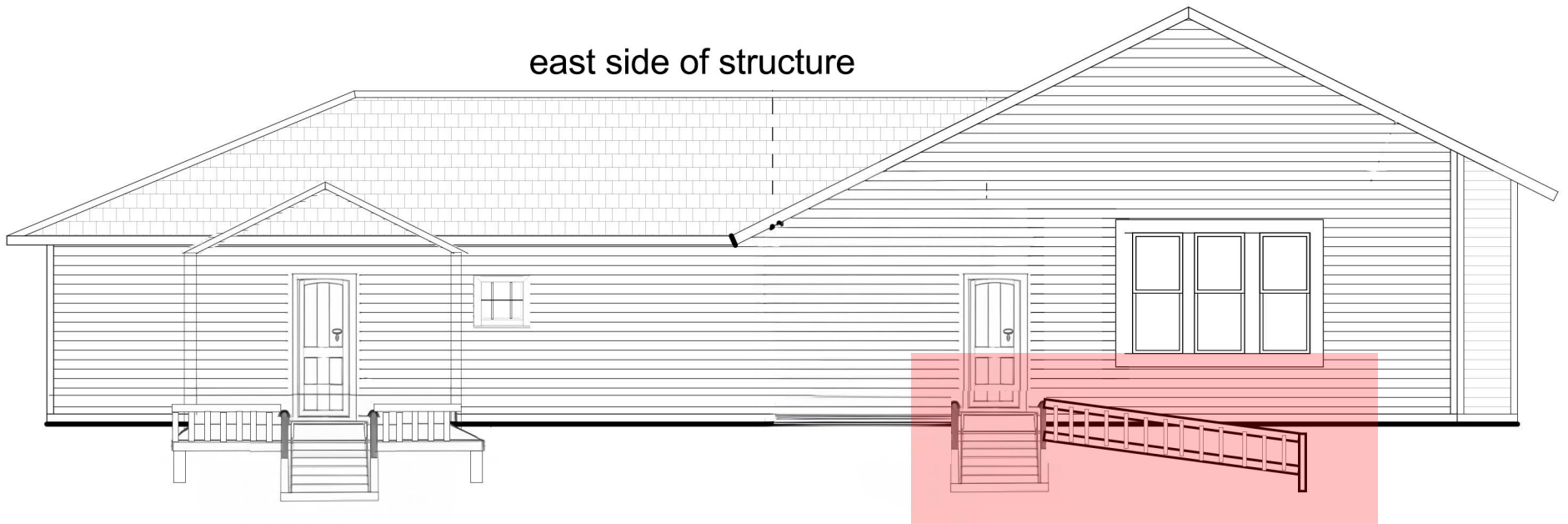


install 5'6"x12 porch with stairs
material :wood

railing painted: SW 0050 Classic Light Buff

C4-13

east side of structure



SW 0050
Classic Light Buff
The Classics

install 4' stairs with a handicap rail

material :wood

railing painted: SW 0050 Classic Light Buff

CA234-337(RD)

C4-14



CITY OF DALLAS

LANDMARK COMMISSION

JUNE 3, 2024

FILE NUMBER: CA234-316(MW)
LOCATION: 337 S. Edgefield Ave.
STRUCTURE: Contributing
COUNCIL DISTRICT: 1
ZONING: PD-87

PLANNER: Marcus Watson
DATE FILED: May 2, 2024
DISTRICT: Winnetka Heights (H-15)
MAPSCO: 54-E, 54-F
CENSUS TRACT: 0052.00

APPLICANT: Mackay, Alexander

REPRESENTATIVE: N/A

OWNER: MACKAY, ALEXANDER

REQUESTS:

A Certificate of Appropriateness to paint the main structure (Body: SW0029 "Acanthus"; Trim: SW0050 "Classic Light Buff"; Sashes and Accent: SW2838 "Polished Mahogany" or SW6258 "Tricorn Black"). (Work completed without a CA; Proposal revised.)

STAFF RECOMMENDATION:

That the request for a Certificate of Appropriateness to paint the main structure (Body: SW0029 "Acanthus"; Trim: SW0050 "Classic Light Buff"; Sashes and Accent: SW2838 "Polished Mahogany" or SW6258 "Tricorn Black") be **approved** in accordance with materials dated 5/14/24 **with the condition** that no brick or other masonry be painted. Implementation of the recommended condition would allow the proposed work to be consistent with preservation criteria Section 51P-87.111(a)(8); the standards in City Code Section 51A-4.501(g)(6)(C)(i) for contributing structures; and the Secretary of the Interior's Guidelines for Setting (District/Neighborhood).

TASK FORCE RECOMMENDATION:

That the request for a Certificate of Appropriateness to paint the main structure (Option 1: Body - SW7008 "Alabaster"; Trim and Accent - SW6258 "Tricorn Black") or (Option 2: Body - SW7008 "Alabaster"; Trim - TBD; Accent - SW6258 "Tricorn Black") **denied without prejudice**. Need new color scheme add a third color to soften the contrast between black and white. Only use black as the accent. Paint trim and columns new color. **(NOTE: The color scheme was revised by the applicant based on the task force recommendation.)**

BACKGROUND / HISTORY:

337 S. Edgefield Ave. is a two-story, single-family Prairie style house identified as contributing to the Winnetka Heights historic overlay district. The applicant is proposing to repaint the house in a new color scheme.

The house was painted without a CA to the current black and white configuration. However, after meeting with the task force, the applicant revised the proposed paint scheme and is willing to repaint the house in approved colors.

Previous applications for Certificates of Appropriateness (or Demolition) filed for this property that are pertinent to this CA include:

<u>CASE NUMBER</u>	<u>TYPE</u>	<u>DATE</u>	<u>OWNER</u>	<u>DECISION</u>
CA190-144(MLP) Roof: "Pewter Gray" Paint structure: Body-"Tin Lizzie"; Trim-"White" Stain door/porch floor: "Riverwood"	Routine	12/6/19	RAMIREZ	Approved Approved w/ Cond. Approved
CA178-709(JKA) Paint structure:	Standard Body-"Liquid Mercury"; Trim-"Ultra Pure White"; Accent Stain: "Oiled Teak"	7/5/18	RAMIREZ	Approved
CA078-483(MW) Paint structure:	Standard Body-"Basket Beige"; Trim-"Dapper Dan"; Door/Accent-"Umber"	2/24/09	RAMIREZ	Approved

RELEVANT PRESERVATION CRITERIA: Winnetka Heights Historic District (H-15); Ordinance Nos. 17164 and 17165 Sec. 51P-87.111(a)(8)

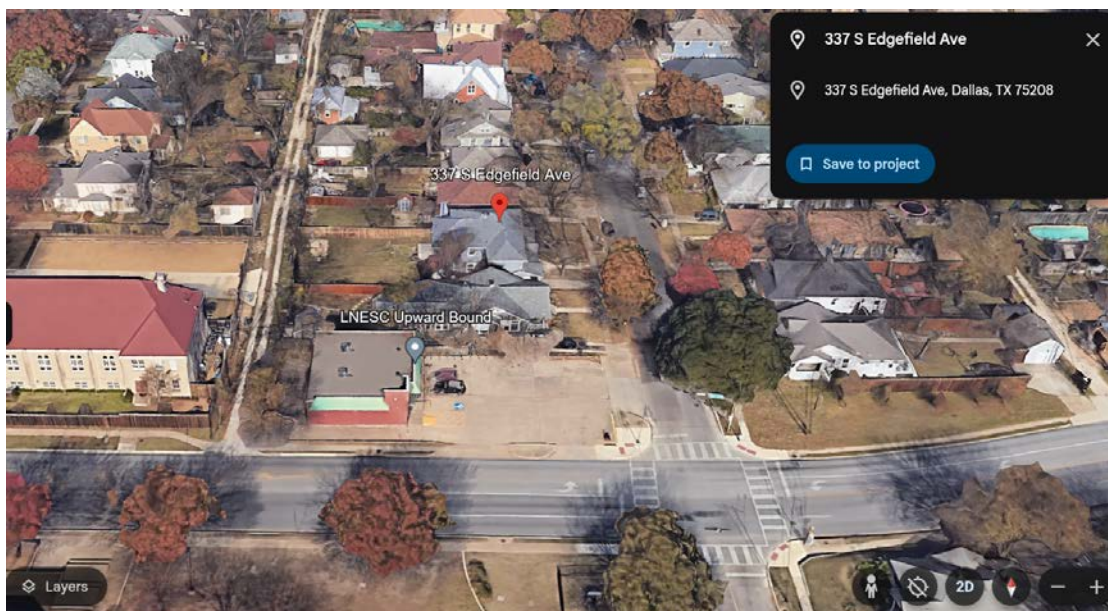
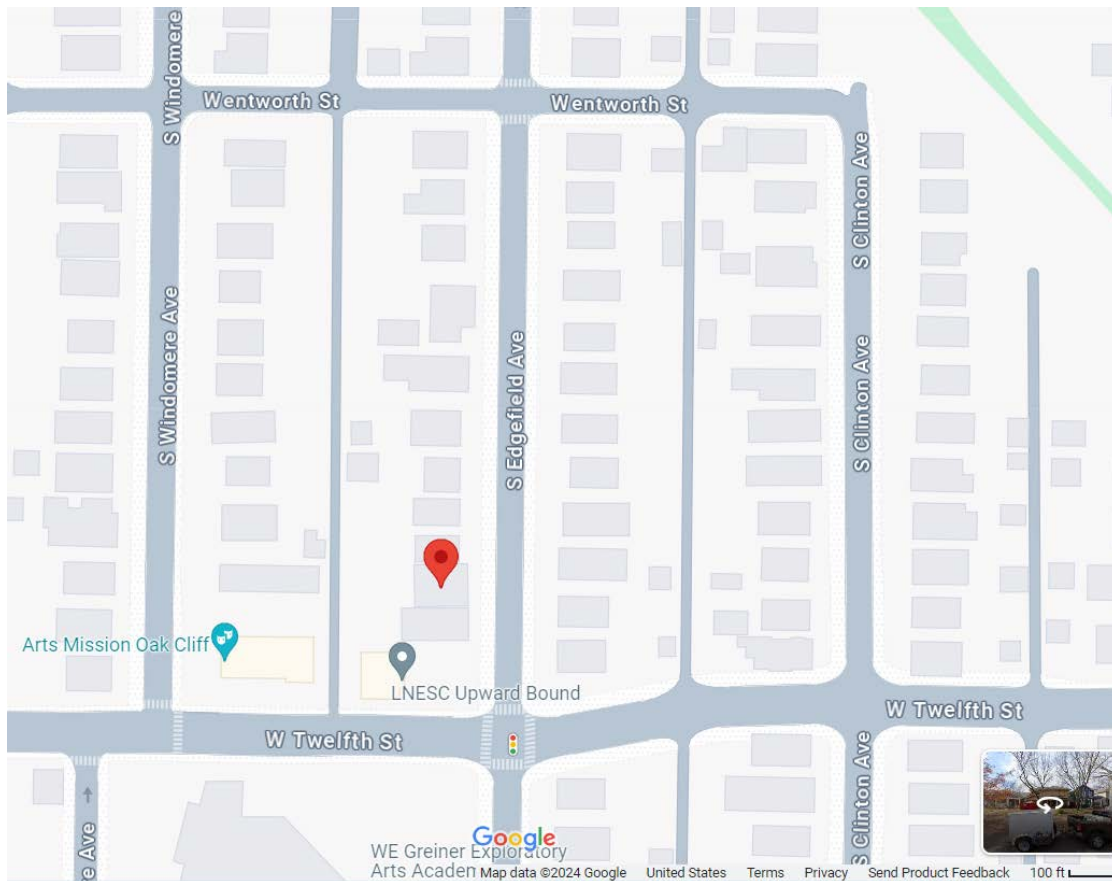
RELEVANT SECRETARY OF THE INTERIOR'S STANDARDS/GUIDELINES FOR THE TREATMENT OF HISTORIC PROPERTIES (REHABILITATION): Guidelines for Setting (District/Neighborhood)

RELEVANT DALLAS CITY CODE: Section 51A-4.501(g)(6)(C)(i) for contributing structures

LOCATION MAPS

337 S. Edgefield Ave.

Source: Google Earth

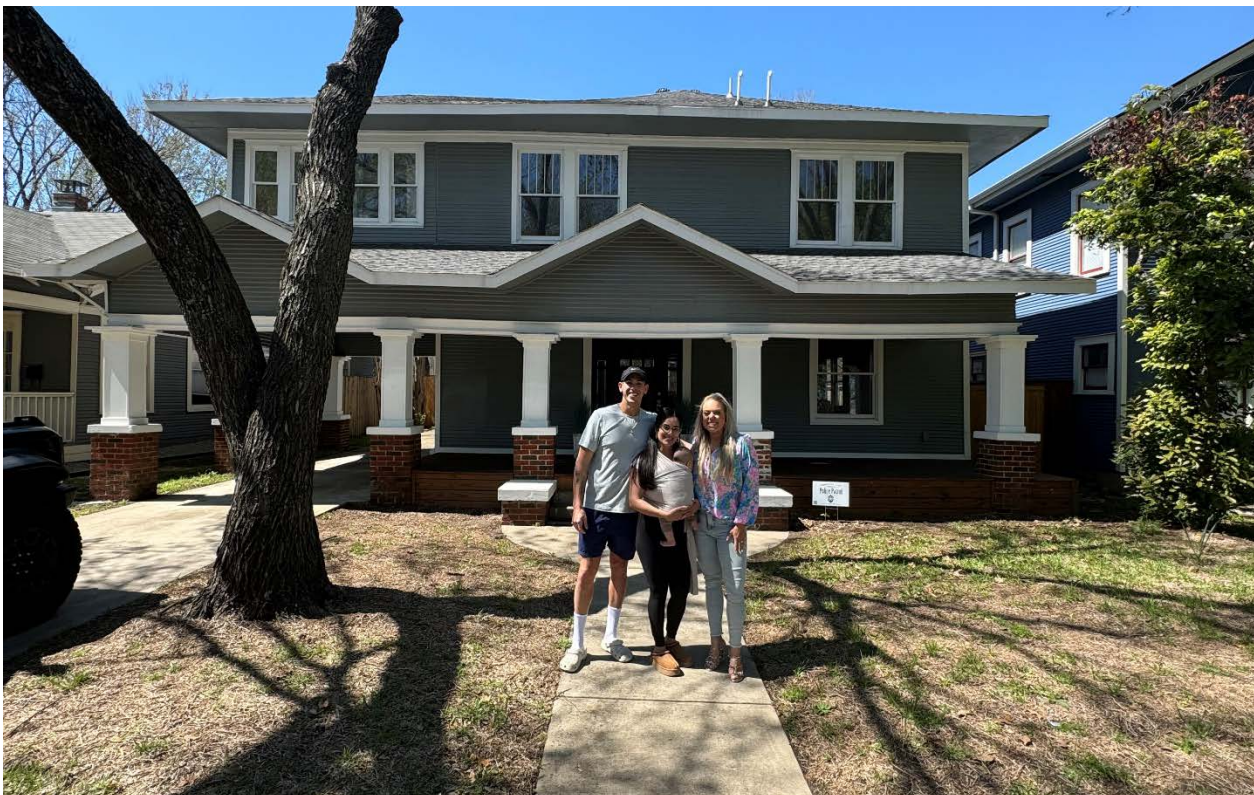


PHOTOS
337 S. Edgefield Ave.

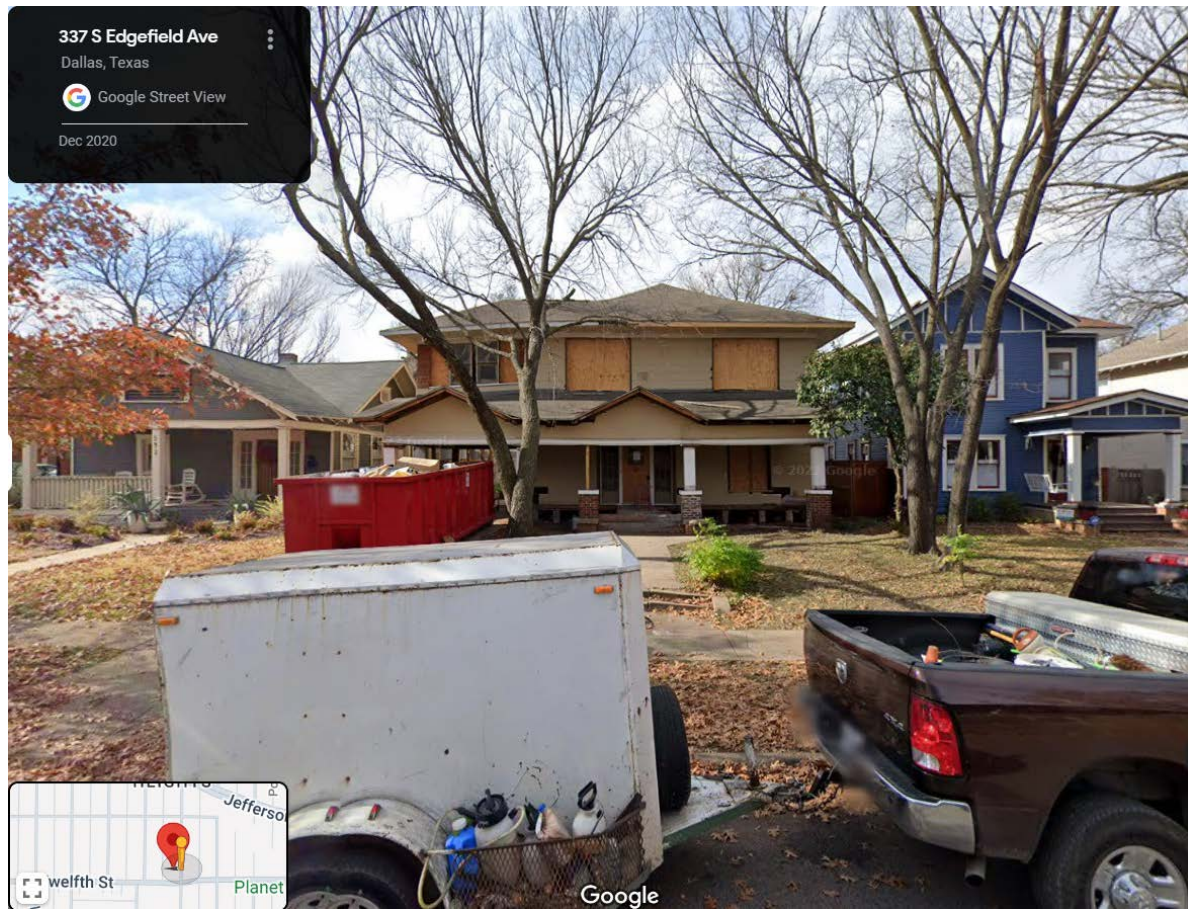
Current (unauthorized – to be changed):



Previous:



2020 (Before Restoration):



ATTACHMENTS:

- **Task Force Recommendation Form**
- **Certificate of Appropriateness Application**

TASK FORCE RECOMMENDATION REPORT

Winnetka Heights and Lake Cliff Historic Districts

DATE: 5/8/2024
TIME: 4:00 p.m.
LOCATION: Hybrid Virtual/2922 Swiss Ave

Applicant Name: Mackay, Alexander
Address: 337 S. Edgefield Ave.
Request Type: CA

Request: Paint house with new paint scheme (unauthorized work).

Recommendation:

☐ Approve ☐ Approve with conditions ☒ Deny w/o prejudice ☐ Deny

Comments:

Need new color scheme – add a third color to soften the contrast between black and white.
Only use black as the accent. Paint trim and columns new color.

Task force members present:

<input checked="" type="checkbox"/> Christine Escobedo	<input checked="" type="checkbox"/> Alfred Pena (Vice-chair)
<input checked="" type="checkbox"/> Mia Ovcina	<input type="checkbox"/> Troy Sims
<input checked="" type="checkbox"/> Caitlin Parish	<input checked="" type="checkbox"/> Michelle Walker (Chair)

Ex Officio staff members present: ☒ Marcus Watson

Quorum: ☒ Yes ☐ No (four makes a quorum)

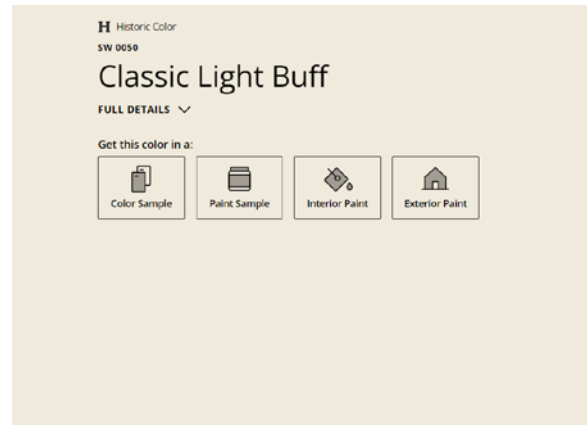
Maker: Pena 2nd: Walker
FOR: 5 AGAINST: 0
Basis for opposition:



Body:

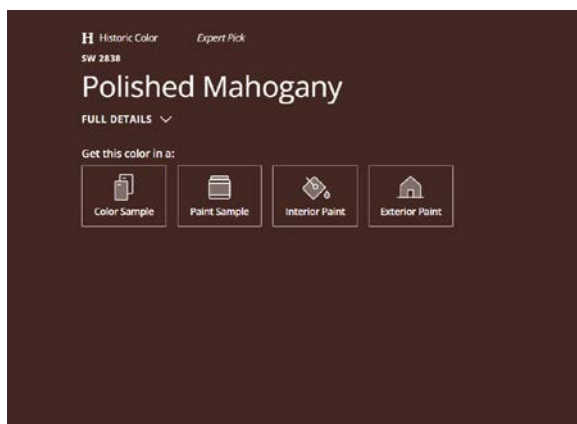


Trim:

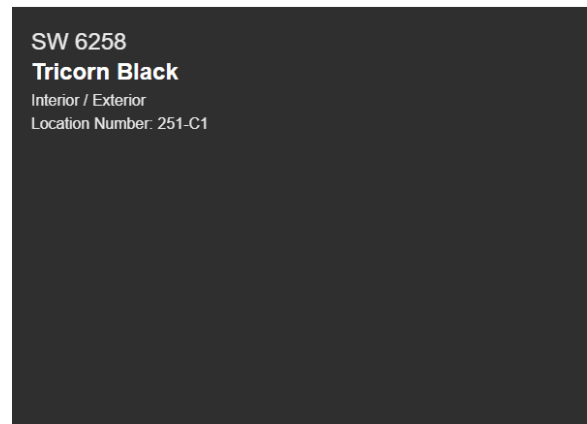


Window Sashes / Accent:

Option 1



Option 2



SW 2838
Polished Mahogany
Arts & Crafts

SW 0029
Acanthus

SW 0050
Classic Light Buff
The Classics

SW 6258
Tricorn Black

251-C1



CITY OF DALLAS

LANDMARK COMMISSION

JUNE 3, 2024

FILE NUMBER: CA234-348(MW)
LOCATION: 416 S. Clinton Ave.
STRUCTURE: Contributing
COUNCIL DISTRICT: 1
ZONING: PD-87

PLANNER: Marcus Watson
DATE FILED: May 2, 2024
DISTRICT: Winnetka Heights (H-15)
MAPSCO: 54-F
CENSUS TRACT: 0051.00

APPLICANT: Peters Cates Design

REPRESENTATIVE: N/A

OWNER: BISHOP J BROOKS IV

REQUESTS:

1. A Certificate of Appropriateness to remove all existing windows on the north, east, west, and south sides of the rear "tower" addition.
2. A Certificate of Appropriateness to install a sliding door on the east side of the rear "tower" addition.
3. A Certificate of Appropriateness to install a sliding door on the north side of the rear "tower" addition.
4. A Certificate of Appropriateness to replace two (2) historic windows on the south side of the main structure.
5. A Certificate of Appropriateness to install an additional window on the south side of the main structure to match existing.
6. A Certificate of Appropriateness to replace three (3) windows on the north side of the main structure.
7. A Certificate of Appropriateness to replace the asbestos siding on the north, east, west, and south sides of the "tower" addition, the rear of the main structure and part of the north side of the main structure with Hardie Shingle Staggered Panel.

STAFF RECOMMENDATION:

1. That the request for a Certificate of Appropriateness to remove all existing windows on the north, east, west, and south sides of the rear "tower" addition be **approved** in accordance with drawings and materials dated 4/21/24 with the finding of fact that the proposed work is not visible from the public right-of-way. The proposed work is otherwise consistent with the standards in City Code Section 51A-4.501(g)(6)(C)(i) for contributing structures; and the

Secretary of the Interior's Guidelines for Setting (District/Neighborhood).

2. That the request for a Certificate of Appropriateness to install a sliding door on the east side of the rear "tower" addition be **approved** in accordance with drawings and materials dated 4/21/24 with the finding of fact that the proposed work is not visible from the public right-of-way. The proposed work is otherwise consistent with the standards in City Code Section 51A-4.501(g)(6)(C)(i) for contributing structures; and the Secretary of the Interior's Guidelines for Setting (District/Neighborhood).
3. That the request for a Certificate of Appropriateness to install a sliding door on the north side of the rear "tower" addition be **approved** in accordance with drawings and materials dated 4/21/24 with the finding of fact that the proposed work is not visible from the public right-of-way. The proposed work is otherwise consistent with the standards in City Code Section 51A-4.501(g)(6)(C)(i) for contributing structures; and the Secretary of the Interior's Guidelines for Setting (District/Neighborhood).
4. That the request for a Certificate of Appropriateness to replace two (2) historic windows on the south side of the main structure be **approved** in accordance with drawings and materials dated 4/21/24 **with the condition** that the windows be all wood with no cladding. Implementation of this recommended condition would allow the proposed work to be consistent with preservation criteria Section 51P87.111(a)(17)(F)(iii); the standards in City Code Section 51A-4.501(g)(6)(C)(i) for contributing structures; and the Secretary of the Interior's Guidelines for Setting (District/Neighborhood).
5. That the request for a Certificate of Appropriateness to install an additional window on the south side of the main structure to match existing be **approved** in accordance with drawings and materials dated 4/21/24 **with the condition** that the window be all wood with no cladding. Implementation of this recommended condition would allow the proposed work to be consistent with preservation criteria Section 51P87.111(a)(17)(F)(iii); the standards in City Code Section 51A-4.501(g)(6)(C)(i) for contributing structures; and the Secretary of the Interior's Guidelines for Setting (District/Neighborhood).
6. That the request for a Certificate of Appropriateness to replace three (3) windows on the north side of the main structure be **approved** in accordance with drawings and materials dated 4/21/24 **with the condition** that the windows be all wood with no cladding. Implementation of this recommended condition would allow the proposed work to be consistent with preservation criteria Section 51P87.111(a)(17)(F)(iii); the standards in City Code Section 51A-4.501(g)(6)(C)(i) for contributing structures; and the Secretary of the Interior's Guidelines for Setting (District/Neighborhood).
7. That the request for a Certificate of Appropriateness to replace the asbestos siding on the north, east, west, and south sides of the "tower" addition, the rear of the main structure and part of the north side of the main structure with Hardie Shingle Staggered Panel be **approved** in accordance with drawings and materials dated 4/21/24 with the finding of fact that the proposed work is not visible from the public right-of-way. The proposed work is otherwise consistent with the standards in City Code Section 51A-4.501(g)(6)(C)(i) for contributing structures; and the Secretary of the Interior's Guidelines for Setting (District/Neighborhood).

TASK FORCE RECOMMENDATION:

1. That the request for a Certificate of Appropriateness to remove all existing windows on the north, east, west, and south sides of the rear "tower" addition be **denied without prejudice**. Need a window survey documenting window condition. Removing too much historic fabric; modernizing too much. Perhaps extend addition to make it work better.
2. That the request for a Certificate of Appropriateness to install a sliding door on the east side of the rear "tower" addition be **denied without prejudice**. Need a window survey documenting window condition. Removing too much historic fabric; modernizing too much.
3. That the request for a Certificate of Appropriateness to install a sliding door on the north side of the rear "tower" addition be **denied without prejudice**. Need a window survey documenting window condition. Removing too much historic fabric; modernizing too much.
4. That the request for a Certificate of Appropriateness to replace two (2) historic windows on the south side of the main structure be **denied without prejudice**. Need a window survey documenting window condition.
5. That the request for a Certificate of Appropriateness to install an additional window on the south side of the main structure to match existing be **denied without prejudice**. No comments.
6. That the request for a Certificate of Appropriateness to replace three (3) windows on the north side of the main structure be **denied without prejudice**. Need a window survey documenting window condition. Removing too much historic fabric; modernizing too much.
7. That the request for a Certificate of Appropriateness to replace the asbestos siding on the north, east, west, and south sides of the "tower" addition, the rear of the main structure and part of the north side of the main structure with Hardie Shingle Staggered Panel be **denied without prejudice**. Will not be able to use Hardie siding. Wood siding better than shingles.

BACKGROUND / HISTORY:

416 S. Clinton Ave. is a one-story, single-family Craftsman style bungalow with an unusual 1.5-story popup “sleeping porch” tower on the rear, identified as contributing to the Winnetka Heights historic overlay district. The applicant is proposing to renovate and reconfigure the rear of the house including the “tower.”

Previous applications for Certificates of Appropriateness (or Demolition) filed for this property that are pertinent to this CA include:

<u>CASE NUMBER</u>	<u>TYPE</u>	<u>DATE</u>	<u>OWNER</u>	<u>DECISION</u>
CD223-005(CM) Demolish accessory structure.	Standard	3/13/23	BARLET	Approve
CA223-234(CM) Construct new accessory structure.	Standard	3/13/23	BARLET	Approve
CA134-138(MD) Repair non-historic siding.	Routine	1/24/14	BARLET	Approve
CA123-363(MD) Install skylight on rear roof.	Routine	3/18/13	BARLET	Approve
CA123-323(MD) Remove window and install door on east side. Install new window sashes.	Standard	4/8/13	BARLET	Deny w/o Prej. Deny w/o Prej.
CA123-289(MD) Remove asbestos siding (never done). Install 8-foot rear privacy fence.	Routine	2/12/13	BARLET	Approve Approve
CA123-223(MD) Replace window sashes. Replace doors and rear façade.	Standard	2/11/13	BARLET	Deny w/o Prej. Approve

ANALYSIS:

The basis for the staff recommendation of approval is the fact that the proposed work to the rear of the house is not visible from the public right-of-way.

It is important to note and frequently remind ourselves that the basis for our ability to regulate historic districts at all is the idea that it is a “public purpose,” set forth in the Supreme Court decision in *Penn Central Transportation Co. v. City of New York*. This legal precedent relies on the concept that the preservation of neighborhoods is for the public good and, therefore, should be enjoyed by the public. This is why we do not regulate interiors unless they are in a building open to the public, and why we must also be very careful about regulating alterations that cannot be seen from the public right-of-way.

Most of the proposed alterations in this case are not seen by the public. Staff did, however, offer conditions for the alterations on the sides of the house that may possibly be seen from the street in the absence of a privacy fence and clearly defined in the preservation criteria.

RELEVANT PRESERVATION CRITERIA: Winnetka Heights Historic District (H-15); Ordinance Nos. 17164 and 17165 Sec. 51P-87.111(a)(8)

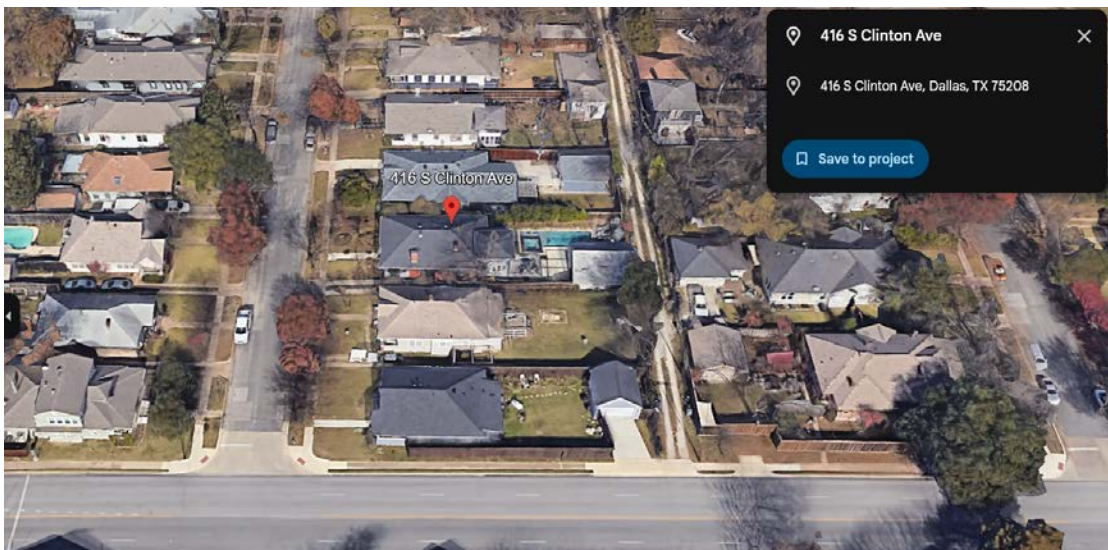
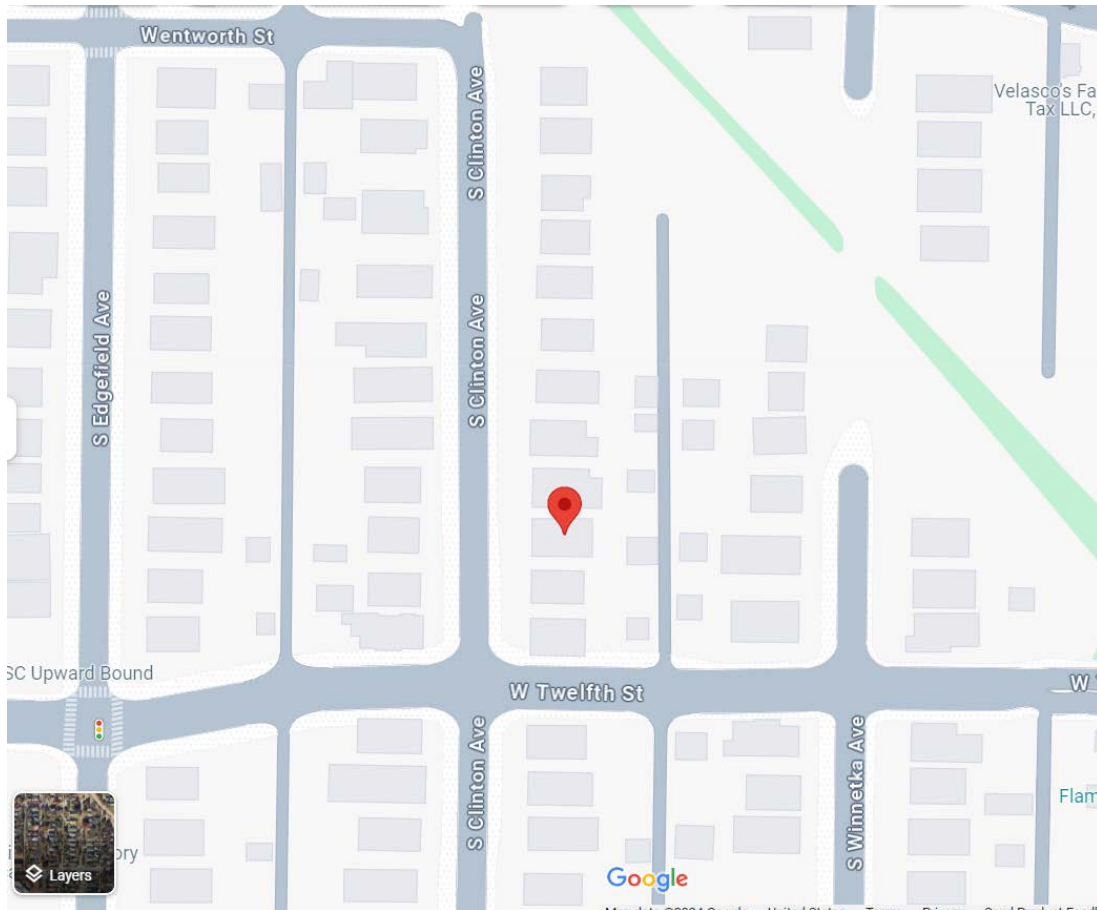
RELEVANT SECRETARY OF THE INTERIOR'S STANDARDS/GUIDELINES FOR THE TREATMENT OF HISTORIC PROPERTIES (REHABILITATION): Guidelines for Setting (District/Neighborhood)

RELEVANT DALLAS CITY CODE: Section 51A-4.501(g)(6)(C)(i) for contributing structures

LOCATION MAPS

416 S. Clinton Ave.

Source: Google Earth



PHOTOS
416 S. Clinton Ave.

Current (Summer):





Jan 2024 (Winter):



ATTACHMENTS:

- **Task Force Recommendation Form**
- **Certificate of Appropriateness Application**

TASK FORCE RECOMMENDATION REPORT

Winnetka Heights and Lake Cliff Historic Districts

DATE: 5/8/2024
TIME: 4:00 p.m.
LOCATION: Hybrid Virtual/2922 Swiss Ave

Applicant Name: Peter Cates Design
Address: 416 S. Clinton Ave.
Request Type: CA
Request:

- a. Replace 3 windows on north side (rear).
- b. Replace 2 windows and add 1 window on south side.
- c. Remove all windows and 1 door on southeast rear. Replace with 1 sliding unit and 1 fixed window. Replace all existing siding on this rear area with Hardi product.
- d. Remove 2 windows and 1 door on east rear. Replace with 1 sliding door. Replace all siding in this area with Hardi product.
- e. Paint all new siding, soffit and fascia: SW 2851 "Sage Green"
- f. Paint all window and door trim: SW 9165 Gossamer Veil"

Recommendation:

☐ Approve ☐ Approve with conditions ☒ Deny w/o prejudice ☐ Deny

Comments:

Need a window survey documenting window condition. Will not be able to use Hardie siding. Removing too much historic fabric; modernizing too much. Wood siding better than shingles. Perhaps extend addition to make it work better.

Task force members present:

<input checked="" type="checkbox"/> Christine Escobedo	<input checked="" type="checkbox"/> Alfred Pena (Vice-chair)
<input checked="" type="checkbox"/> Mia Ovcina	<input type="checkbox"/> Troy Sims
<input checked="" type="checkbox"/> Caitlin Parish	<input checked="" type="checkbox"/> Michelle Walker (Chair)

Ex Officio staff members present: ☒ Marcus Watson

Quorum: ☒ Yes ☐ No (four makes a quorum)

Maker: Ovcina 2nd: Pena
FOR: 5 AGAINST: 0
Basis for opposition:

Certificate of Appropriateness (CA)

City of Dallas Landmark Commission

CA

Office Use Only

Name of Applicant: Peters Gates Design
Mailing Address: 2118 Barberry DR.
City, State and Zip Code: DALLAS, TX, 75211
Daytime Phone: 214-704-1493 Alternate Phone: _____
Relationship of Applicant to Owner: PROJECT MANAGER

OFFICE USE ONLY

Main Structure:

___ Contributing

___ Non-contributing

PROPERTY ADDRESS: 416 S. CLINTON
Historic District: WINNETKA HEIGHTS

PROPOSED WORK:

List all proposed work simply and accurately, use extra sheet if needed. Attach all documentation specified in the submittal criteria checklist for type of work proposed. **DO NOT** write "see attached."

1. Replace 3 existing windows w/ 3 new North east rear
- Replace existing siding w/ new Hardy Siding North east rear
2. Replace 2 existing windows w/ 2 new & add 1 new window
- Patch existing siding as required.
- See 2nd sheet for remaining items 3-5.

Signature of Applicant: R. Peterson Date: April 24, 2024

Signature of Owner: J. Brooks Bishop Date: April 24, 2024
(IF NOT APPLICANT)

APPLICATION DEADLINE:

Application material must be completed and submitted by the **FIRST THURSDAY OF EACH MONTH, 12:00 NOON**, (see official calendar for exceptions), before the Dallas Landmark Commission can consider the approval of any change affecting the exterior of any building. This form along with any supporting documentation must be filed with a Preservation Planner at City Hall, 1500 Marilla 5BN, Dallas, Texas, 75201.

Please use the enclosed criteria checklist as a guide to completing the application. Incomplete applications cannot be reviewed and will be returned to you for more information. You are encouraged to contact a Preservation Planner at 214/670-4209 to make sure your application is complete.

OTHER:

In the event of a denial, you have the right to an appeal within 30 days after the Landmark Commission's decision. You are encouraged to attend the Landmark Commission hearing the first Monday of each month at 1:00 pm in Council Chambers of City Hall (see exceptions). Information regarding the history of past certificates of appropriateness for individual addresses is available for review in 5BN of City Hall.

Please review the enclosed Review and Action Form

Memorandum to the Building Official, a Certificate of Appropriateness has been:

- ☐ **APPROVED.** Please release the building permit.
☐ **APPROVED WITH CONDITIONS.** Please release the building permit in accordance with any conditions.
☐ **DENIED.** Please do not release the building permit or allow work.
☐ **DENIED WITHOUT PREJUDICE.** Please do not release the building permit or allow work.

Signed drawings and/or specifications are enclosed ___ Yes ___ No

Office of Historic Preservation

Date

Proposed work at 416 S. Clinton Dallas Texas 75211

1. Replace **3** existing windows with **3** new (size and style to match) on **North side rear**. Replace existing siding, with new Hardy shingle siding.
2. Replace **2** existing windows with **2** new (size and style to match.) Add **1** new window to match, creating a double, on **South side**. Patch using existing siding as required.
3. Remove **ALL** existing windows and **1** door on the story and a half at **Southeast rear**. Replace with 1 new sliding door unit, and **1** fixed window unit. Remove all existing siding and clad with new Hardy shingles.
4. Remove **2** windows and **1** door, at **East rear**. Replace with **1** new sliding door. Remove all existing siding and clad with new Hardy shingles.
5. Paint **ALL** new Hardy shingles, soffit and fascia: **Sherwin Williams SW 2851 Sage Green Light Flat Finish**
Paint all trim around new windows and doors: **Sherwin Williams SW 9165 Gossamer Veil Flat Finish**
Paint re-purposed siding as required to match existing.

Remove windows on all 4 sides

Back Elevation

**Proposed new glass
and sliding glass door.**

Remove Door



Back Side #2



Side #3



**Back side #4 facing
back roof of house.**



**Left
Elevation
where 3
replacement
windows
and hardie
siding will
be installed.**



Part of rear elevation

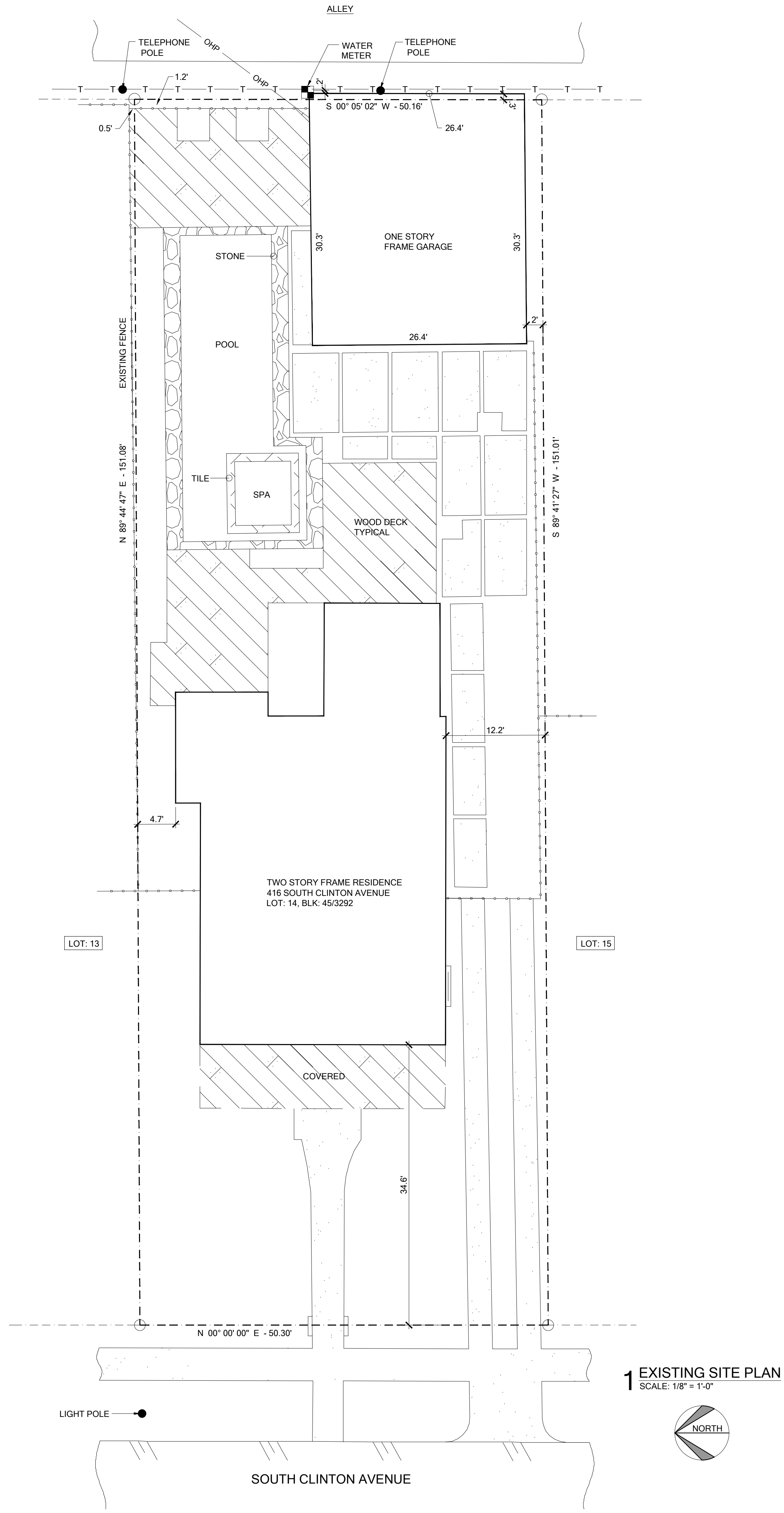
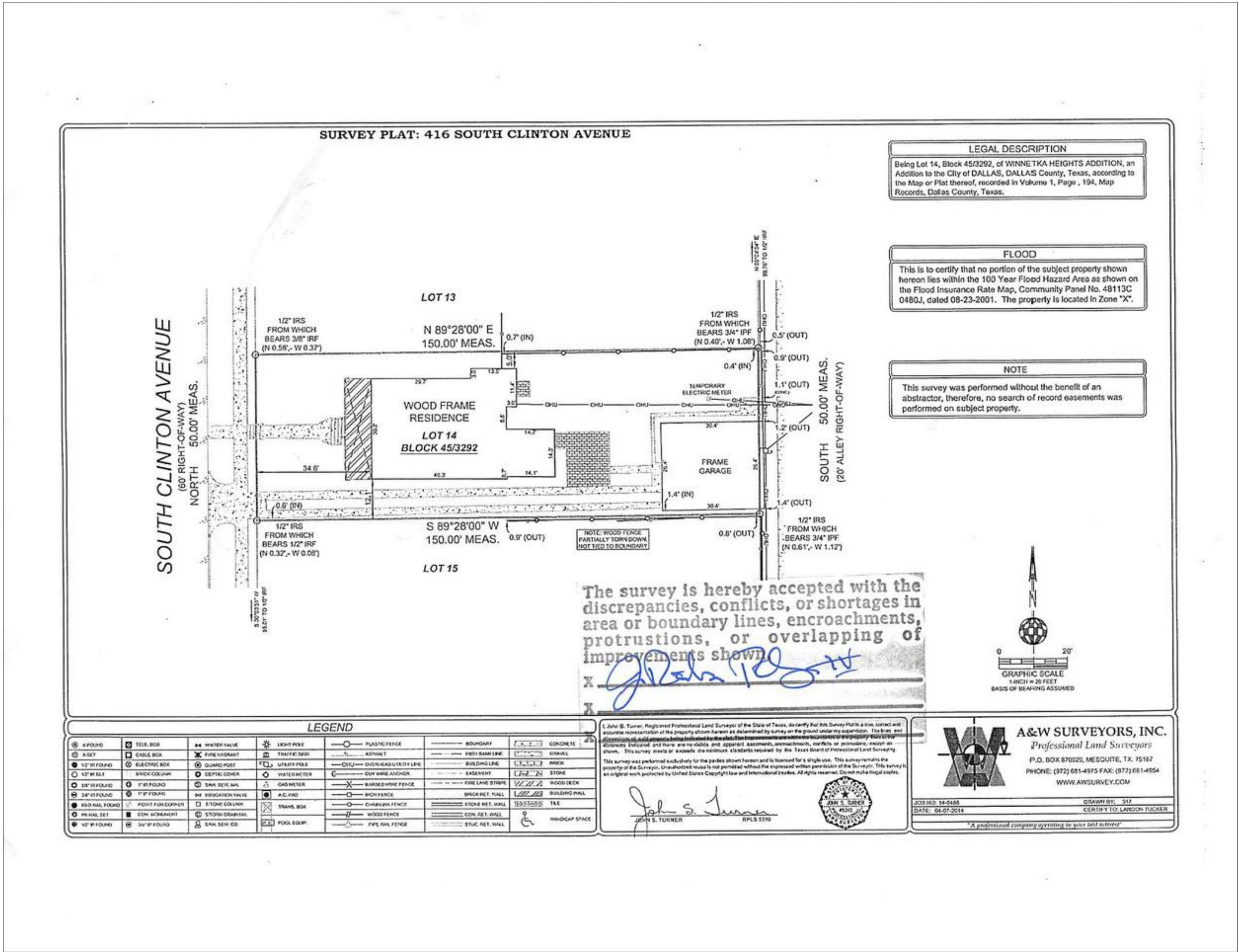
Left elevation

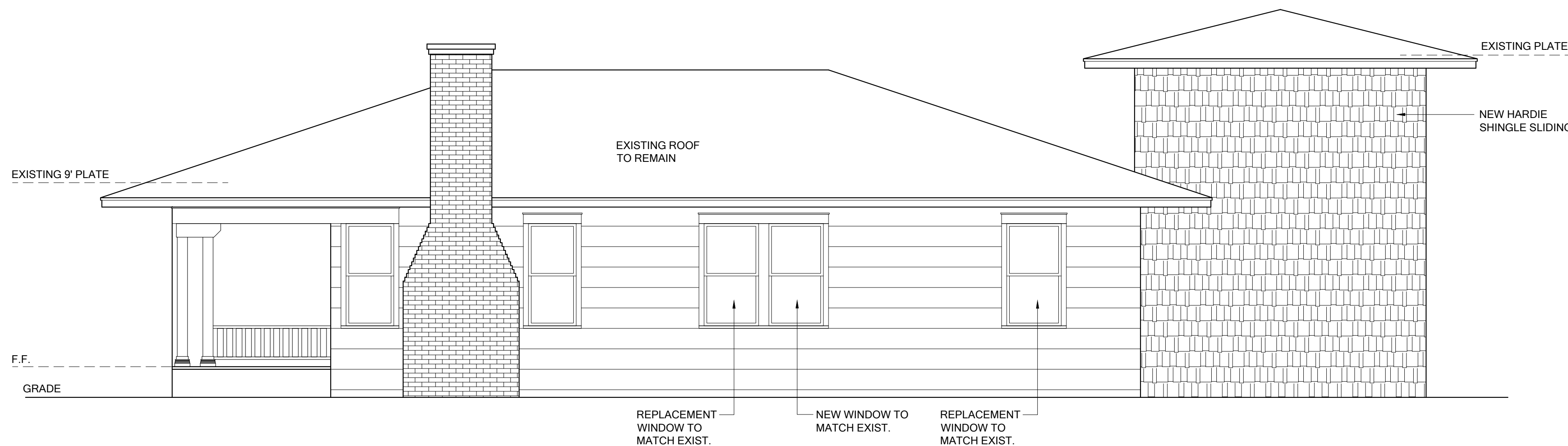
See next photo.





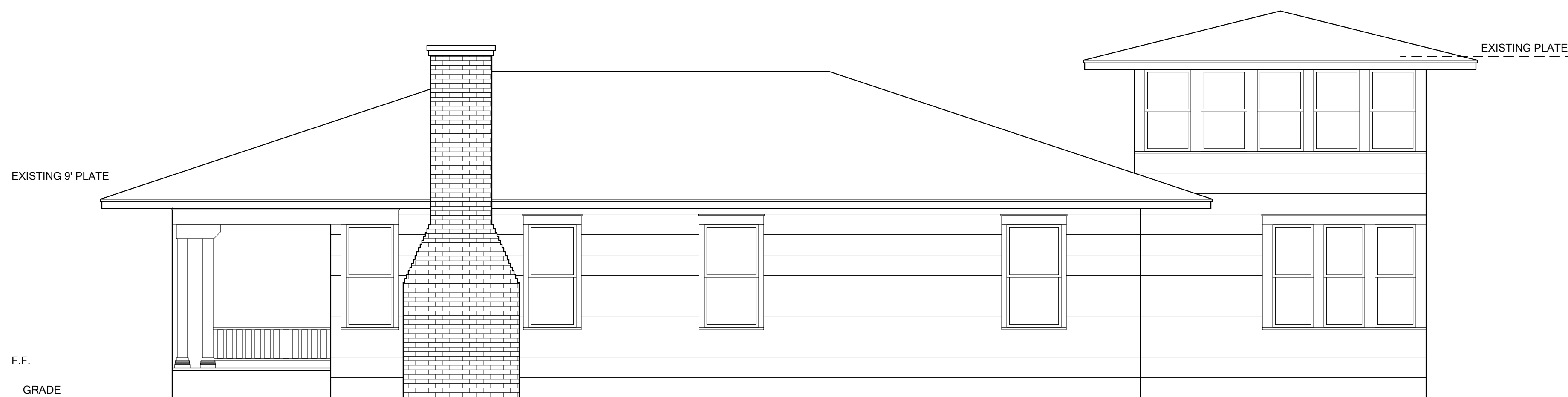
Side #1





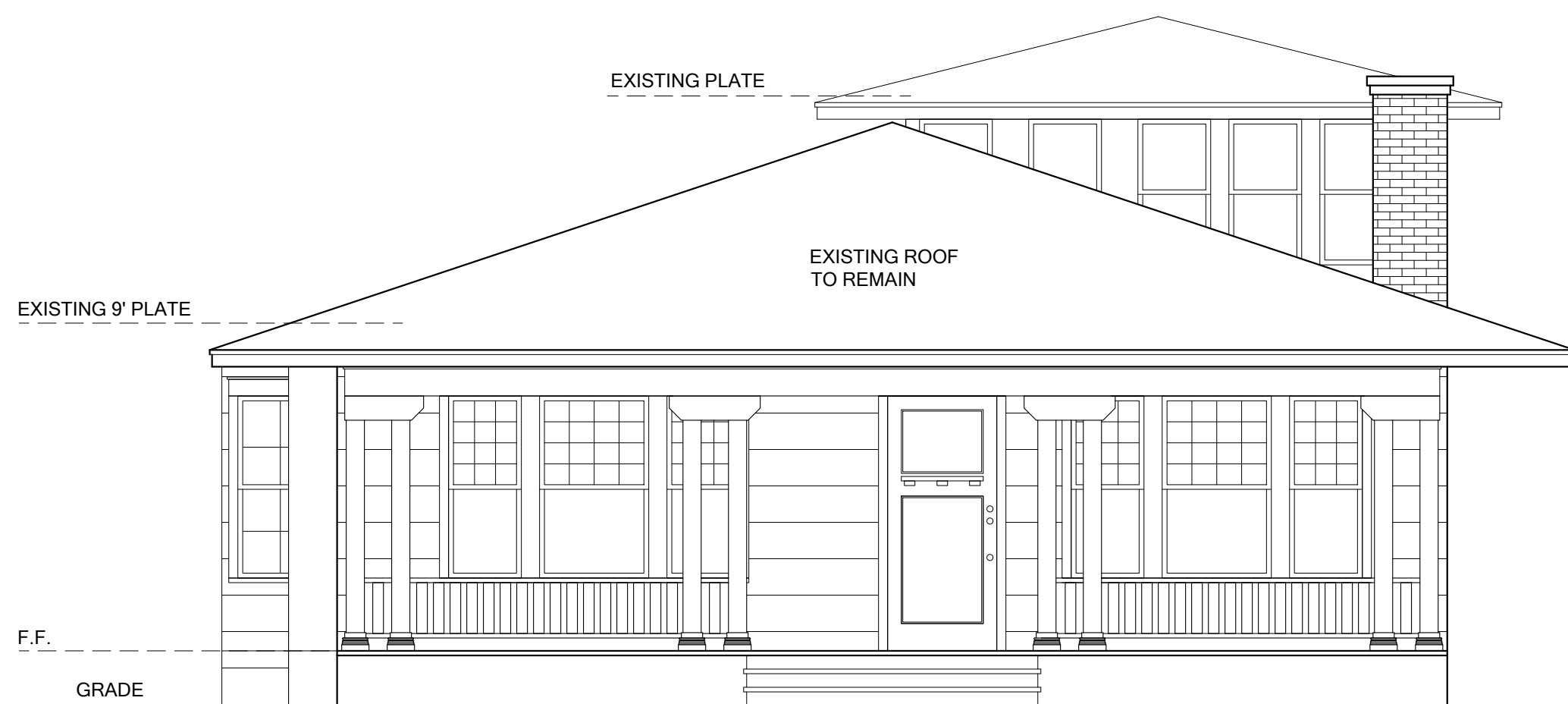
4 PROPOSED RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



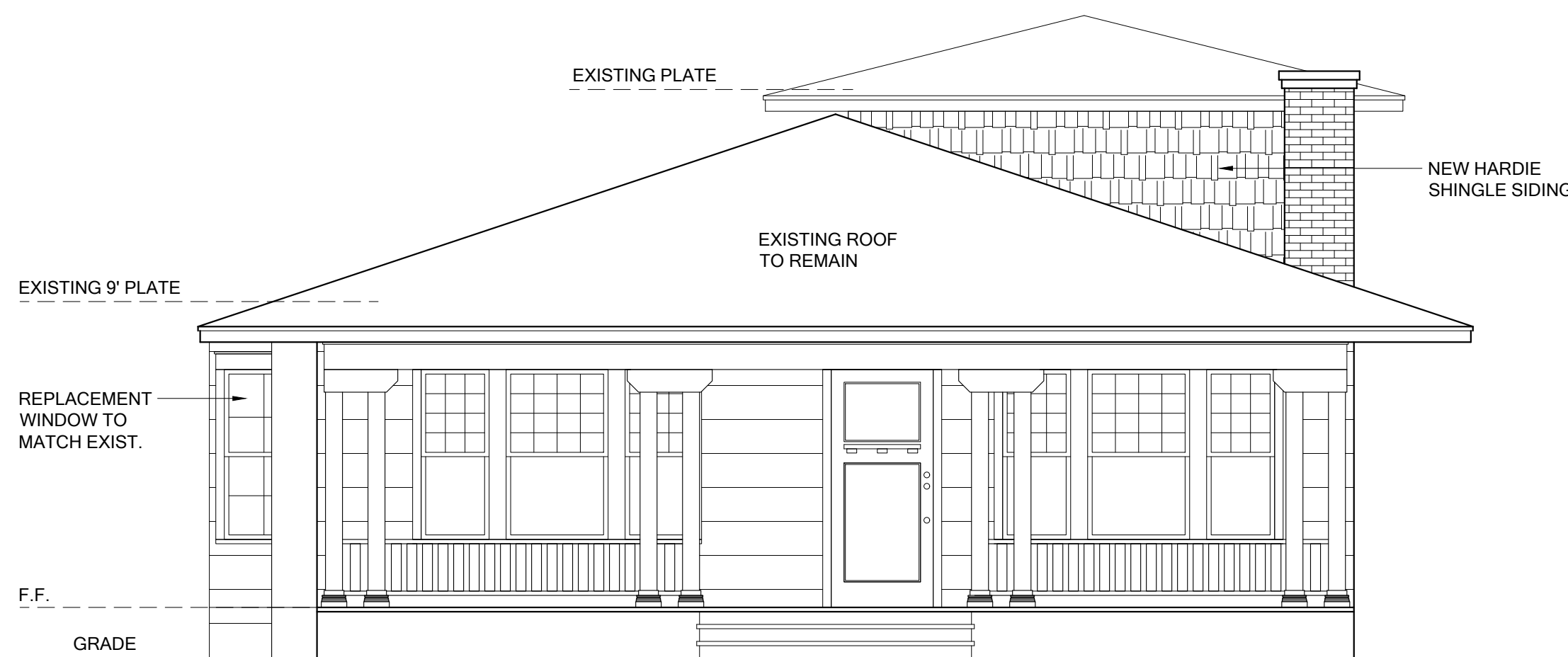
3 EXISTING RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



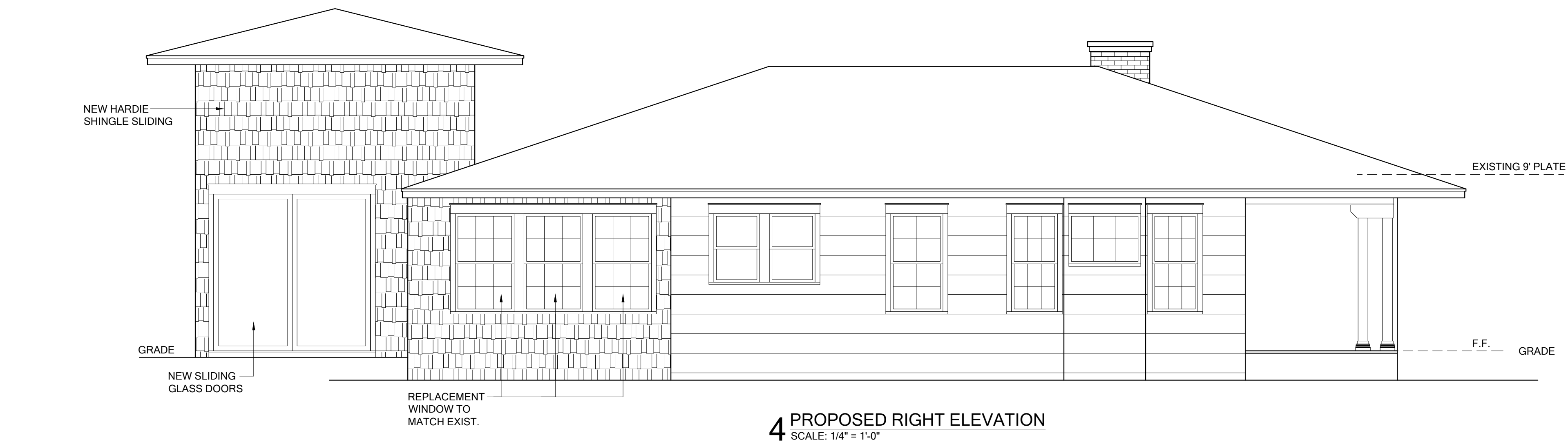
1 EXISTING FRONT ELEVATION

SCALE: 1/4" = 1'-0"



2 PROPOSED FRONT ELEVATION

SCALE: 1/4" = 1'-0"



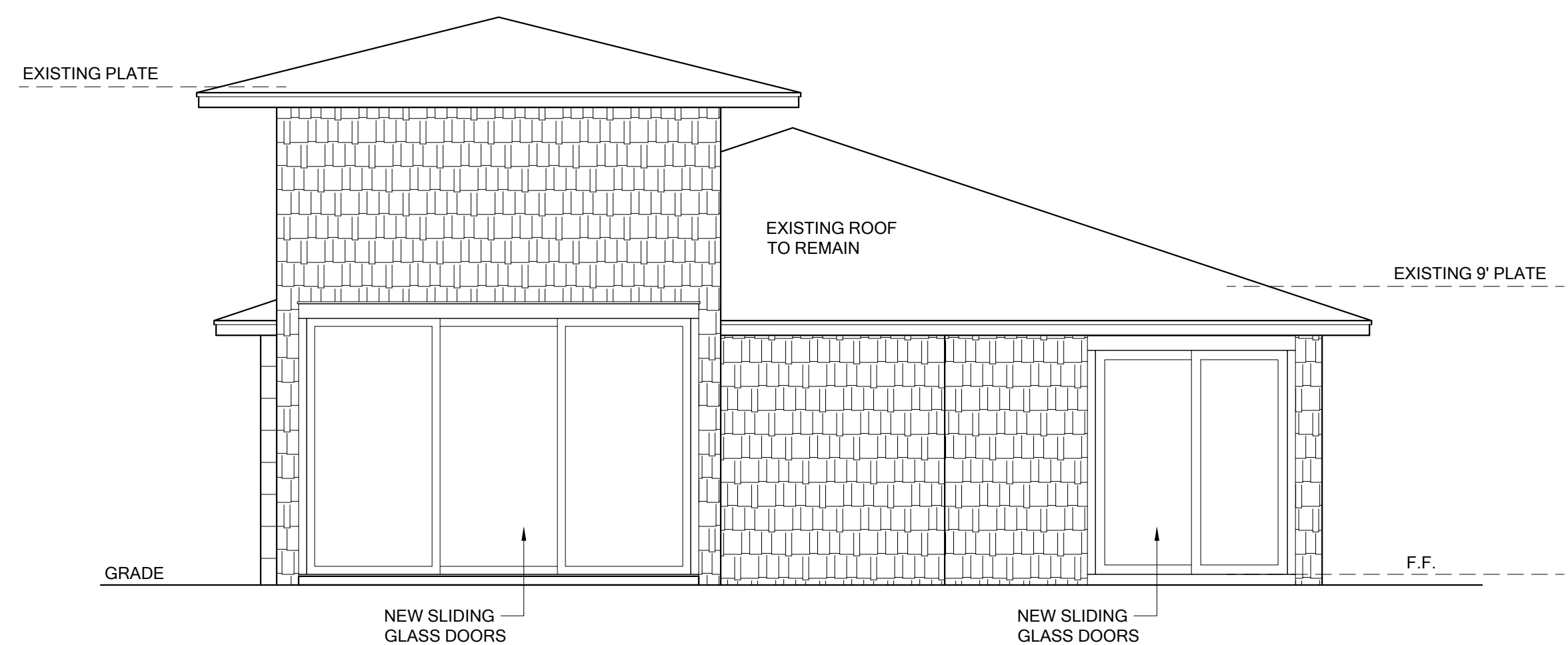
4 PROPOSED RIGHT ELEVATION
SCALE: 1/4" = 1'-0"



3 EXISTING RIGHT ELEVATION
SCALE: 1/4" = 1'-0"



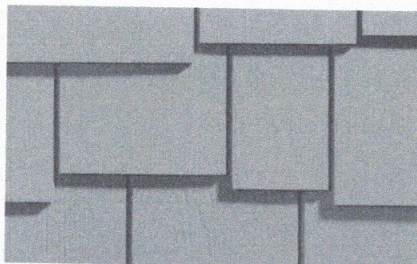
1 EXISTING REAR ELEVATION
SCALE: 1/4" = 1'-0"



2 PROPOSED REAR ELEVATION
SCALE: 1/4" = 1'-0"



The products you'll see below are readily available for zip code 75211. Not your zip code? [Update it now.](#)



HARDIE® SHINGLE SIDING

STAGGERED EDGE PANEL

This look is inviting and laid-back. It's versatile too: Choose it for a cottage, ranch home, or any home in between.

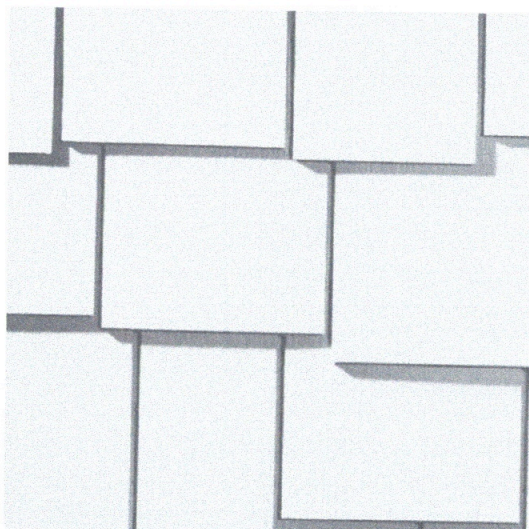


Not finding the color you're looking for?

[+ See More Color Options](#)

PRIMED FOR PAINT

James Hardie's primed for paint collection gives you the power to choose paint for your home's exterior. It's primed. It's ready for field painting. It's a durable, high-performance canvas.



AVAILABLE SIZES

THICKNESS: 0.25"

LENGTH: 48" boards

WIDTHS: 15.25"

EXPOSURES: 6"

[Warranty Information](#)

Line	Label	UOM	Quantity	Unit Price	Extended Price
001	Door 1/DINE	EA	(1)	\$3,521.32	\$3,521.32

PERFORMANCE: Standard Performance, Job Specification PG Rating Entry: Do Not Specify

UNIT - Ultra Rectangle Sliding Door (UGA) - Complete Unit, Garden-Aire, Hinging: Fixed - Active, Extruded Sash, Full Lite, 1 3/4" Panel, Frame Thickness: 1 3/4", Frame Setup and Stationary Panel(s) Installed

GLASS: Glass Make Up: Double Glazed, Solar Control Low-E, Black Spacer, Glass Preserve / Neat+ Coating: Glass Preserve without Neat+ Coating, Beveled Glazing Bead, Tempered

HARDWARE-ACCESSORIES: Multi-Point Lock w/ Keyed Cylinder, Matte Black Hardware, Door Escutcheon Plate: Bell Top, Keyed Alike Across Product Lines, Lock Height: Standard Lock Height, Screen: No Screen, Screen Track

CASING-JAMBS-TRIM: Nailing Fin, 4 9/16" Jambs, 6 5/16" Clips

SPECIES-FINISH-COLOR: Leave All Pine, Exterior Frame Finish: 70% Fluoropolymer, Exterior Sash Finish: 70% Fluoropolymer, Match All Exterior Colors, Coal Black Exterior, Unfinished Interior Frame, Unfinished Interior Sash, Interlock and Weatherstrip Color: Black, Standard Fingerjoints

MANUFACTURER NOTES:

Number of installation clips applied is configured for a DP20 installation design pressure. Kolbe also recommends adding an additional 1/2" to the standard rough opening.

002 Type 2/DINE

PERFORMANCE: Standard Performance

UNIT - Ultra Rectangle Single Hung (UDH3026-1) - Complete Unit, Sterling, Vintage: #1117, Extruded Sash, Basic Jamb Profile: Square, Even Split

GLASS: Glass Make Up: Double Glazed, Solar Control Low-E, Black Spacer, Glass Preserve / Neat+ Coating: Glass Preserve without Neat+ Coating, Beveled Glazing Bead

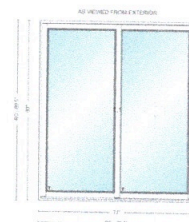
HARDWARE-ACCESSORIES: Lock Style: Signature, Matte Black Hardware, Screen: Half Screen Prep Only, Jambliner: Black

CASING-JAMBS-TRIM: No Sill Nosing, Nailing Fin, 4 9/16" Jambs, 6 5/16" Clips

SPECIES-FINISH-COLOR: Leave All Pine, Exterior Frame Finish: 70% Fluoropolymer, Exterior Sash Finish: 70% Fluoropolymer, Match All Exterior Colors, Coal Black Exterior, Unfinished Interior Frame, Unfinished Interior Sash, Jambliner Cover: Wood Wrapped, Vertical Weatherstrip Color: Black, Standard Fingerjoints

MANUFACTURER NOTES:

Number of installation clips applied is configured for a DP20 installation design pressure. Kolbe also recommends adding an additional 1/2" to the standard rough opening.

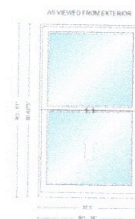


Scaled to Fit

Rough Opening:
72 1/2" X 80 1/2"

Frame Size:
72" X 80"

Unit Dimension:
72" X 80"



Scaled to Fit

Rough Opening:
36" X 61"

Frame Size:
35 1/2" X 60 7/16"

Unit Dimension:
35 1/2" X 60 7/16"



Printed By: Chris Marshall

Created: 1/8/2024

2023 Pricing

Retail Summary Page 2 of 5

For warranty information please click this link or visit <https://www.kolbewindows.com/resources/warranties>

003 Type 4/GUEST BR

EA (2)

\$1,052.45

\$2,104.90

PERFORMANCE: Standard Performance

Ultra Series

UNIT - Ultra Rectangle Single Hung (UDH) - Complete Unit, Sterling, Vintage: #1117, Extruded Sash, Basic Jamb
 Profile: Square, Even Split

GLASS: Glass Make Up: Double Glazed, Solar Control Low-E, Black Spacer, Glass Preserve / Neat+ Coating:
 Glass Preserve without Neat+ Coating, Beveled Glazing Bead

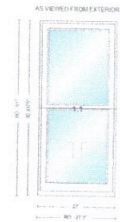
HARDWARE-ACCESSORIES: Lock Style: Signature, Matte Black Hardware, Screen: Half Screen Prep Only,
 Jambliner: Black

CASING-JAMBS-TRIM: No Sill Nosing , Nailing Fin, 4 9/16" Jambs, 6 5/16" Clips

SPECIES-FINISH-COLOR: Leave All Pine, Exterior Frame Finish: 70% Fluoropolymer, Exterior Sash Finish: 70%
 Fluoropolymer, Match All Exterior Colors, Coal Black Exterior, Unfinished Interior Frame, Unfinished Interior Sash,
 Jambliner Cover: Wood Wrapped, Vertical Weatherstrip Color: Black, Standard Fingerjoints

MANUFACTURER NOTES:

Number of installation clips applied is configured for a DP20 installation design pressure. Kolbe also recommends
 adding an additional 1/2" to the standard rough opening.



Scaled to Fit

Rough Opening:

27 1/2" X 61"

Frame Size:

27" X 60 7/16"

Unit Dimension:

27" X 60 7/16"

004 Type 5/PRIMARY CLOSET

EA (1)

\$1,052.79

\$1,052.79

PERFORMANCE: Standard Performance

Ultra Series

UNIT - Ultra Rectangle Single Hung (UDH) - Complete Unit, Sterling, Vintage: #1117, Extruded Sash, Basic Jamb
 Profile: Square, Even Split

GLASS: Glass Make Up: Double Glazed, Solar Control Low-E, Black Spacer, Glass Preserve / Neat+ Coating:
 Glass Preserve without Neat+ Coating, Beveled Glazing Bead

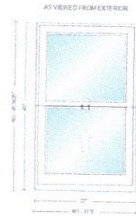
HARDWARE-ACCESSORIES: Lock Style: Signature, Matte Black Hardware, Screen: Half Screen Prep Only,
 Jambliner: Black

CASING-JAMBS-TRIM: No Sill Nosing , Nailing Fin, 4 9/16" Jambs, 6 5/16" Clips

SPECIES-FINISH-COLOR: Leave All Pine, Exterior Frame Finish: 70% Fluoropolymer, Exterior Sash Finish: 70%
 Fluoropolymer, Match All Exterior Colors, Coal Black Exterior, Unfinished Interior Frame, Unfinished Interior Sash,
 Jambliner Cover: Wood Wrapped, Vertical Weatherstrip Color: Black, Standard Fingerjoints

MANUFACTURER NOTES:

Number of installation clips applied is configured for a DP20 installation design pressure. Kolbe also recommends
 adding an additional 1/2" to the standard rough opening.



Scaled to Fit

Rough Opening:

27 1/2" X 45 9/16"

Frame Size:

27" X 45"

Unit Dimension:

27" X 45"



Printed By: Chris Marshall

Created: 1/8/2024

2023 Pricing

Retail Summary Page 3 of 5

For warranty information please click this link or visit <https://www.kolbewindows.com/resources/warranties>

005 Type 14/PRIMARY BR

Ultra Series

EA (1)

\$4,471.07 \$4,471.07

PERFORMANCE: Standard Performance

UNIT 1 - Ultra Rectangle CS/AW Transom (UTR) - Complete Unit, Match Crank Out Profile, Beveled Direct Set Frame, Profile: UCBDS706, Stop Profile: Beveled (2 Piece)

UNIT 2 - Ultra Rectangle CS/AW Transom (UTR) - Complete Unit, Match Crank Out Profile, Beveled Direct Set Frame, Profile: UCBDS706, Stop Profile: Beveled (2 Piece)

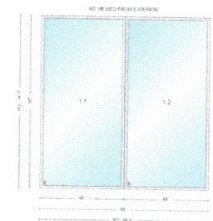
GLASS: Tempered, Glass Make Up: Double Glazed, Solar Control Low-E, Black Spacer, Glass Preserve / Neat+ Coating: Glass Preserve without Neat+ Coating, Tempered

CASING-JAMBS-TRIM: No Sill Nosing, Nailing Fin, 4 9/16" Jambs, Offset Jambs: No Offset, Jamb All Units Individually to Full Jamb Depth: No (Standard), Jambs Applied, 6 5/16" Clips

SPECIES-FINISH-COLOR: Leave All Pine, Exterior Frame Finish: 70% Fluoropolymer, Exterior Frame Color: Coal Black, Unfinished Interior Frame

MANUFACTURER NOTES:

Number of installation clips applied is configured for a DP20 installation design pressure. Kolbe also recommends adding an additional 1/2" to the standard rough opening.



Scaled to Fit

Rough Opening:
96 1/2" X 96 1/2"**Frame Size:**
96" X 96"**Unit Dimension:**
96" X 96"

006 Door 16/PRIMARY BR

Ultra Series

EA (1)

\$8,222.83 \$8,222.83

PERFORMANCE: Standard Performance, Job Specification PG Rating Entry: Do Not Specify

UNIT - Ultra Rectangle Sliding Door (UGA) - Complete Unit, Garden-Aire, Hinging: Sidelite - Active - Fixed, Extruded Sash, Full Lite, 1 3/4" Panel, Frame Thickness: 1 3/4", Frame Setup and Stationary Panel(s) Installed

GLASS: Glass Make Up: Double Glazed, Solar Control Low-E, Black Spacer, Glass Preserve / Neat+ Coating: Glass Preserve without Neat+ Coating, Beveled Glazing Bead, Tempered

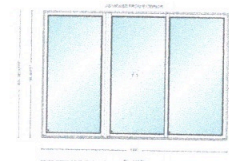
HARDWARE-ACCESSORIES: Multi-Point Lock w/ Keyed Cylinder, Matte Black Hardware, Door Escutcheon Plate: Bell Top, Keyed Alike Across Product Lines, Lock Height: Standard Lock Height, Screen: No Screen, Screen Track

CASING-JAMBS-TRIM: Nailing Fin, 4 9/16" Jambs, 6 5/16" Clips

SPECIES-FINISH-COLOR: Leave All Pine, Exterior Frame Finish: 70% Fluoropolymer, Exterior Sash Finish: 70% Fluoropolymer, Match All Exterior Colors, Coal Black Exterior, Unfinished Interior Frame, Unfinished Interior Sash, Interlock and Weatherstrip Color: Black, Standard Fingerjoints

MANUFACTURER NOTES:

Number of installation clips applied is configured for a DP20 installation design pressure. Kolbe also recommends adding an additional 1/2" to the standard rough opening.



Scaled to Fit

Rough Opening:
144 1/2" X 98 15/16"**Frame Size:**
144" X 98 7/16"**Unit Dimension:**
144" X 98 7/16"

Printed By: Chris Marshall

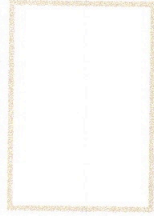
Created: 1/8/2024

2023 Pricing

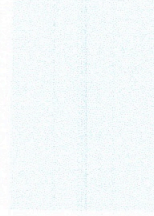
Retail Summary Page 4 of 5

For warranty information please click this link or visit <https://www.kolbewindows.com/resources/warranties>

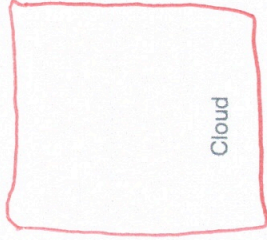
New Window and Door Color



Ultra Pure White



White



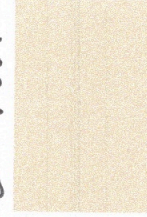
Cloud



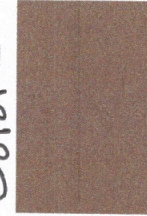
Abalone



Alabaster



Camel



Mudpie



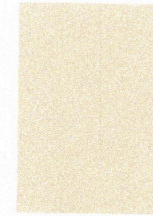
Nutmeg



Khaki



Sahara



Beige



Natural Cotton



Spiced Vinegar



Gingersnap



Truffle



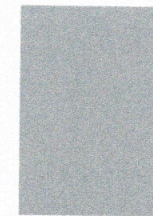
Rustic



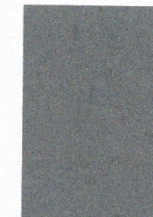
Shadow



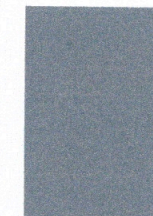
Shale



Smokestack



Steel Gray



Slate



Castlerock



Timberwolf



Sapphire



Coastal Storm



Lunar



Emerald Isle



Mediterranean



Cider



Copper Canyon



Maize



Green Tea Leaf



Basil



Hartford Green



Mystic Ivy



Roma



Chutney



Custom Color

KOLBE



Ultra Series





All
Hardy
Shingles

SW 2851
Sage Green Light



SW 9165
Gossamer
Veil

All Trim
On New
and replacement
Windows
and doors

**LANDMARK COMMISSION****JUNE 3, 2024**

FILE NUMBER: CR234-018(RD)
LOCATION: 2818 Burger Ave.
STRUCTURE: Non-Contributing
COUNCIL DISTRICT: 7
ZONING: PD-595

PLANNER: Rhonda Dunn, Ph.D.
DATE FILED: April 22, 2024
DISTRICT: Wheatley Place (H/100)
MAPSCO: 46-T
CENSUS TRACT: 0037.00

APPLICANT: Cardenas, Blanca

REPRESENTATIVE: N/A

OWNER: CRV HERMANOS LLC & KVKGLOBAL LLC

REQUEST

Courtesy Review (CR) -- Construct a new main residential building (on a vacant lot).

BACKGROUND / HISTORY:

Presently, 2818 Burger Avenue is a vacant lot; hence, it is identified as non-contributing to the Wheatley Place Historic District.

Previous applications for Certificates of Appropriateness (or Demolition) filed for this property that are pertinent to this CR include the following:

Case Number	Review Type	Date	Owner	Decision
CD034-108(MF)	Standard	1/26/2004	CLARK BEULAH B ESTATE OF	
Demolition of house. Standard: Imminent threat to public health or safety.				Approved

RELEVANT PRESERVATION CRITERIA:

Wheatley Place Historic District (H-100), Ordinance No.: 24432

SEC. 9. NEW CONSTRUCTION AND ADDITIONS

9.2 The elevation of a lot to be used for construction of a new main structure must match the elevation of other lots on the block.

9.3 Construction of new main structures must include a front porch appropriate to the neighborhood.

9.7 New construction and additions must have appropriate color, detailing, fenestration, massing, materials, roof form, shape, and solids-to-voids ratios. New construction should be of the same predominant material. Details can be of other materials, except as otherwise noted.

9.9 Aluminum siding, stucco and vinyl cladding are not permitted.

9.11 Front yard setback for construction of new main structures.

(a) A main structure on an interior lot must have a front yard setback that is within ten feet of the average front yard setback of other structures in the blockface.

RELEVANT SECRETARY OF THE INTERIOR'S STANDARDS FOR THE TREATMENT OF HISTORIC PROPERTIES:

Guidelines for Setting (District / Neighborhood)

- **Recommended:** *Identifying, retaining, and preserving building and landscape features that are important in defining the overall historic character of the setting. Such features can include circulation systems, such as roads and streets; furnishings and fixtures, such as light posts or benches; vegetation, gardens and yards; adjacent open space, such as fields, parks, commons, or woodlands; and important views or visual relationships.*
- **Not Recommended:** *Introducing a new building or landscape feature that is visually or otherwise incompatible with the setting's historic character (e.g., replacing low metal fencing with a high wood fence).*

RELEVANT DALLAS CITY CODE:

Section 51A-4.501. Historic Overlay District

(g) Certificate of Appropriateness.

(6) Standard certificate of appropriateness review procedure.

(C) Standard for approval. The landmark commission must grant the application if it determines that:

- (ii) for noncontributing structures, the proposed work is compatible with the historic overlay district.

PROJECT DESCRIPTION & ANALYSIS:

The subject property is a vacant lot located in the 2800 block of Burger Ave., in the Wheatley Place Historic District. On this lot, the applicant is proposing to build a non-contributing single-family residence. (City records indicate a previous residential building existed on the lot and was demolished in 2004.)

Construction of a Main Residential Building

The applicant is proposing to build a one story, wood framed, Craftsman inspired bungalow with a gable roof and a half front porch. The proposed plans include three bedrooms and two full bathrooms. The approximate living area is 1,605 square feet. (Reference attached architectural drawings for specifications.)

Exterior Details

During the task force meeting, the applicant was asked to reconsider the design of the front and rear porches. The front porch was missing elements common to Craftsman style porches in the Wheatley Place district such as gable brackets, two-part columns that extend to grade level, and a frieze board above the porch columns. The rear porch did not have a roof and the rear roof extended awkwardly over a projection. The applicant has made revisions and addressed most of the task force's concerns.

Conceptually, the setbacks, elevation and massing of the proposed building are appropriate to the surrounding historic district. The purpose of this Courtesy Review is to seek comments and feedback from the Landmark Commission, on the concept of constructing a new main residential building on an interior lot in the Wheatley Place district. The applicant will return with a Certificate of Appropriateness application for approval, prior to commencement of any work. No motion or action is required by the Landmark Commission for this Courtesy Review.

STAFF RECOMMENDATION:

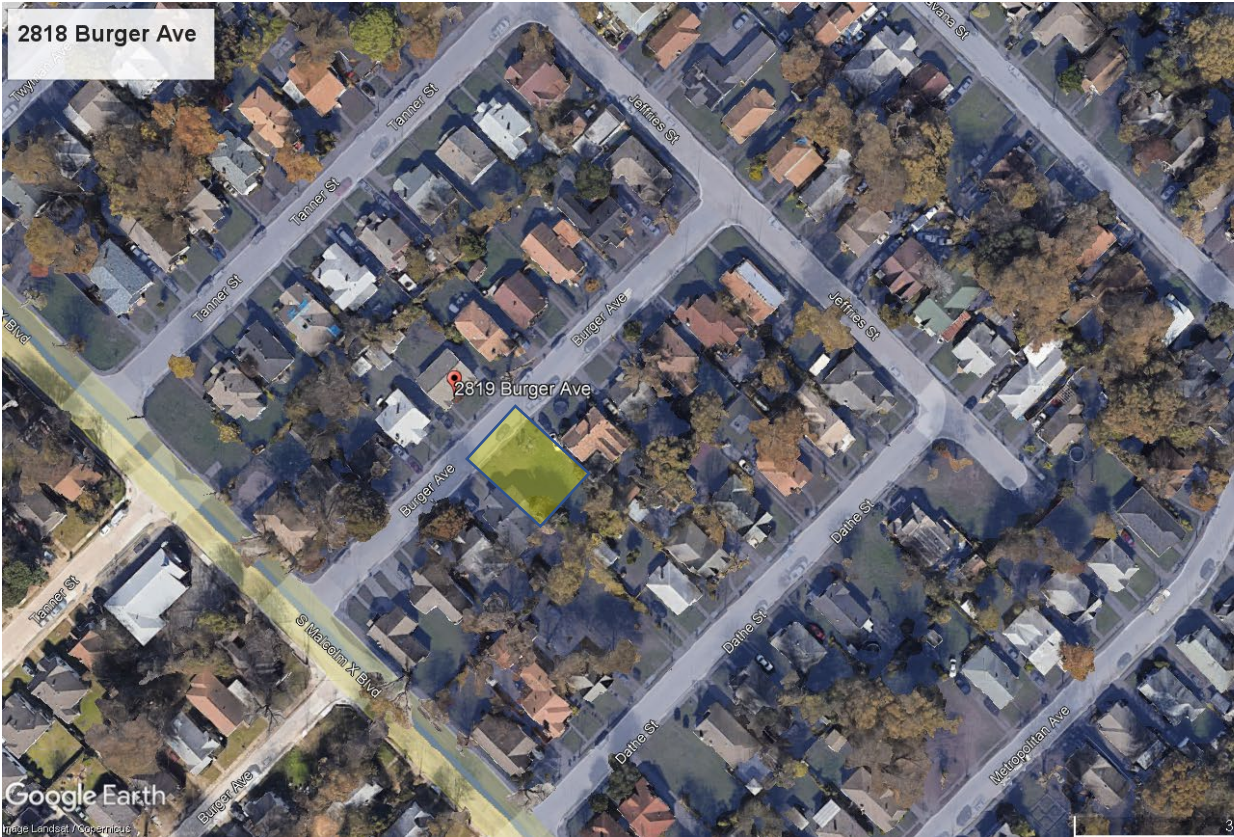
Courtesy review – no action required. That the request to construct a new main residential building (on a vacant lot) be conceptually approved with the understanding that the final design, as well as any associated site plans, elevations, renderings, and details are to be submitted for Landmark Commission review.

TASK FORCE RECOMMENDATION:

Courtesy Review -- Comments only, which are as follows:

1. Front porch is missing architectural details of a Craftsman style porch (e.g., gable brackets, a frieze board above the columns, and porch columns should be set on grade).
2. Expose roof rafter tails.
3. Extend rear roof (to align with projection).

SITE MAP
2818 Burger Ave.



The yellow rectangle highlights 2818 Burger Ave. The blue shading indicates Wheatley Place Historic District coverage. Basemap Source: Google Earth

CURRENT PHOTO
2818 Burger Ave.



Subject property: front, northwest elevation. Source: Google Maps, Street View.

ATTACHMENTS:

- **Task Force Recommendation Form**
- **Courtesy Review Application**

TASK FORCE RECOMMENDATION REPORT

WHEATLEY PLACE / TENTH STREET

DATE: 05/07/2024

TIME: 4:00 pm

MEETING PLACE: **Preservation Dallas/Videoconference**

Applicant Name: Blanca Cardenas

Address: 2818 Burger Ave

(Wheatley Place/ Tenth St Neighborhood HD)

Date of CA/CD/CR Request: 04/22/2024

RECOMMENDATION:

☐ Approve ☐ Approve with conditions ☐ Deny ☐ Deny without prejudice

Recommendation / **comments** / basis:

*Craftsman style front porch, exposed rafter
fads, extend roof in the rear.*

Task force members present

<input checked="" type="checkbox"/> Barbara Wheeler (Chair)	<input checked="" type="checkbox"/> Alonzo Harris	<input type="checkbox"/> Patricia Williams
<input checked="" type="checkbox"/> Larry Johnson (Vice Chair)	<input checked="" type="checkbox"/> Shaní Dixon	<input type="checkbox"/> Jarod Fancher
<input type="checkbox"/> VACANT	<input type="checkbox"/> VACANT	

Ex Officio staff members Present: ☒ Dr. Rhonda Dunn

Simple Majority Quorum: ☒ yes ☐ no (four makes a quorum)

Maker:

2nd:

Task Force members in favor:

Task Force members opposed:

Basis for opposition:

CHAIR, Task Force: 

DATE: 05/07/2024

The task force recommendation will be reviewed by the landmark commission in Briefing Room 6ES, starting with a Staff briefing. The Landmark Commission public hearing begins at 1:00 pm in Room 6ES, which allows the applicant and citizens the opportunity to provide public comment(s).

Courtesy Review Form (CR)

City of Dallas Landmark Commission

CR _____ - _____ []

This review is a courtesy review only and not permission to alter the site or any structure on the site. To alter a site within a historic overlay district or alter, place, construct, maintain, or expand any structure on a site within a historic overlay district, a certificate of appropriateness must be obtained in accordance with Dallas Development Code § 51A-4.501(g) and the preservation criteria in the historic overlay district ordinance.

Name of Applicant: Blanca Cardenas
Mailing Address: 745 Clearwood Dr.
City, State and Zip Code: Dallas TX 75232
Daytime Phone: 469 994 1545 Fax: _____
Relationship of Applicant to Owner: none
: _____
: _____

PROPOSED WORK:

Please describe your proposed work simply and accurately. DO NOT write "see attached." Attach extra sheets if necessary and supplemental material as requested in the submittal criteria checklist.

Proposing new Residential dwelling house

Signature of Applicant: Blanca Cardenas Date: 3-24-2024
Signature of Owner: Edwin Pantoja Date: 3-24-2024
(IF NOT APPLICANT)

APPLICATION DEADLINE:

Application material must be **completed and submitted by the** before the Dallas Landmark Commission may consider the courtesy review of any change affecting the site or the exterior of any structure. This CR form along with any supporting documentation must be filed with a Preservation Planner at City Hall, 1500 Marilla 5CN, Dallas, Texas, 75201.

Please use the enclosed criteria checklist as a guide to completing the application. Incomplete applications cannot be reviewed and will be returned to you for more information. You are encouraged to contact a Preservation Planner at 214/670-4538 to make sure your application is complete.

*Information regarding past courtesy reviews for individual addresses is available for review in 5CN of City Hall.

Memorandum to the Building Official: This review is a Courtesy Review only, do not issue building permits based on this CR form.

- ☐ COURTESY APPROVAL (Certificate of Appropriateness must still be obtained)
☐ COURTESY APPROVAL WITH COMMENTS (Certificate of Appropriateness must still be obtained)
☐ COURTESY DISAPPROVAL (Certificate of Appropriateness may be considered without a waiver)

Office of Historic Preservation

Date

Courtesy Review Form

City of Dallas

Historic Preservation

THIS CR FORM IS NOT A CERTIFICATE OF APPROPRIATENESS OR PERMISSION TO ALTER THE SITE OR ANY STRUCTURES ON THE SITE

10-10-2016

2818 Burger

NEW CONSTRUCTION FORM – TO BE FILLED OUT BY APPLICANT

This form must be completed by the applicant and submitted with any Certificate of Appropriateness application for new construction. Incomplete applications will not be docketed for consideration by the Landmark Commission. Please refer to the preservation criteria in the historic district ordinance or contact a City Preservation Planner for further information.

Y/N Will the proposed new construction require the demolition of any structure(s) on the site?
If yes, you must submit a Certificate of Demolition form in addition to this application.

Y/N Have you completed a preliminary review of the drawings with Building Inspection?
NOTE: This step is required for construction of a main structure and strongly recommended for accessory structures. Preliminary review does not guarantee final approval of a permit.

Preliminary review: DATE 03/26/24 NAME OF PLANS EXAMINER: Loree Lewis

ALL NEW CONSTRUCTION

LOT COVERAGE (lot coverage includes all structures with a permanent roof, including porches and patios)

Existing ____% Proposed 26.44%

PROPOSED MAIN STRUCTURE (skip if no new main structure is proposed):

Roof: Roof height (peak) 10' 5" ft Roof pitch 6' / 12"

Setbacks: Front yard 20' ft Left side 5' ft Right side 5' ft
Actual 20' Actual 5' Actual 15' 5"
Rear 5' ft Distance to accessory structure (if applicable) ____ ft
Actual 31'

Context:* Average roof height on blockface 19' 25" ft

Average front yard setback on blockface 20' ft

Average width of structures on blockface 30' ft

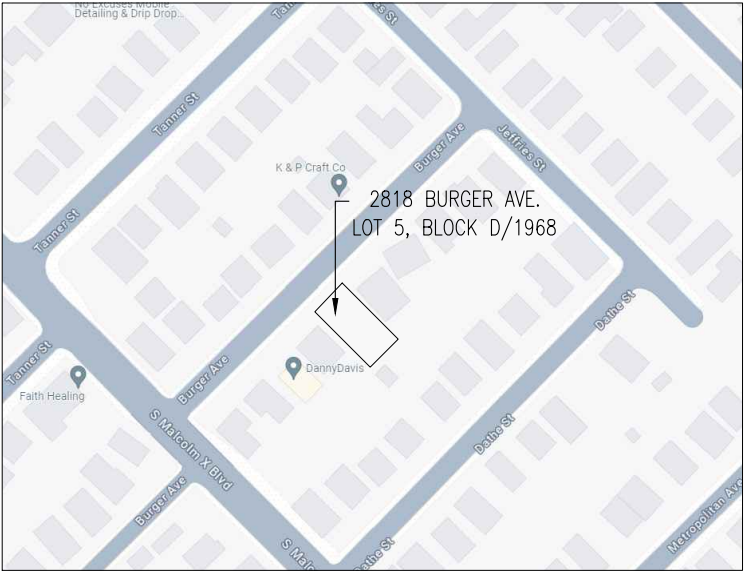
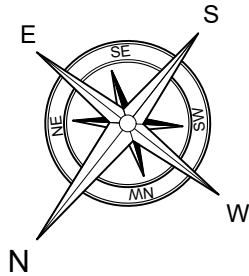
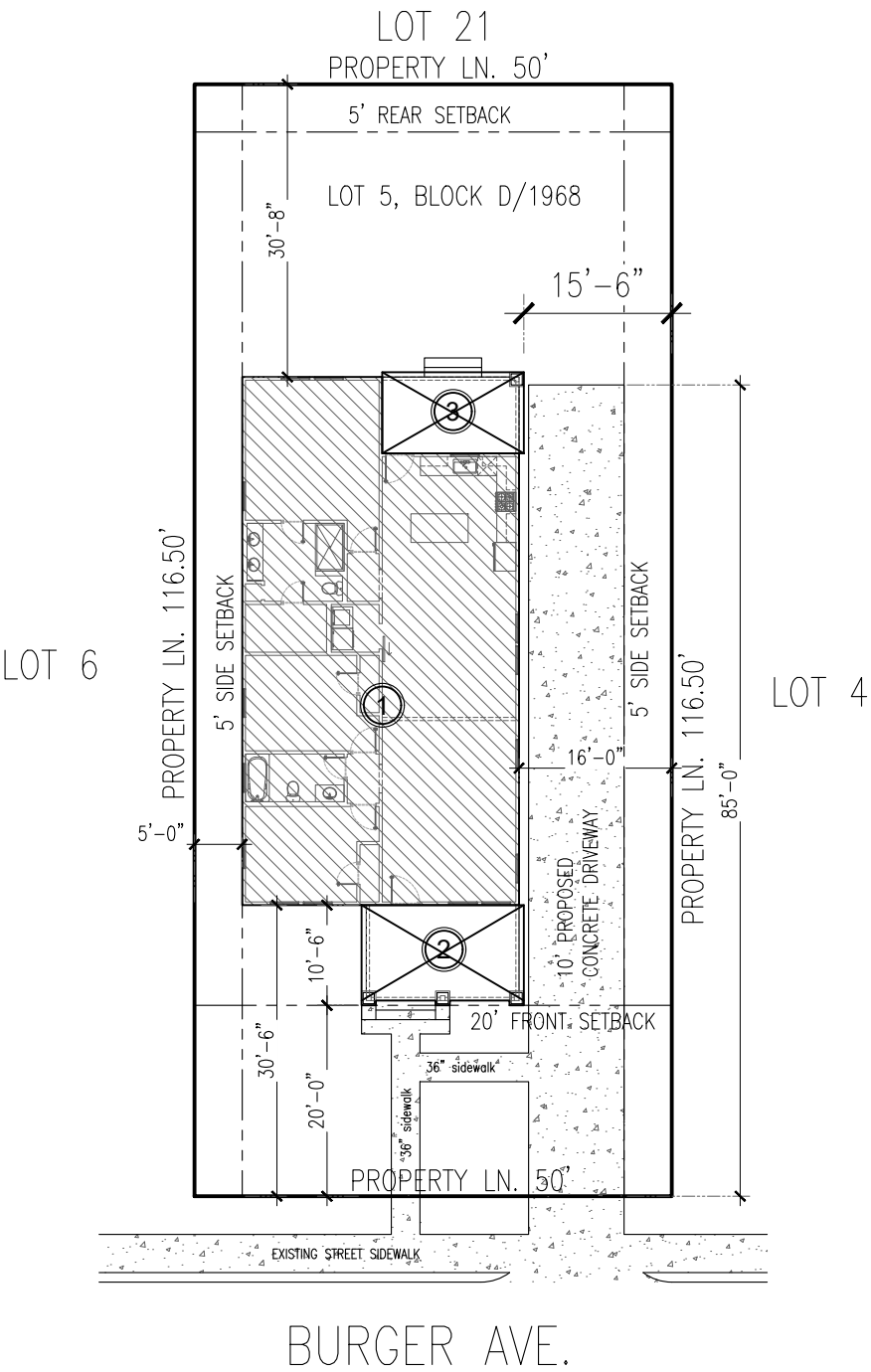
Note: Contextual site plan and streetscape drawings are required for main structure proposals.

PROPOSED ACCESSORY STRUCTURE (skip if no new accessory structure is proposed):

Roof: Proposed roof height ____ ft Roof height of main structure ____ ft

Setbacks: Distance from main structure ____ ft Left side ____ ft Right side ____ ft

Rear ____ ft



VICINITY MAP
FOR REFERENCE ONLY

AREA DISTRIBUTION		
AREA SCHEDULE		
1	PROPOSED LIVING AREA	1,490 SQ. FT.
2	PROPOSED FRONT PORCH	170 SQ. FT.
3	PROPOSED REAR PORCH	126 SQ. FT.
	PROPOSED LIVING AREA	1,490 SQ. FT.
	TOTAL PROPOSED COVERAGE	1,786 SQ. FT.
	LOT AREA	5,825 SQ. FT.
	% LOT COVERAGE	28.44 %
LEGAL DESCRIPTION		
1:	ENGLISH PLACE	
2:	BLK D/1968 LOT 5	
3:		
4:	INT202300180915 DD08312023 CO-DC	
5:	1968 OOD 00500 1001968 OOD	

SITE PLAN

SCALE 1" = 20'



rcplans@outlook.com

All the information in these plans is provided by the client and / or builder, the designer only limits himself to draw required plans for building permits and doesn't supervise construction or control of quality of materials, therefore the designer does not assume any type of responsibility derived from this project. The project owner is recommended to have professional supervision of a qualified architect or engineer for the review of plans and building's construction.

RESIDENTIAL NEW CONSTRUCTION

SITE PLAN

DRAWN BY: RC PLANS

DATE: 04/05/2024

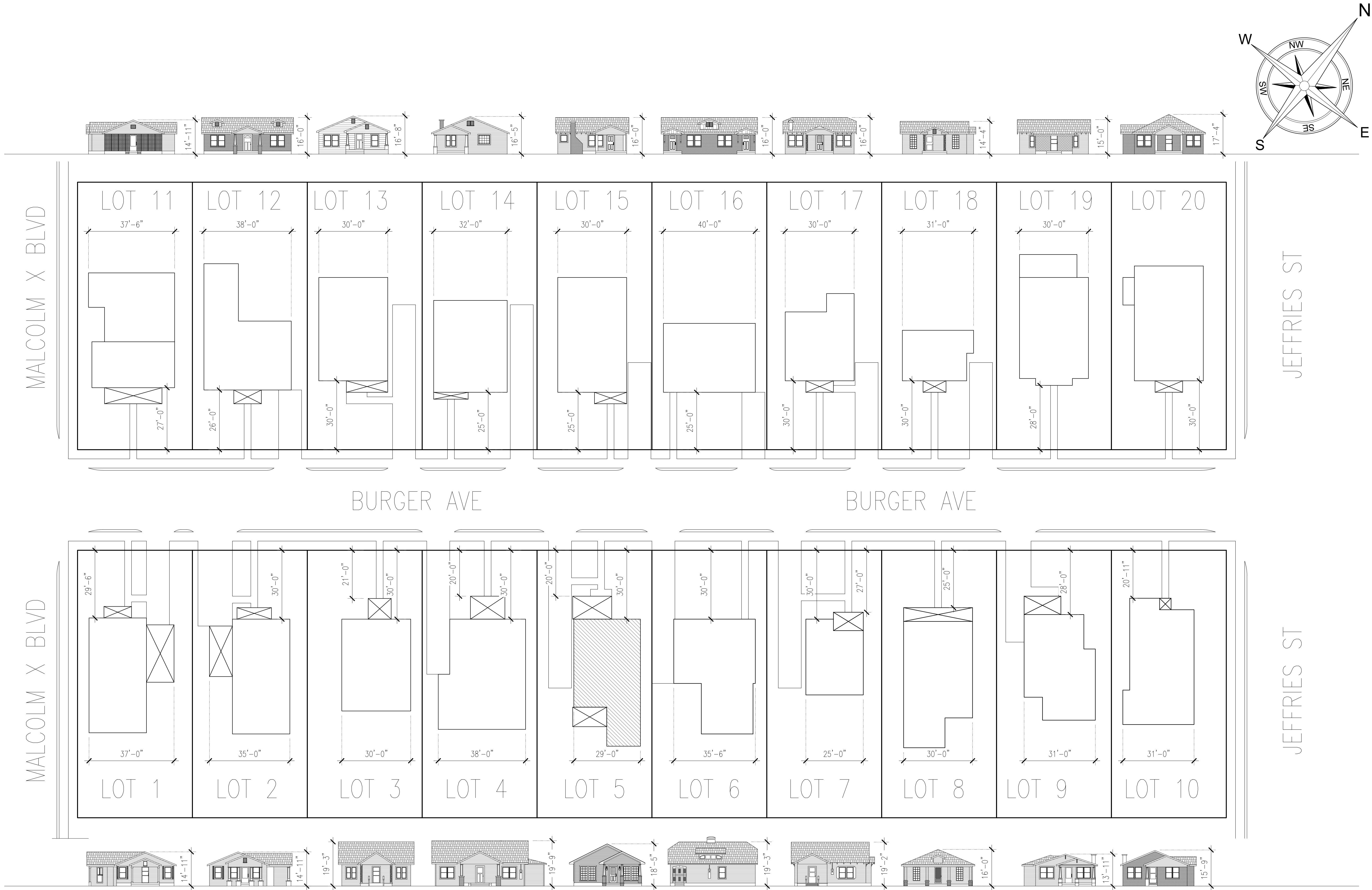
SCALE: 1" = 20'

ADDRESS:

2818 BURGER AVE., DALLAS, TX 75215.

PAGE NUMBER:

1.1



CONTEXTUAL SITE PLAN

SCALE 1" = 20'



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USE:	RESIDENTIAL REMODELING
PLAN:	ELEVATIONS
DRAWN BY:	RC PLANS
DATE:	04/05/2024
SCALE:	1" = 20'

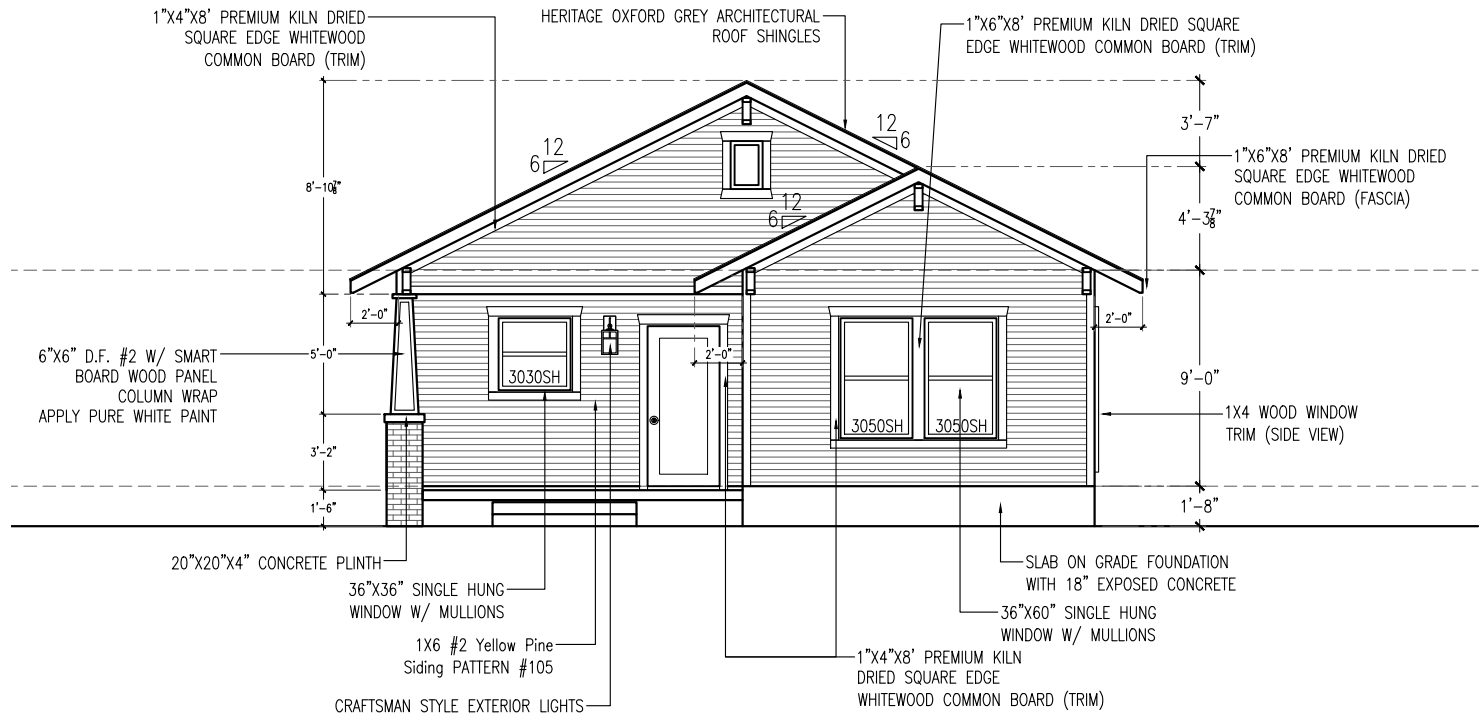
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2818 BURGER AVE.,
DALLAS, TX 75215.

PAGE NUMBER:

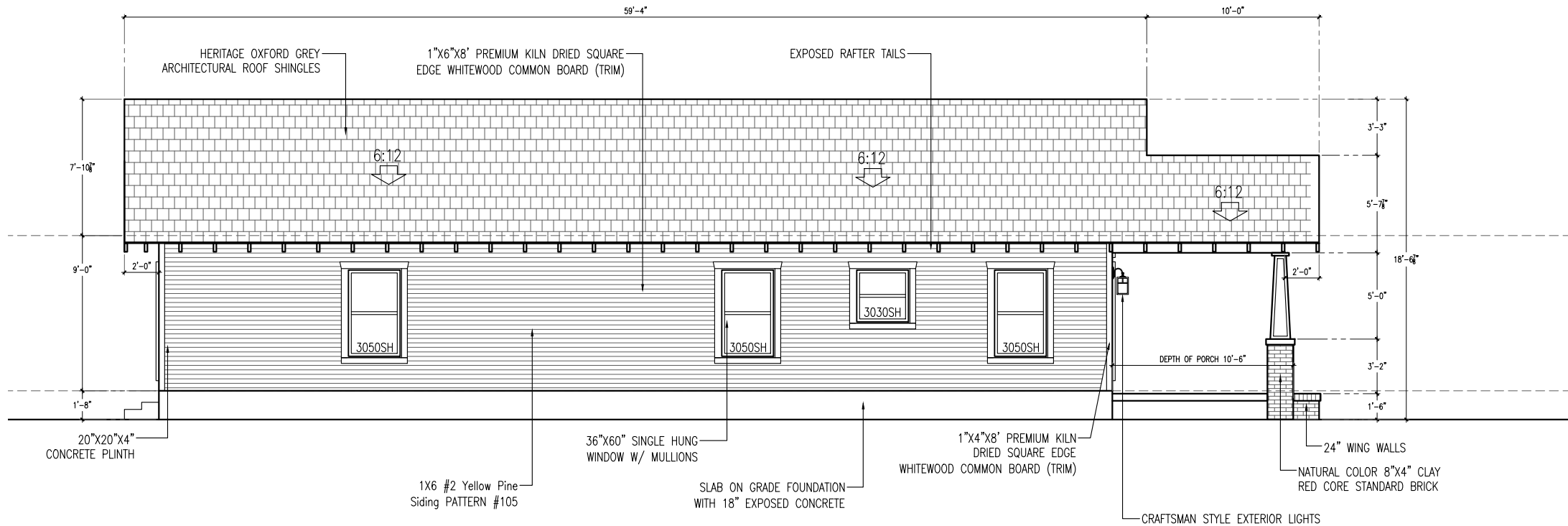
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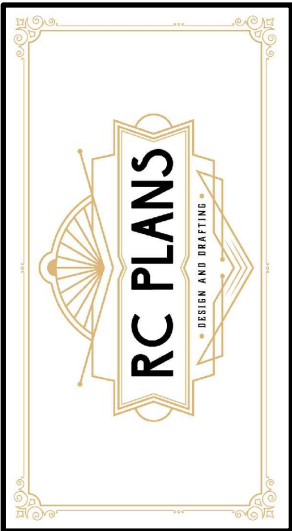
REAR ELEVATION

SCALE 1/8" = 1'-0"



LEFT ELEVATION

SCALE 1/8" = 1'-0"



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RESIDENTIAL NEW CONSTRUCTION	ELEVATIONS	RC PLANS	04/05/2024	1/8" = 1'-0"
USE:	PLAN:	DRAWN BY:	DATE:	SCALE:

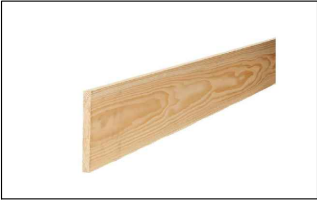

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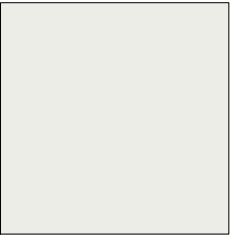
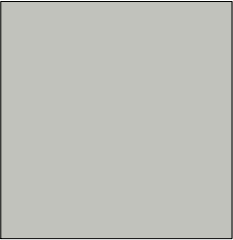
2818 BURGER AVE., DALLAS, TX 75215.

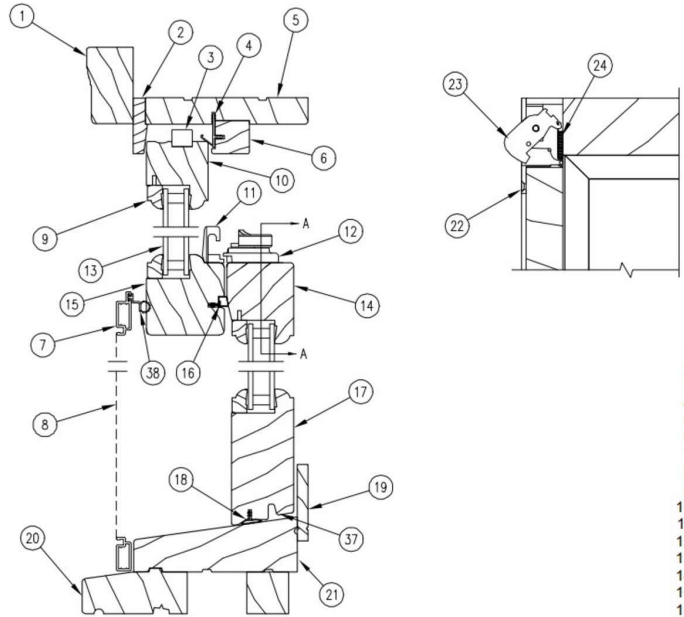
PAGE NUMBER:

06

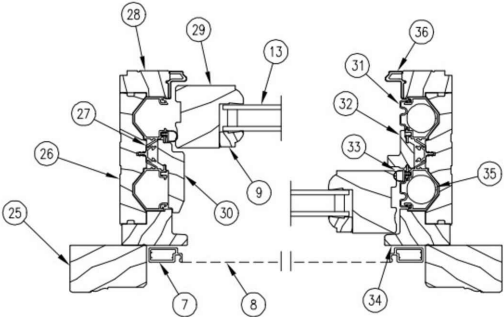
MATERIAL SCHEDULE		
MATERIAL OR PRODUCT LOCATION	DESCRIPTION	PICTURE REFERENCE
EXTERIOR WALL COATING	1X6 #2 Yellow Pine Siding PATTERN #105	<div>1 x 6</div> <div>105 Siding #2 Yellow Pine</div>
ROOF COATING	HERITAGE OXFORD GREY ARCHITECTURAL ROOF SHINGLES	
FRONT ACCESS DOOR	36 in. x 80 in. Premium 9-Lite Left-Hand Inswing Primed Steel Prehung Front Exterior Door No Brickmold DOOR AND ALL HARDWARE MUST BE PRAIRIE STYLE	
WINDOWS	All-wood Marvin Signature® Ultimate Wood Single Hung window. NOTE: BRICK MOULD CASING WILL BE 4" FLAT	<div>4" WOOD CASING</div> <div>4" WOOD TRIM</div> <div>WOOD SASH</div> <div>4" WOOD SILL</div>
PORCH COLUMN FURRING	LP Multi-Use Primed Gray 0.34-in x 48-in x 96-in Engineered Panel Siding	
DRIVEWAY	STANDARD CONCRETE DRIVEWAY, BRUSHED. IN COMPLIANCE WITH WHEATLEY PLACE HISTORIC DISTRICT	--

MATERIAL SCHEDULE		
MATERIAL OR PRODUCT LOCATION	DESCRIPTION	PICTURE REFERENCE
PORCH POST PEDESTAL	8-in x 4-in Clay Red Cored Standard Brick	
FASCIA TRIM	1 in. x 6 in. Select Kiln-Dried Square Edge Whitewood Common Softwood Boards	
EXTERIOR TRIM	1 in. x 4 in. x 8 ft. Premium Kiln Dried Square Edge Whitewood Common Board *WOOD TRIM MUST BE APPLIED ON TOP OF SIDING	<div></div> <div></div>
EXTERIOR LIGHTNING	CRAFTSMAN WALL MOUNTED LIGHT	
EXTERIOR DOOR HARDWARE	CRAFTSMAN OPEN HANDLER Emtek Arts and Crafts Full Length Single Cylinder Keyed Entry Designer Brass Handleset	
SINGLE HUNG WINDOW OPENING HARDWARE	CONTEMPORARY LIFT LOCK. SATIN TAUPE COLOR	

PAINT SCHEDULE		
PAINT NAME	AREA APPLIED	PICTURE REFERENCE
SHERWIN-WILLIAMS / SW 7005 Pure White	EXTERIOR SIDING COATING	
SHERWIN-WILLIAMS / SW 0055 Light French Gray	TRIM AND ACCENTS	



HEAD JAMB AND SILL DETAIL

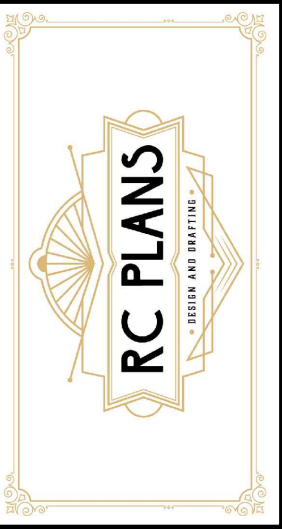


JAMB DETAIL

1. Top Brick Mould Casing, W1047
2. Top Blind Stop
3. Tilt Latch
4. Parting Stop Weather strip, V945
5. Head Jamb
6. Parting Stop, W8883
7. Screen Mesh
8. Glazing Bead
9. Top Rail
10. Sash Keeper
11. Sash Lock
12. Insulated Glass
13. Bottom Check Rail
14. Top Check Rail
15. Check Rail Weather strip, V031
16. Bottom Rail
17. Bottom Rail Weather strip, V147
18. Sill Liner, W8914
19. Subsill, W2134
20. Sill
21. End Plate
22. Locking Blade
23. Extension Spring
24. Side Brick Mould Casing, W1047
25. Jamb
26. Vinyl Jamb Carrier, V1375
27. Jamb Liner, W8880
28. Stile
29. Single Hung Filler, W9004
30. Balance Cover
31. Bottom Wood Jamb Filler, W8878
32. Frame Weather strip, V1419
33. Jamb Blind Stop
34. Sash Balance Tube
35. Jamb Liner Stop, A1402
36. Sill Bracket
37. 1/2 Screen Foam Liner

WINDOW FRAMING DETAIL

N.T.S.



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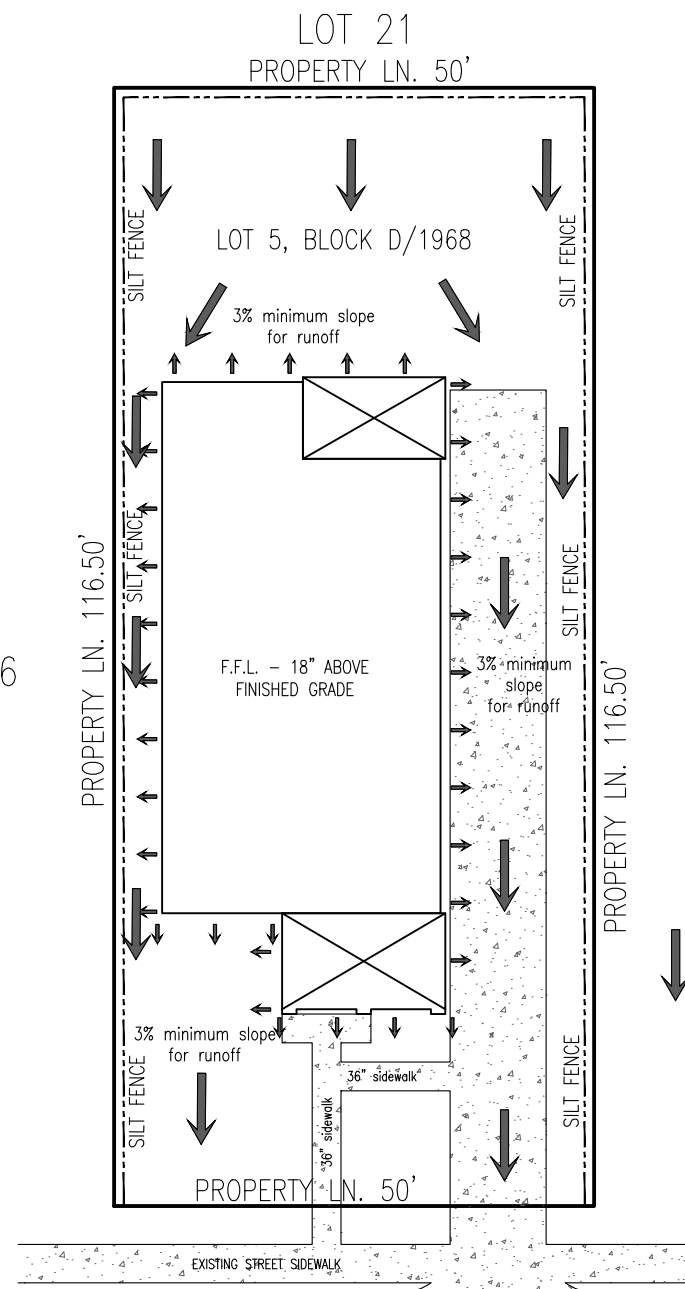
RESIDENTIAL NEW CONSTRUCTION	MATERIALS & HARDWARE LIST	RC PLANS	04/05/2024	1/8" = 1'-0"
USE:	PLAN:	DRAWN BY:	DATE:	SCALE:

ADDRESS:

2818 BURGER AVE., DALLAS, TX 75215.

PAGE NUMBER:

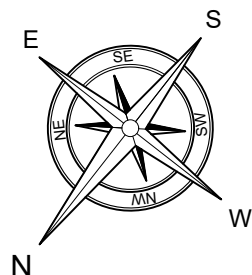
04



BURGER AVE.

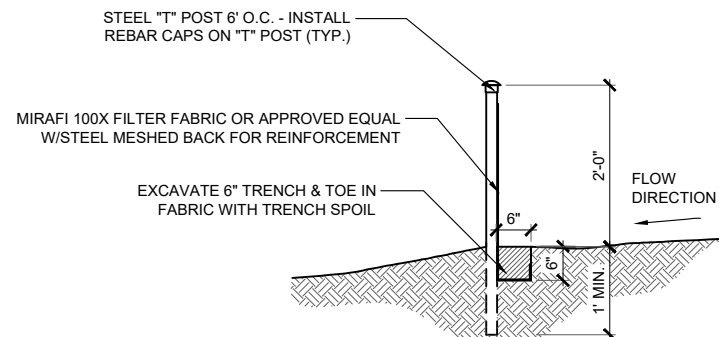
EROSION CONTROL PLAN

SCALE 1" = 30'

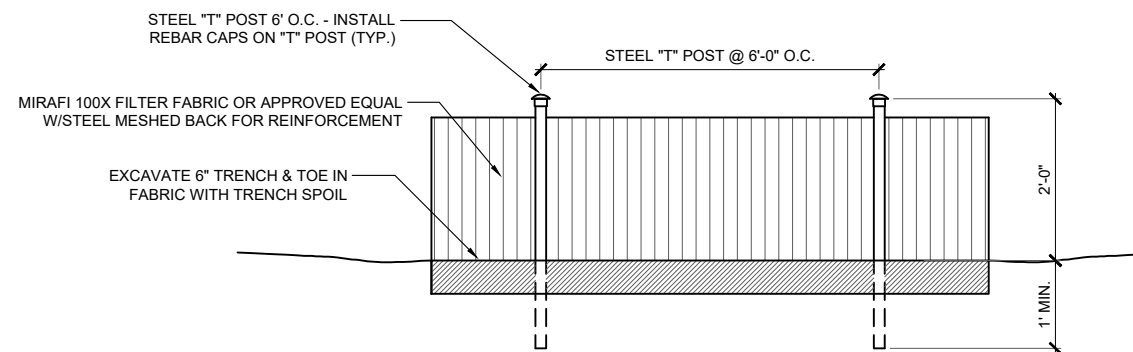


SILT FENCE NOTES:

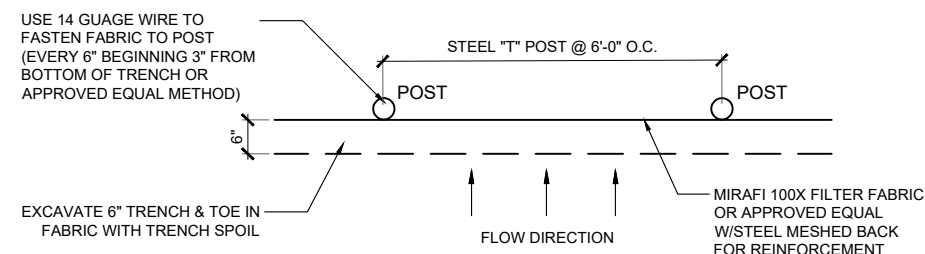
1. STEEL POSTS WHICH SUPPORT THE SILT FENCE SHALL BE INSTALLED ON A SLIGHT ANGLE TOWARD THE ANTICIPATED RUNOFF SOURCE.
2. THE TOE OF THE SILT FENCE SHALL BE TRENCHED IN WITH A SPADE OR MECHANICAL TRENCHER, SO THAT THE DOWN SLOPE FACE OF THE TRENCH IS FLAT AND PERPENDICULAR TO THE LINE OF FLOW.
3. THE TRENCH SHOULD BE A MINIMUM OF SIX INCHES DEEP AND SIX INCHES WIDE TO ALLOW FOR THE SILT FENCE TO BE LAID IN THE GROUND AND BACKFILLED.
4. SILT FENCE SHOULD BE SECURELY FASTENED TO EACH SUPPORT POST.
5. INSPECTION SHALL BE FREQUENT AND REPAIR OR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED.
6. SILT FENCE SHALL BE REMOVED WHEN IT HAS SERVED ITS USEFULNESS, SO AS NOT TO BLOCK OR IMPEDE STORM FLOW OR DRAINAGE.
7. SEDIMENT TRAPPED BY THIS PRACTICE SHALL BE DISPOSED OF IN AN APPROVED SITE IN A MANNER THAT WILL NOT CONTRIBUTE TO ADDITIONAL SILTATION.
8. ACCUMULATED SILT SHALL BE REMOVED WHEN IT REACHES A DEPTH OF SIX INCHES AND DISPOSED OF IN AN APPROVED SPOIL SITE OR AS IN No. 7 ABOVE.
9. FILTER FABRIC IS TO BE MIRAFI 100X OR APPROVED EQUAL.
10. CONTRACTOR TO REMOVE SILT FENCE UPON COMPLETION OF PROJECT. DAMAGED AREAS TO BE REPAIRED INCLUDING RE-GRADING AND RE-GRASSING AS NECESSARY.
11. ALL EROSION CONTROL DEVICES AND REQUIREMENTS TO BE IN ACCORDANCE WITH NCTCOG BMP EROSION CONTROL MANUAL AND PLANS AND SPECIFICATIONS.
12. UNLESS APPROVED BY OWNER, EROSION CONTROL FENCING SHALL BE USED IN AREAS WITH NO TREES ONLY.



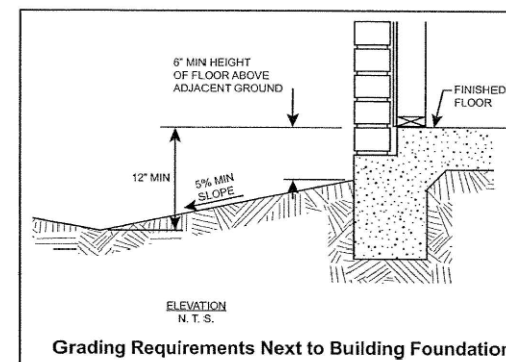
SECTION



ELEVATION



PLAN



Grading Requirements Next to Building Foundation



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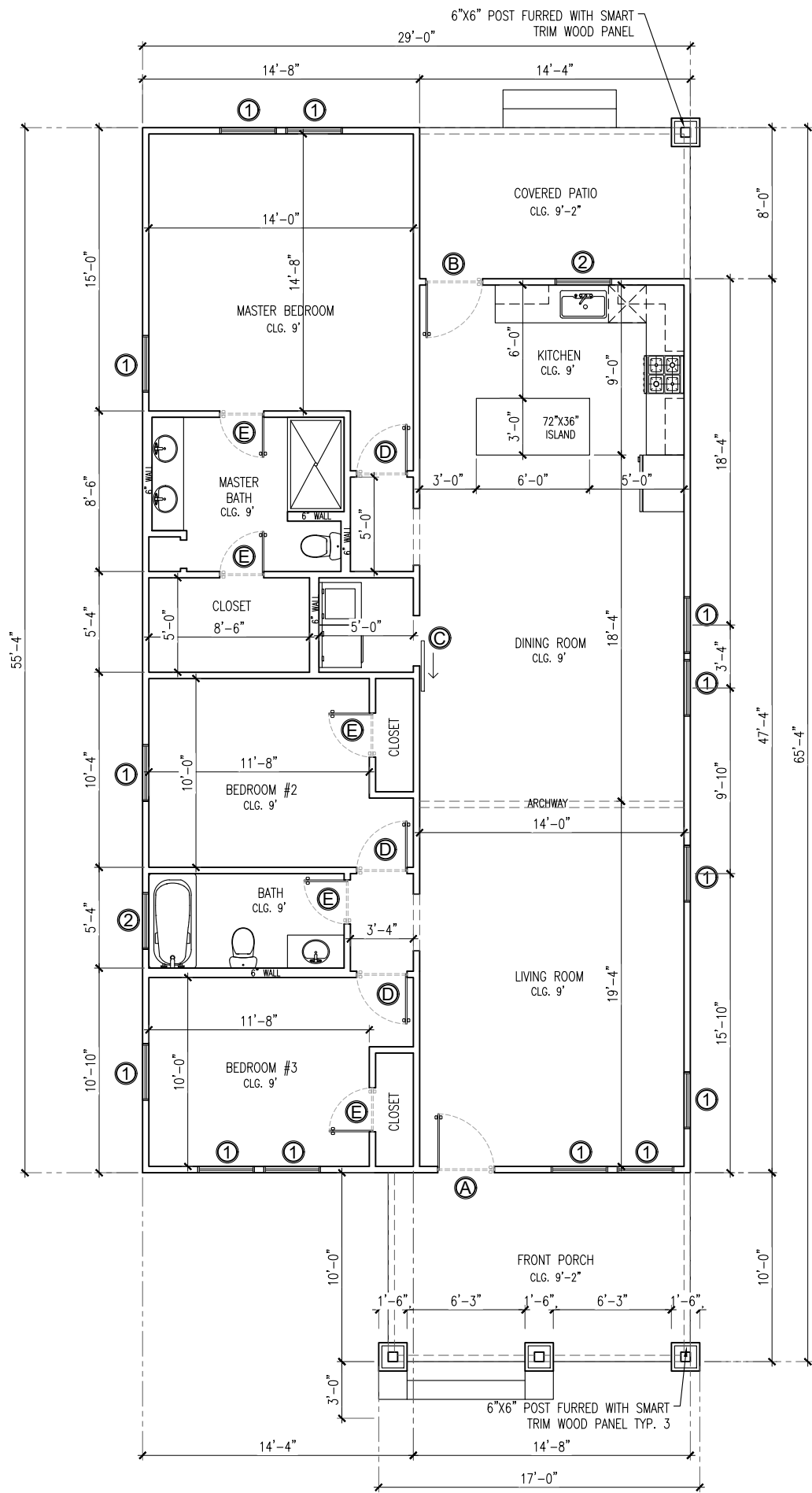
RESIDENTIAL NEW CONSTRUCTION	EROSION CONTROL PLAN	RC PLANS	04/05/2024	1" = 20'
USE:	PLAN:	DRAWN BY:	DATE:	SCALE:

ADDRESS:

2818 BURGER AVE., DALLAS, TX 75215.

PAGE NUMBER:

02



WINDOWS SCHEDULE			
ITEM	SIZE	QUANTITY	TYPE
1	3'-0" X 5'-0"	11	SH
2	3'-0" X 3'-0"	2	SH

SH = SINGLE HUNG

DOORS SCHEDULE			
ITEM	SIZE	QUANTITY	TYPE
A	3'-0" X 6'-8"	1	SHS
B	3'-0" X 6'-8"	1	PT
C	2'-8" X 6'-8"	1	BR
D	2'-8" X 6'-8"	3	SHH
E	2'-4" X 6'-8"	5	SHH

SHS = SINGLE HINGED SOLID CORE
SHH = SINGLE HINGED HOLLOW CORE
PT = PATIO STYLE
BR = BARN STYLE

CURRENT CITY CODES:

- 2021 International Building Code
- 2021 International Residential Code
- 2021 International Energy Conversational Code
- 2021 International Fuel Gas Code
- 2021 International Mechanical Code
- 2021 International Plumbing Code
- 2021 International Existing Building Code
- 2021 International Fire Code
- 2020 National Electrical Code

IECC 2021 GREEN/ENERGY CODE COMPLIANCE FOR HOME

ALL GREEN/ENERGY SYSTEMS MUST MEET THE REQUIREMENTS FROM THE CHAPTER 4 OF THE INTERNATIONAL ENERGY CONSERVATION CODE, REFERED TO RESIDENTIAL ENERGY EFFICIENCY. IF ANY ITEM IS NOT LISTED BELOW REFER TO THE MENTIONED CHAPTER.

1. STORMWATER:
1.1. 70% OF NON-ROOF AREA HAS VEGETATIVE LANDSCAPE, PERMEABLE PAVING OR SLOPED FOR RUNOFF TO A PERMANENT FILTRATION FEATURE.

2. WATER EFFICIENCY:
2.1. LAVATORY FAUCETS MUST HAVE AN AVERAGE FLOW RATE OF 2.0 GALLONS PER MINUTE OR LESS.
2.2. SHOWERS HEADS MUST HAVE AN AVERAGE FLOW RATE OF 2.0 GALLONS PER MINUTE OR LESS.
2.3. TOILETS MUST HAVE AN AVERAGE FLOW RATE OF:
2.3.1. LESS THAN OR EQUAL TO 1.3 GALLONS PER FLUSH.
2.3.2. DUAL FLUSH COMPLYING WITH ASME A 112.19.14.
2.3.3. COMPLY WITH US EPA WATER SENSE.
2.4. ENERGY STAR DISHWASHER.
2.5. ENERGY STAR CLOTHES WASHER.

3. HEAT ISLAND MITIGATION:
3.1. ENERGY STAR QUALIFIED ROOF SYSTEM FOR ROOF WITH SLOPE OF 2:12 OR GREATER.
3.2. RADIANT BARRIER IN ATTIC WITH CONVENTIONAL SHINGLES.
3.3. ENCAPSULATED FOAM INSULATION BETWEEN THE ROOF RAFTERS (R-22 OR GREATER).
3.4. WINDOWS AND DOORS MUST BE SEALED WITH FOAM OR CAULK.
3.5. SILL PLATE MUST BE SEALED ON THE INSIDE WITH FOAM OR CAULK.
3.6. ALL WALL PENETRATIONS TO THE EXTERIOR MUST BE SEALED WITH FOAM OR CAULK.
3.7. BLOWER DOOR TESTING IS MANDATORY. NOT TO EXCEED 4 AIR CHANGES PER HOUR AT 50 PASCALS.

4. DUCTS AND AIR SEALING
4.1. DUCTS MUST BE TESTED AND VERIFIED TO HAVE TOTAL LEAKAGE OF NO MORE THAN 4 FT³/MIN PER 100 SQUARE FOOT (OR 3 CFM IF AIR HANDLER IS NOT INSTALLED), EXCEPT WHERE AIR HANDLER AND ALL DUCTS ARE LOCATED INSIDE CONDITIONED SPACE. AIR HANDLERS AND FILTER BOXES MUST ALSO BE PROPERLY SEALED.
4.2. HVAC AND DUCTWORK LOCATED OUTSIDE OF FIRE RATED ENVELOPE OF GARAGE.
4.3. THE BUILDING ENVELOPE IS REQUIRED TO BE PROPERLY SEALED AND TESTED, AND VERIFIED AS HAVING AN AIR LEAKEAGE RATE NO HIGHER THAN 3 ACH AT 0.20 INCH W.G. (50 PASCALS).
4.4. SUPPLY AND RETURN DUCTS IN ATTICS SHALL BE SEALD AND INSULATED WITH R-8 WHEN DUCTS IS 3" OR GREATER, R-6 WHEN 3" OR LESS AND EXEMPT WHEN COMPLETELY INSIDE CONDITIONED SPACE.

5. INSULATION:
5.1. ALL WINDOWS FENESTRATION U-FACTOR FOR DALLAS MUST BE 0.35, SKYLIGHT U-FACTOR 0.55 AND GLAZED FENESTRATION SHGC 0.25.
5.2. CEILINGS MUST BE INSULATED WITH R-38, IF NO ATTIC SPACE R-30, THIS REDUCTION IS LIMITED TO 500 SQUARE FEET (46 M²) OR 20% OF THE TOTAL INSULATED CEILING AREA, WHICHEVER IS LESS.
5.3. ATTIC ACCESS LADDERS AND OR HATCHES, MUST BE INSULATED THE SAME AS THE ATTIC AND HAVE A WEATHER SEAL
5.4. ALL EXTERIOR WALLS MUST BE INSULATED WITH R-20 CANITY OR R-13 CANITY WITH R-5 CONTINUOUS INSULATION OR HIGHER.
5.5. CRAWL SPACE WALLS MUST BE INSULATED WITH T-5 CONTINUOUS OR R-13 CAVITY INSULATION, WITH VAPOR BARRIER OVER EXPOSED EARTH.
5.6. PIER AND BEAM OR ANY OTHER RAISED FLOOR SYSTEM MUST BE INSULATED WITH R-19 INSULATION OR HIGHER.

6. HVAC SYSTEMS
6.1. TEMPERATURE CONTROLS MUST BE INSTALLED, INCLUDING A PROGRAMMABLE THERMOSTAT CONTROLLING THE PRIMARY HEATING AOD COOLING SYSTEM.
MECHANICAL SYSTEM PIPING MUST BE INSULATED TO A MINIMUM OF R-3. HOT WATER PIPING ¾" IN DIAMETER OR LARGER AND ALL HOT WATER PIPING IN CERTAIN APPLICATIONS MUST BE INSULATED TO R-3.
6.2. PIPES CARRYING FLUID OVER 104° OR BELOW 55° MUST BE INSULATED WITH R-13.
6.3. LIGHTNING:
6.4. A MINIMUM OF 75% OF LAMPS IN PERMANENTLY INSTALLED FIXTURES MUST BE HIGH-EFFICACY AS DEFINED IN THE IECC.



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RESIDENTIAL NEW CONSTRUCTION

FLOOR PLAN

RC PLANS

04/05/2024

1/8" = 1'-0"

USE:

PLAN:

DRAWN BY:

DATE:

SCALE:

ADDRESS:

2818 BURGER AVE., DALLAS, TX 75215.

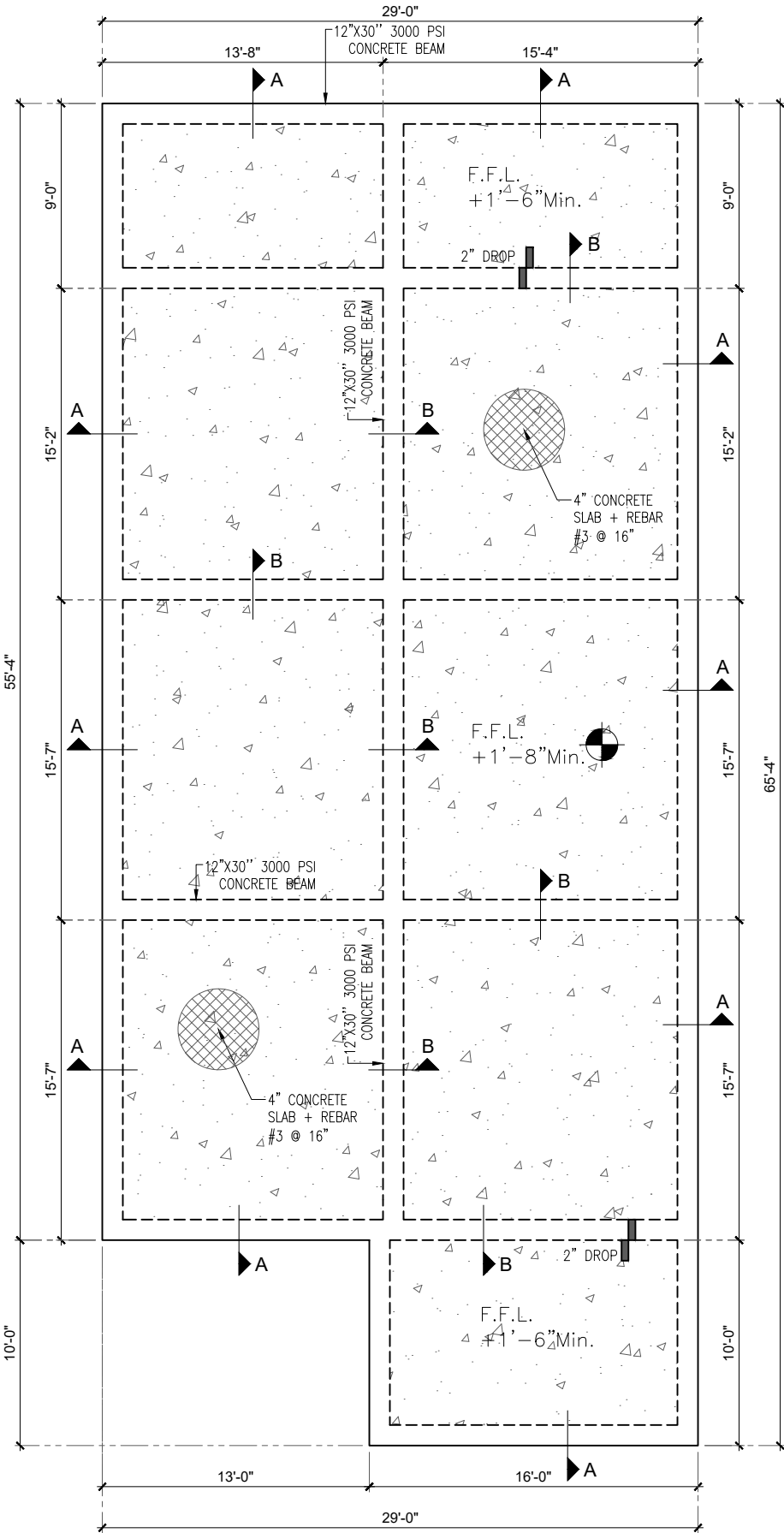
PAGE NUMBER:

03

FOUNDATION PLAN

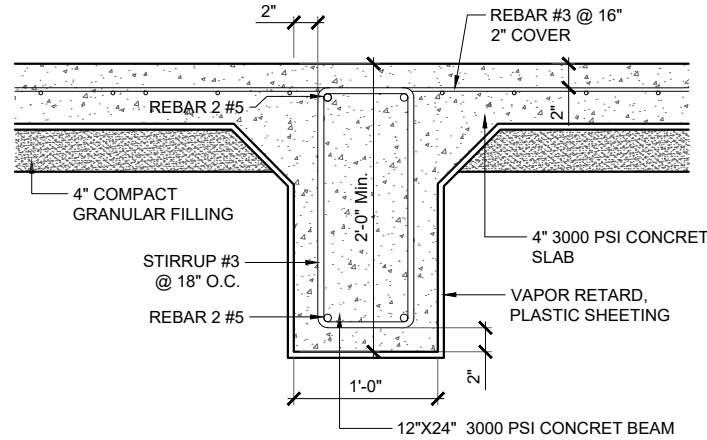
CR234-018(RD)

SCALE 1/8" = 1'-0"



FOUNDATION SECTION A

SCALE 3/4" = 1'-0"

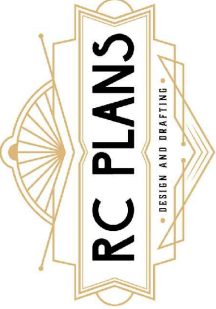


FOUNDATION SECTION A

SCALE 3/4" = 1'-0"

CONCRETE FOUNDATION:

1. CONCRETE MIX, MINIMUM COMPRESSIVE STRENGTH 3000 PSI @ 28 DAYS.
2. REINFORCING STEEL (REBAR) ASTM A-615 GRADE 60 WITH SPLICES LAPPING 44 DIA. (24" MIN.).
3. WELDED WIRE MESH ASTM A185 (OPTIONAL SLAB REINFORCEMENT).
4. ALL WOOD/LUMBER IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED OR REDWOOD.
5. EXTEND ALL FOOTINGS DOWN TO UNDISTURBED SOIL OF THE SPECIFIED STRENGTH OR APPROVED STRUCTURAL FILL WITH A MIN. DEPTH OF 12" BELOW GRADE OR AS REQUIRED BY LOCAL BUILDING CODE, BASED ON LOCAL FROST LINE DEPTH.
6. STRUCTURAL FILL SHALL CONSIST OF CLEAN WELL GRADED SAND, SAND AND GRAVEL OR CRUSHED ROCK AND BE PLACED IN LOOSE LIFTS NOT EXCEEDING 8" IN THICKNESS AND THOROUGHLY COMPACTED TO A DENSE NON-YIELDING STATE (95% OF THE MAX. DRY DENSITY).
7. CONCRETE FOOTINGS SHALL BE CENTERED BELOW THE WALL ABOVE UNLESS NOTED OTHERWISE.
8. CONCRETE FOOTING SHALL BE MINIMUM 12" X 6" X CONT. WITH (1) #4 BARS HORIZONTAL CONT. AND #4 BARS VERTICAL (90 DEG. HOOK) @ 24" O/C INTO STEMWALL ABOVE WITH MIN. 18" LENGTH DEVELOPED INTO STEM WALL.
9. STEMWALLS SHALL BE MIN. 6" X 24" X CONT. WITH (1) #4 BAR HORIZONTAL CONT. @ 3'-5" FROM TOP OF STEMWALL UNLESS NOTED OTHERWISE.
10. ANCHOR BOLTS SHALL BE MIN. (2) PER SILL PLATE SEGMENT AND WITHIN 4"-12" OF WALL CORNERS AND SILL PLATE ENDS.
11. CONCRETE SLAB OF GARAGE FLOORS SHALL BE MIN. 4" THICK WITH MIN. 3000 PSI STRENGTH W/ REBAR #3 @ 12" PLACED 2" FROM TOP OF SLAB, SLOPED AS APPLICABLE. IN LIEU OF MESH REINF. USE #3 BARS @ 24" O/C EACH WAY FOR GREATER CRACK CONTROL.
12. ALL EXT. CONCRETE SLABS (PORCHES, DRIVEWAYS ETC...) SHALL BE MIN. 4" THICK WITH MIN. 3000 PSI STRENGTH W/ REBAR #3 @ 12".
13. ALL CONCRETE SLABS SHALL BE UNDERLAIN BY 4 IN. OF COMPACTED, FREE DRAINING GRANULAR MATERIAL SUCH AS 3/4-1 IN. MINUS CLEAN GRAVEL.
14. A 6 MIL POLYETHYLENE VAPOR BARRIER SHALL BE PROVIDED BENEATH THE CONCRETE SLAB AT THE REQUEST OF OWNER OR IN LOCATIONS WITH POOR DRAINAGE OR HIGH WATER TABLES.
15. REINF. WITHIN SLAB SHALL BE PROPERLY SUPPORTED WITH PLASTIC OR METAL CHAIRS OR "DOBIE" BLOCKS PRIOR TO POUR.
16. BOTTOM OF FOOTINGS SHALL BE STEPPED AT 24" HORIZONTAL TO 12" VERTICAL STEPS
17. LOCATE ALL FOUNDATION WALL PENETRATIONS (VENTS, DUCTS, PLUMBING, BEAM POCKETS ETC...) AWAY FROM HOLDOWN ANCHOR LOCATIONS 12" MIN. IF WALL PENETRATION FALLS WITHIN REQ. HORIZONTAL BAR FOR HOLDOWNS, BEND HORIZONTAL BAR DOWN 18" MIN. AT EDGE OF PENETRATION AND INSTALL (1) #4 HORIZONTAL BAR, MIN. 6' IN LENGTH, CENTERED UNDER WALL PENETRATION.
18. DO NOT EXCAVATE GREATER THAN A 2:1 SLOPE BELOW FOOTINGS.
19. THE FOLLOWING MIN. CONCRETE COVER SHALL BE PROVIDED FOR REINFORCEMENT:
 - A. CONCRETE CAST AGAINST EARTH = 3"
 - B. CONCRETE EXPOSED TO EARTH OR WEATHER (#5 AND SMALLER) = 1-1/2"
 - C. CONCRETE NOT EXPOSED TO WEATHER (#11 AND SMALLER) = 3/4"
 - D. BEAMS AND COLUMNS (#5 AND SMALLER) = 1-1/2"



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RESIDENTIAL NEW CONSTRUCTION

FOUNDATION

RC PLANS

04/05/2024

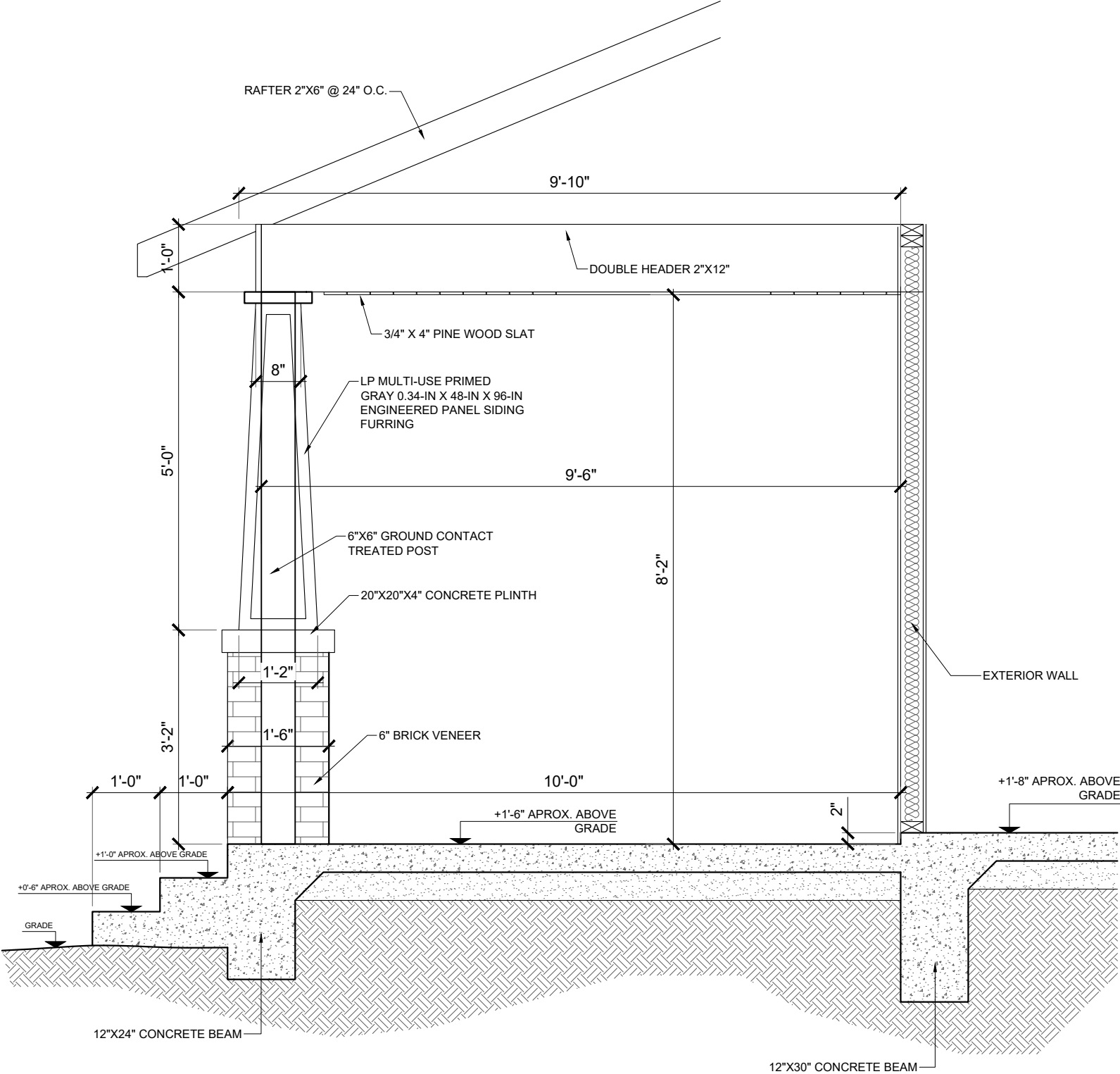
1/8" = 1'-0"

ADDRESS:

2818 BURGER AVE., DALLAS, TX 75215.

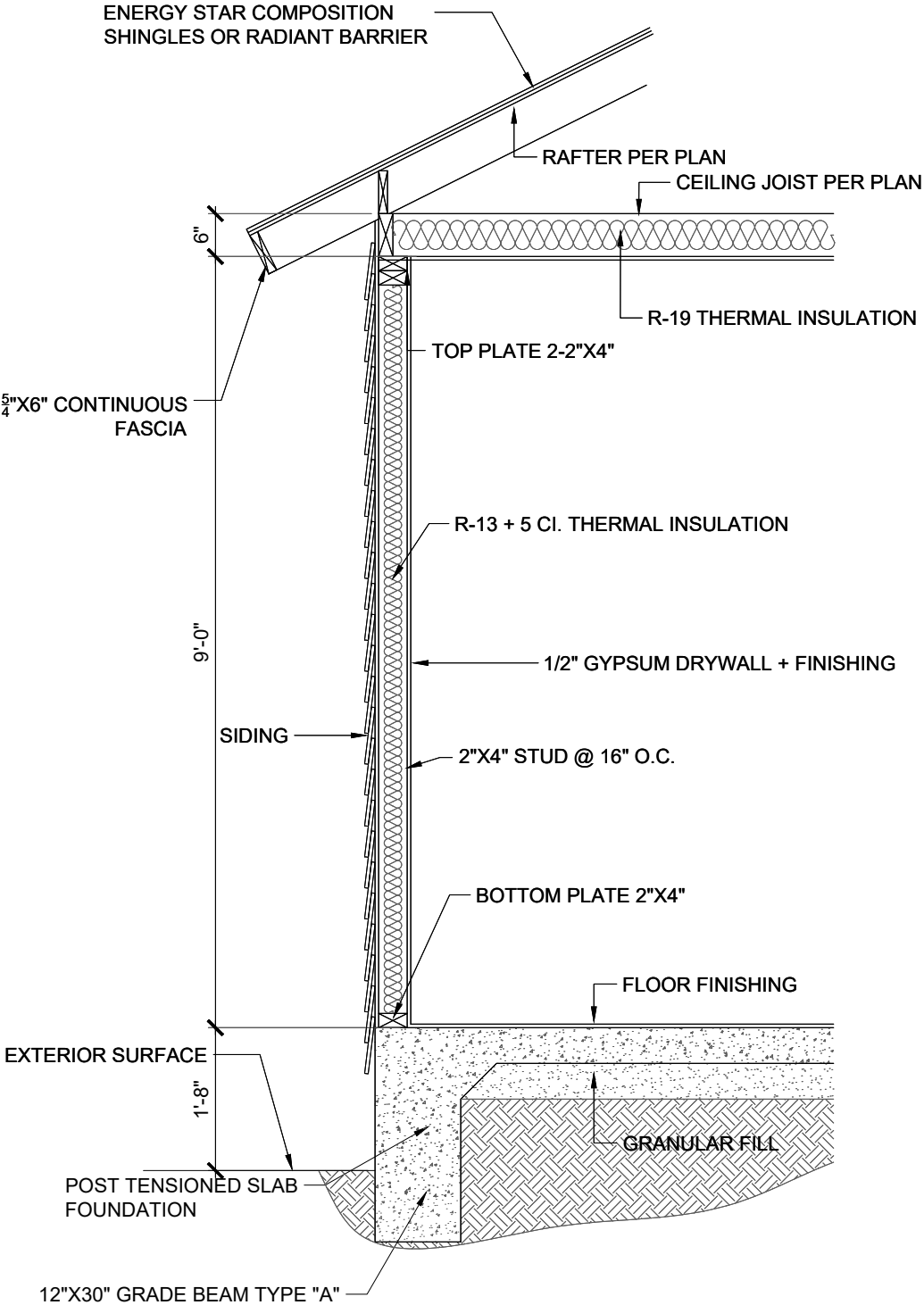
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07



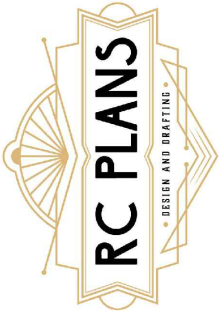
PORCH SECTION D

SCALE 1/2" = 1'-0"



TYPICAL WALL DETAIL

N.T.S.



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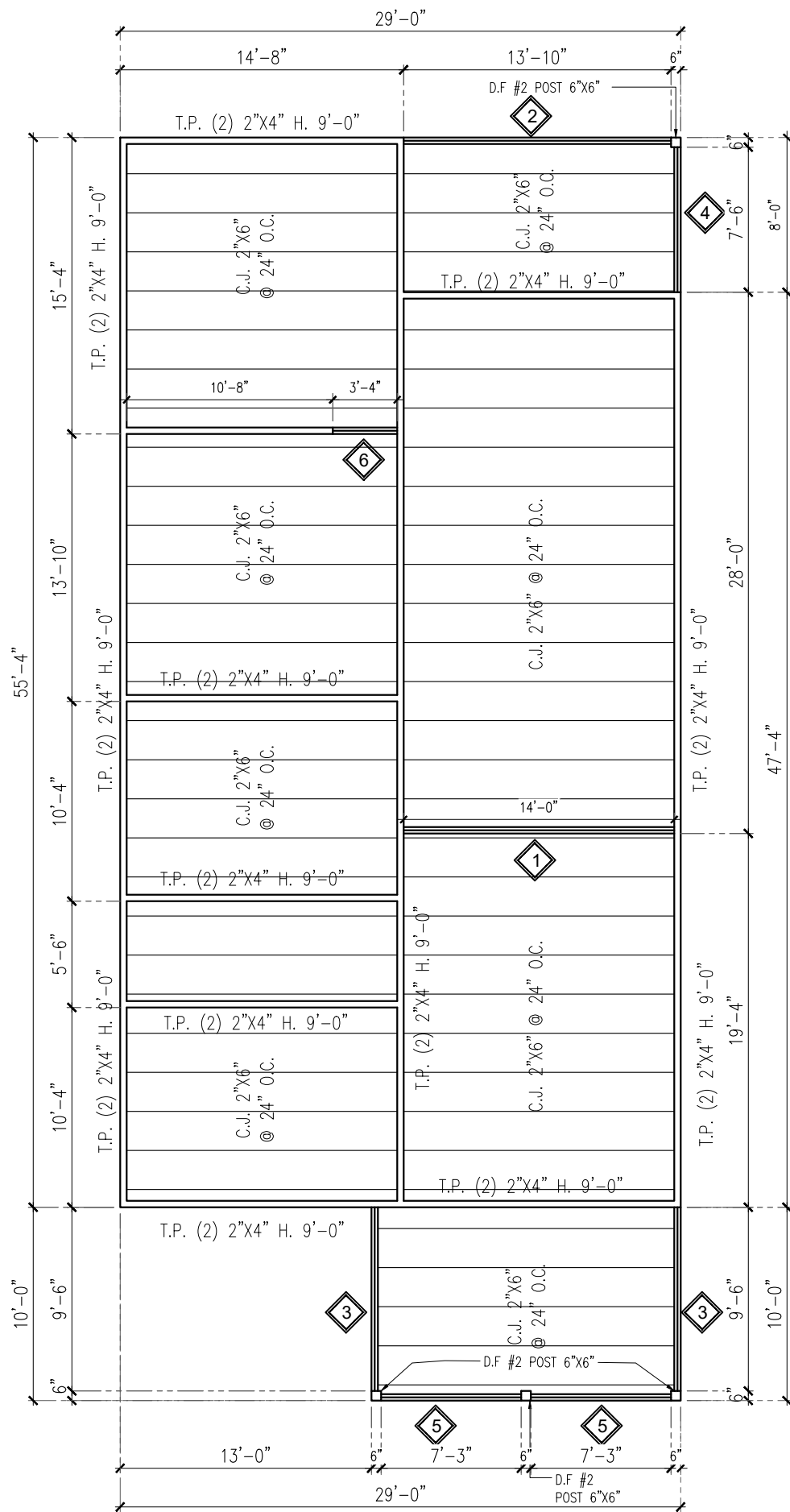
USE:	RESIDENTIAL NEW CONSTRUCTION	PLAN:	FOUNDATION	DRAWN BY:	RC PLANS	DATE:	04/05/2024	SCALE:	1/8" = 1'-0"

ADDRESS:

2818 BURGER
AVE., DALLAS,
TX 75215.

PAGE NUMBER:

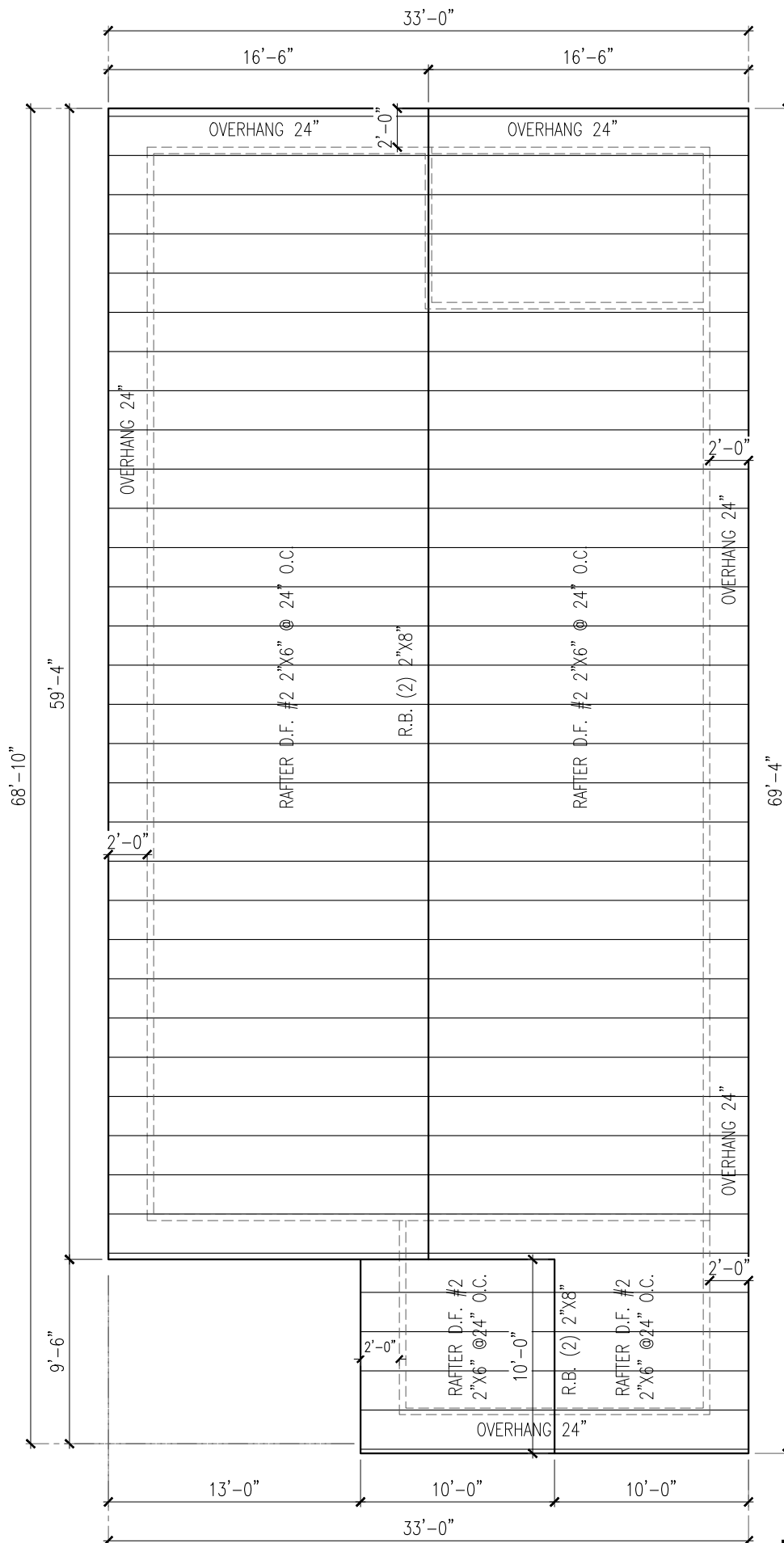
08



CEILING FRAME PLAN

CR234-018(RD)

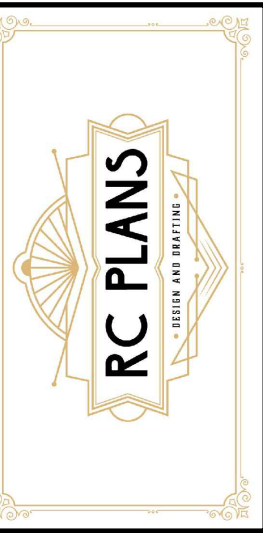
SCALE 1/8" = 1'-0"



ROOF FRAMING PLAN

SCALE 1/8" = 1'-0"

BEAM CHART				
ITEM	QTY	SIZE	TYPE	SPAN*
1	1	(2) 2"X12"	D.F. #2	14'-0"
2	1	(2) 2"X12"	D.F. #2	13'-10"
3	3	(2) 2"X12"	D.F. #2	9'-6"
4	1	(2) 2"X12"	D.F. #2	7'-6"
5	2	(2) 2"X12"	D.F. #2	7'-3"
6	1	(2) 2"X12"	D.F. #2	3'-4"



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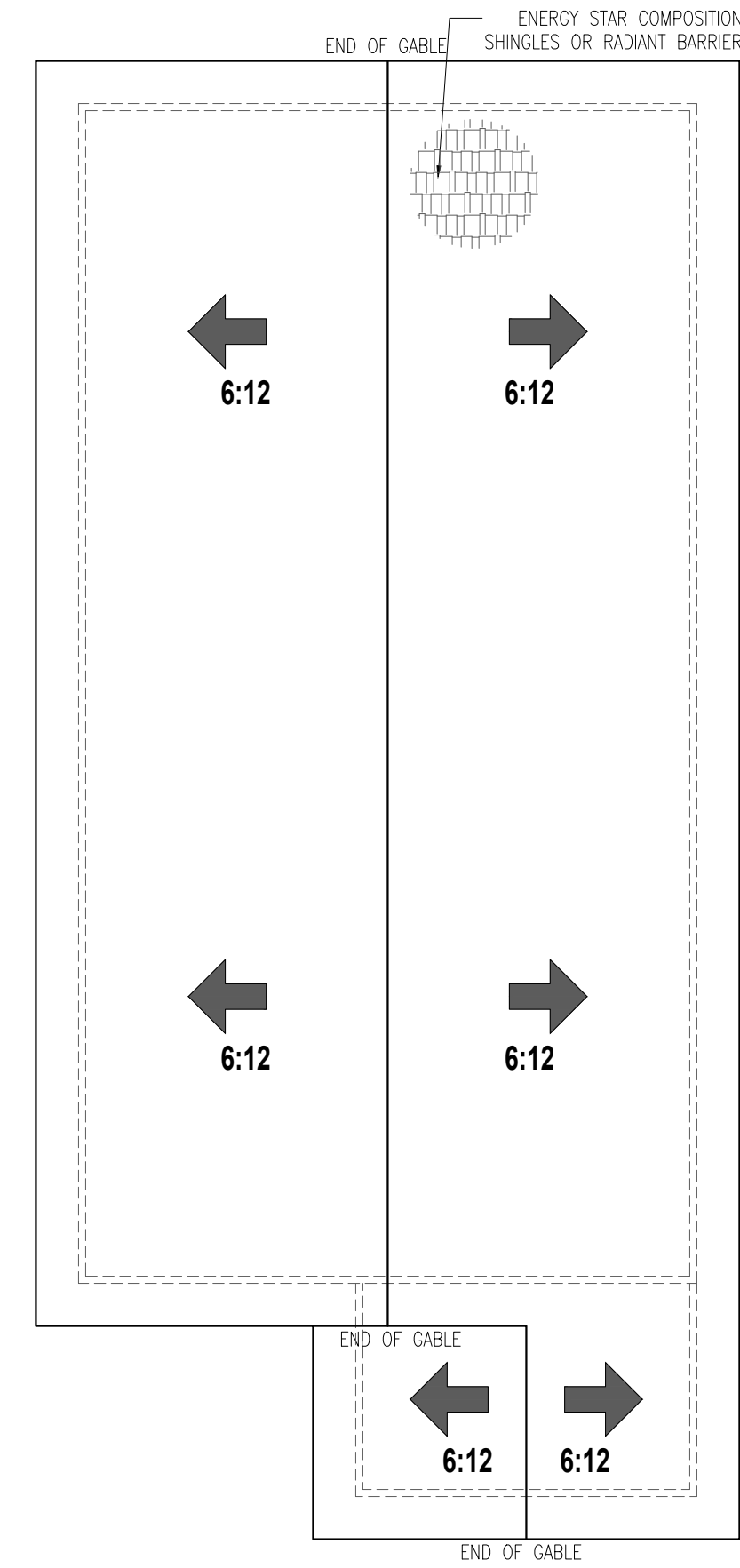
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	PLAN:		RC PLANS	
DRAWN BY:	DATE:		04/05/2024	
	SCALE:		1/8" = 1'-0"	

ADDRESS:

2818 BURGER AVE., DALLAS, TX 75215.

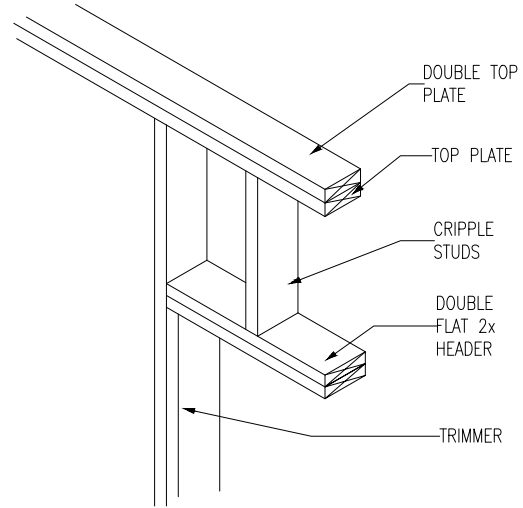
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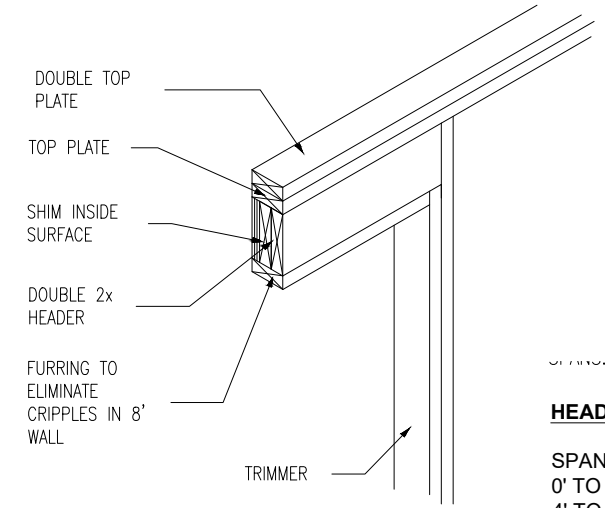


ROOF PLAN
SCALE 1/8" = 1'-0"

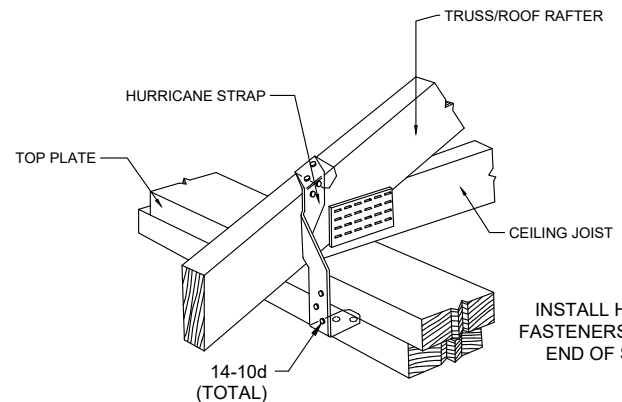
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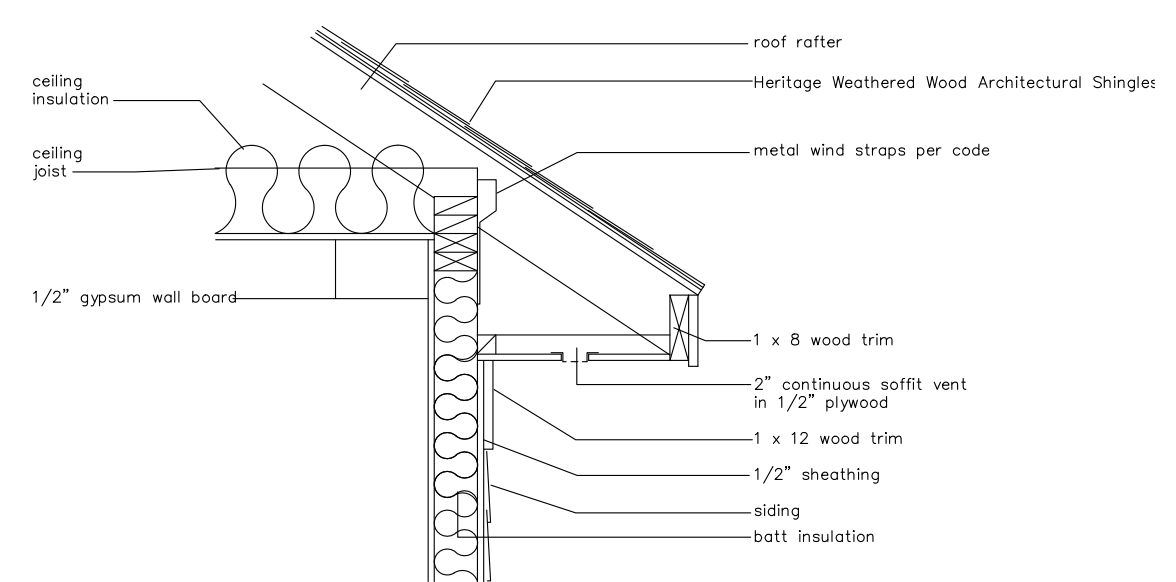
HEADER FRAMING DET.
N.T.S.



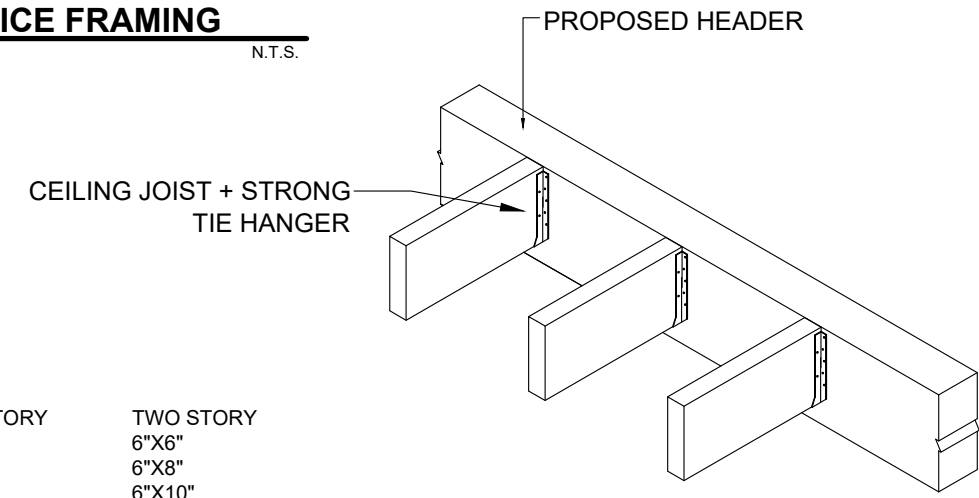
HEADER FRAMING DET.
N.T.S.



RAFTER HURRICANE TIE
N.T.S.



TYP CORNICE FRAMING
N.T.S.



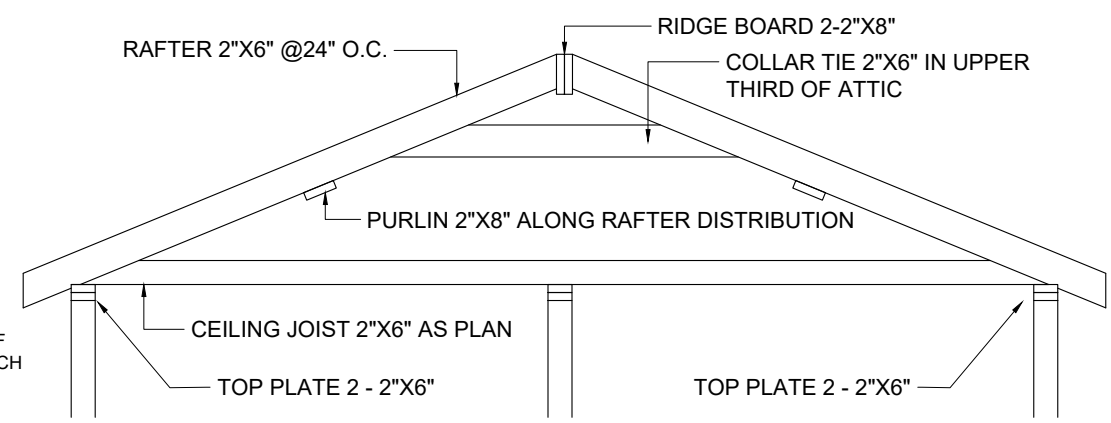
HEADER FRAMING DET.
N.T.S.

HEADER SPAN TABLE

SPAN	SINGLE STORY	TWO STORY
0' TO 4'	4"X4"	6"X6"
4' TO 6'	4"X6"	6"X8"
6' TO 8'	4"X8"	6"X10"
8' TO 10'	4"X10"	6"X12"
10' TO 12'	4"X12"	6"X14"

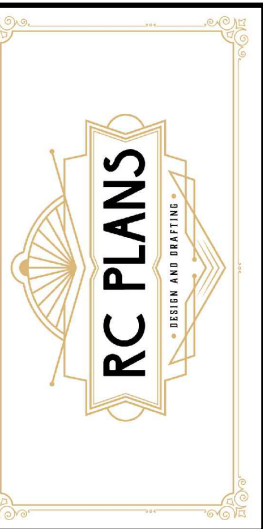
MAXIMUM STUD HEIGHT TABLE

STUD HEIGHT	BEARING WALL	NON-BEARING WALL
0' TO 10'	2"X6"	2"X4"



ROOF FRAMING DET.
N.T.S.

CR1-21



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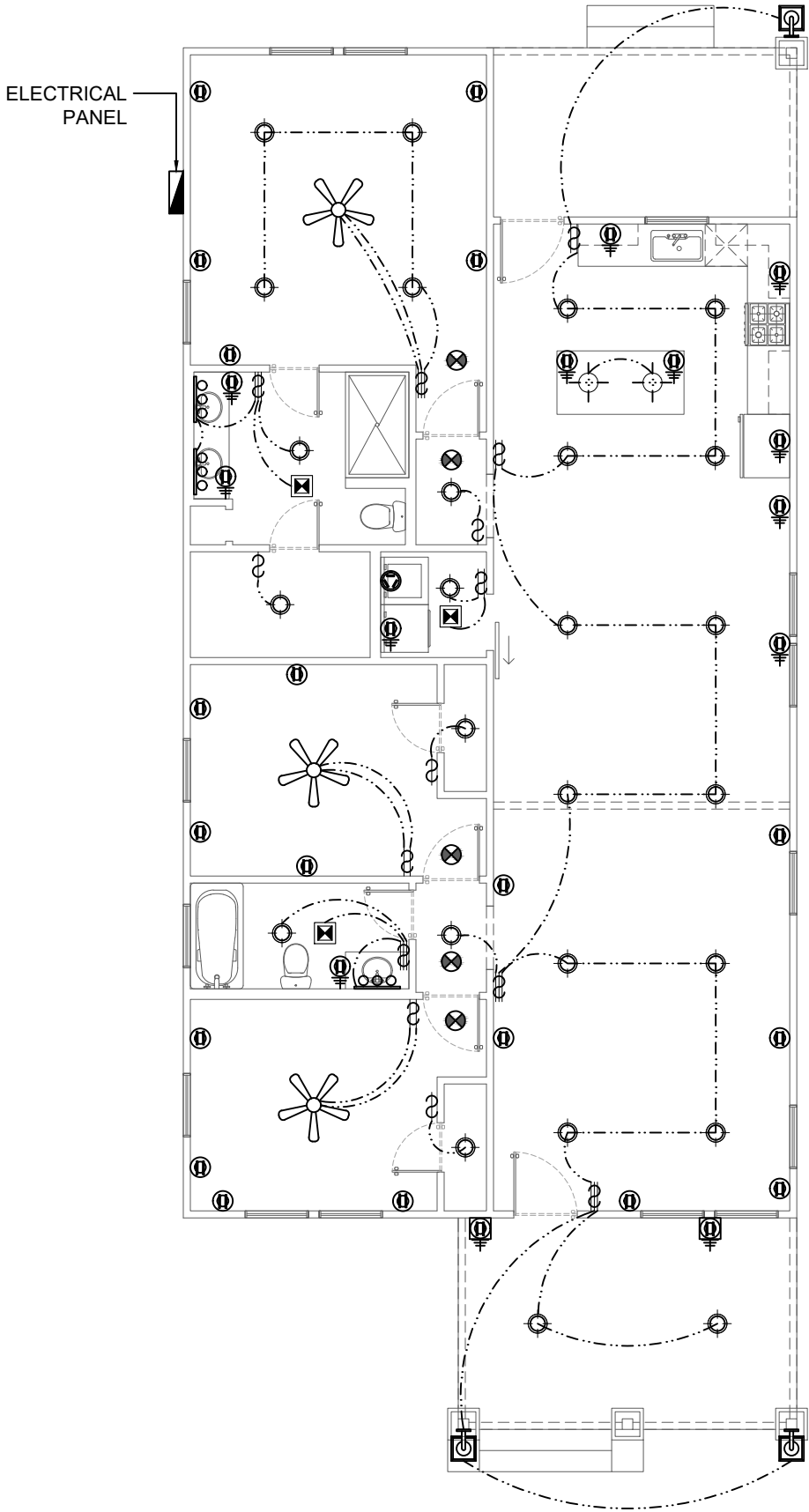
RESIDENTIAL NEW CONSTRUCTION	FRAMING	RC PLANS	04/05/2024	1/8" = 1'-0"
USE:	PLAN:	DRAWN BY:	DATE:	SCALE:

ADDRESS:

2818 BURGER AVE., DALLAS, TX 75215.

PAGE NUMBER:

10



ELECTRICAL PLAN

CR234-018(RD)

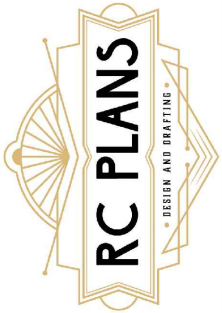
SCALE 1/8" = 1'-0"

ELECTRICAL FIXTURES HEIGHT		
FIXTURE	HEIGHT	
STANDARD OUTLET	15"	
OUTLET AT 30" CAB.	30"	
OUTLET AT 36" CAB.	48"	
TYPICAL WALL SWITCH	48"	
FRIDGE OUTLET	60"	
GARAGE OUTLET	48"	
UTILITY OUTLET	42"	

CR1-22

ELECTRICAL LEGEND

BREAKERS PANEL	
CEILING MOUNTED LIGHT	
110 VOLT RECEPTACLE	
220 VOLT RECEPTACLE	
EXHAUST FAN (50 cfm MIN.)	
SMOKE DETECTOR W/ CARBON MONOXIDE DETECTION (HARD WIRE WITH BATTERY BACKUP)	
SINGLE SWITCH	\$
DOUBLE SWITCH	\$
3 WAY SWITCH	\$3way
WALL MOUNTED LIGHT	
ELECTRICAL WIRE	---
110 VOLT RECEPTACLE GROUND FAULT INTERRUPTER	
GARAGE DOOR OPENER	
INCANDESCENT LIGHT TUBE	
CEILING FAN W/OPT. LIGHT	
CEILING PENDANT LIGHT	
OUTDOOR WALL LIGHT	
VANITY LIGHTS	
EAVES LIGHTS	
TELEPHONE OUTLET	
TELEVISION CABLE OUTLET	
110 VOLT EXTERIOR RECEPTACLE GROUND FAULT INTERRUPTER	



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RESIDENTIAL NEW CONSTRUCTION

ELECTRICAL

DRAWN BY: RC PLANS

DATE: 04/05/2024

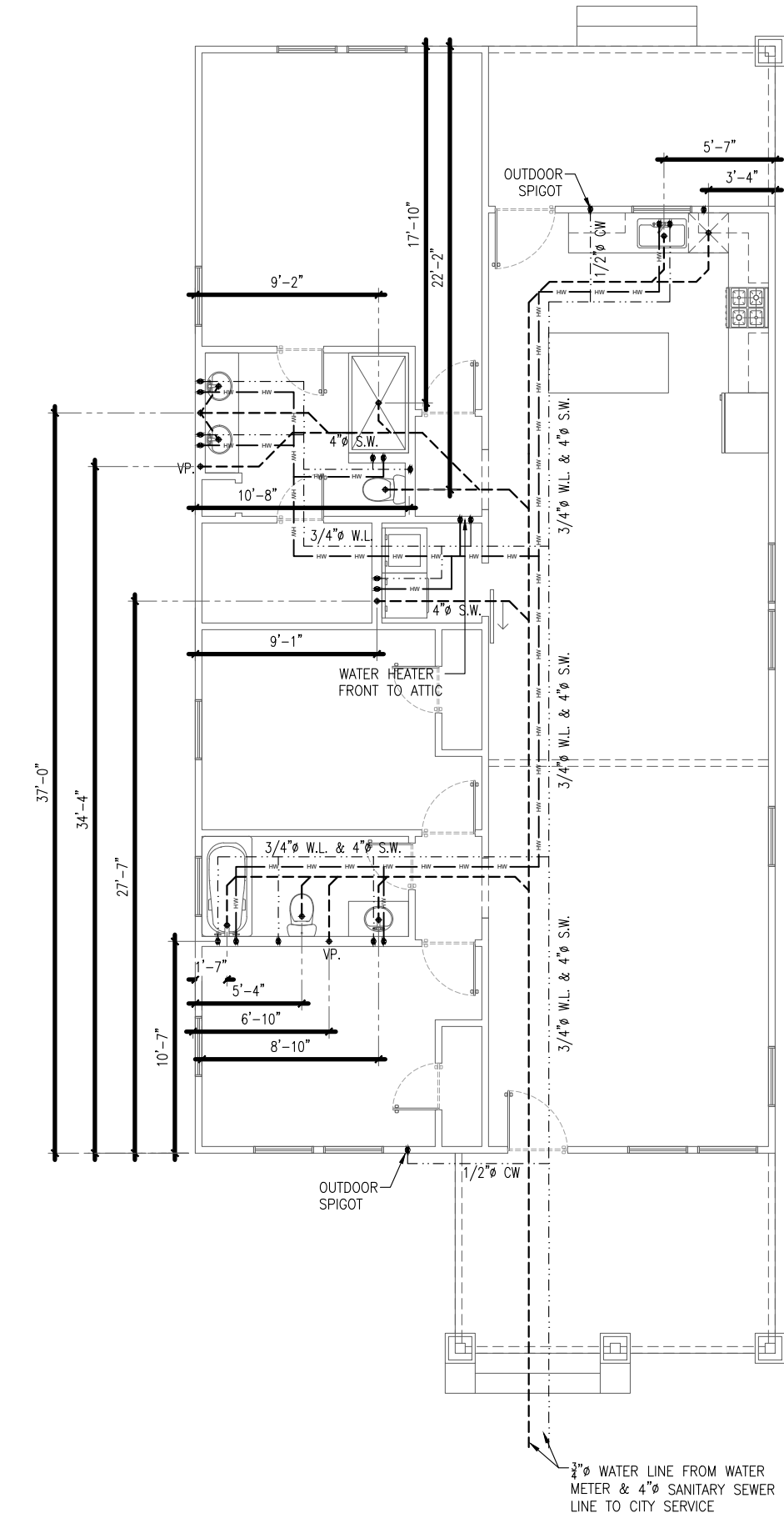
SCALE: 1/8" = 1'-0"

ADDRESS:

2818 BURGER AVE., DALLAS, TX 75215.

PAGE NUMBER:

11

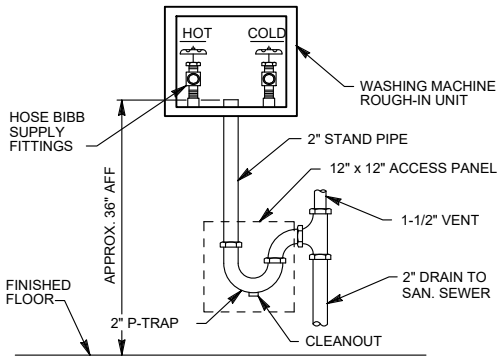


PLUMBING LEGEND	
SYMBOL	DESCRIPTION
---	COLD WATER LINE
---	HOT WATER LINE
---	SANITARY SEWER LINE
⊗	FIXTURE
⊙	WATER HEATER
⊗	VENT. PIPE
⊙	SANITARY CONNECTION

PLUMBING LEGEND	
ABBREVIATION	DESCRIPTION
P.W.	PLUMBING WALL
S.W.	SANITARY SEWER LINE
W.L.	WATER LINE

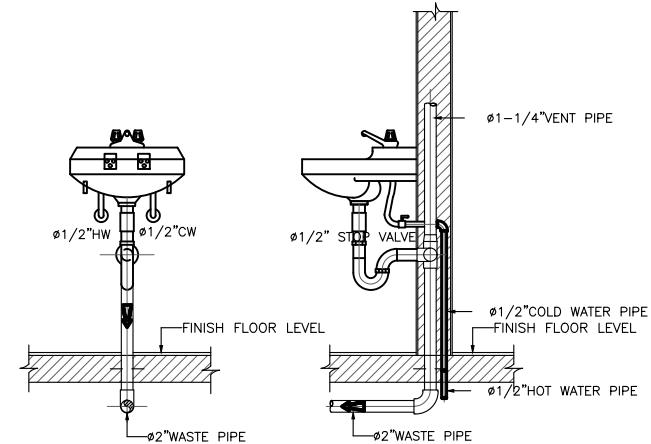
FIXTURE	PIPE DIAMETER			
	WASTE	VENT	COLD WATER	HOT WATER
HAND SINK	2"	2"	1/2"	1/2"
WATER CLOSET	4"	2"	3/4"	N/A
FLOOR DRAIN	3"	2"	N/A	N/A
WATER HEATER	N/A	N/A	3/4"	3/4"
WASH MACHINE	2"	N/A	3/4"	3/4"
HOSE	N/A	N/A	1/2"	1/2"
SINK	2"	2"	1/2"	1/2"

NOTES:
1. SIZES SHOWN ARE MINIMUM UNIFORM PLUMBING CODE REQUIREMENTS FOR TRAPS, TRAP ARM & ROUGH-IN CONNECTION.
2. IF CAST IRON NO-HUB PIPE IS USED, WASTE AND VENT PIPE SHALL BE 2" MINIMUM.



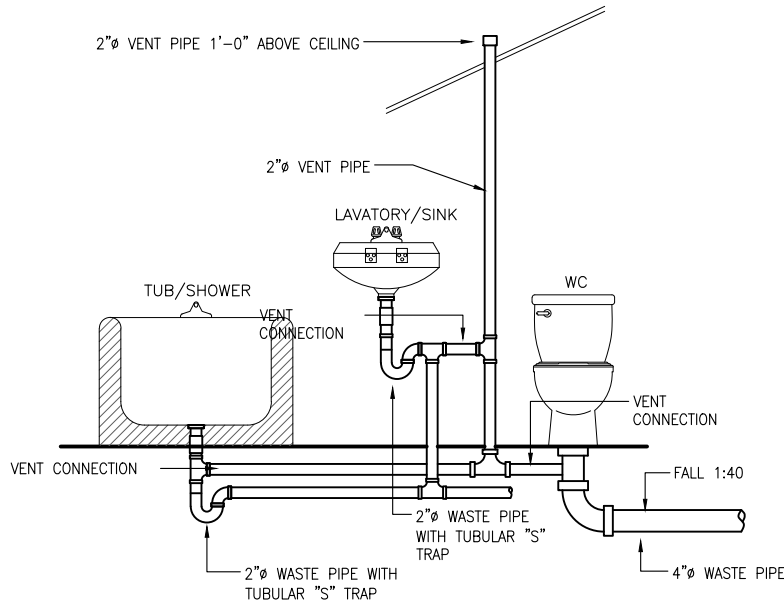
LAUNDRY DETAIL

N.T.S.



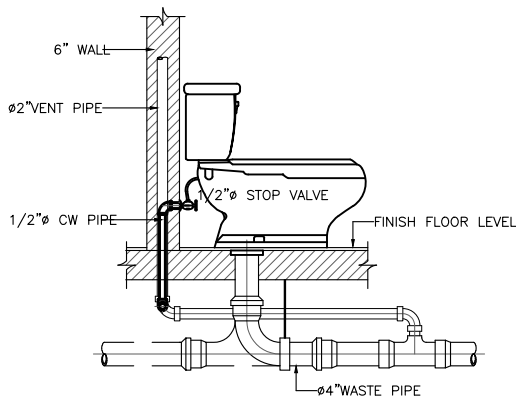
HAND SINK DETAIL

SCALE 3/8" = 1'-0"



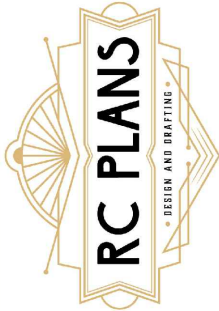
PLUMBING RAISER DETAIL

SCALE 3/8" = 1'-0"



WATER CLOSET DETAIL

SCALE 3/8" = 1'-0"



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RESIDENTIAL NEW CONSTRUCTION

PLUMBING

DRAWN BY: RC PLANS

DATE: 04/05/2024

SCALE: 1/8" = 1'-0"

ADDRESS:

2818 BURGER AVE., DALLAS, TX 75215.

PAGE NUMBER:

12

**LANDMARK COMMISSION****JUNE 3, 2024**

FILE NUMBER: CA234-336(RD)
LOCATION: 1462 1st Avenue
STRUCTURE: Contributing
COUNCIL DISTRICT: 7
ZONING: CR, CS, IM, MC-1, MF-2(A),
NS(A), PD-288

PLANNER: Rhonda Dunn, Ph.D.
DATE FILED: April 22, 2024
DISTRICT: Fair Park Historic District
MAPSCO: 46-K, 46-L, 46-P, 46-Q, 46-R,
46-U
CENSUS TRACT: 0203.00

APPLICANT: ALSTON, NORMAN**REPRESENTATIVE:** N/A**OWNER:** DALLAS CITY OF**REQUEST:**

A Certificate of Appropriateness to apply a customized color scheme/pallet to proposed new outdoor carousel (in the west, side yard of the Children's Aquarium).

BACKGROUND / HISTORY:

Sited in the Civic Center Subdistrict of Fair Park, the aquarium building (initially known as the Dallas Aquarium at Fair Pak) was designed by Fooshee and Cheek, Hal Thompson and Flint & Broad. Hence, the building has always functioned as a museum dedicated to the "*zoological life of the world's oceans, rivers, and lakes.*" The main building is contributing to the Fair Park Historic District, both the national and the local districts. The proposed marine animal themed carousel will be installed in the open space between the main building and the accessory building (i.e., the Aquarium Annex). Moreover, this permanent amusement will have frontage on 1st Avenue, along Leonhardt Lagoon.

Previous applications for Certificates of Appropriateness (CA) filed for this property that are pertinent to this CA include:

Case Number	Review Type	Date	Owner	Decision
CA234-252(RD)	Standard	4/1/2024	DALLAS CITY OF	

Install new outdoor carousel in west, side yard of main building. <u>Condition(s)</u> : that final colors, finishes and amusement signage must be submitted for Landmark Commission review prior to commencement of work.	Approved w/ Conditions
--	---------------------------

RELEVANT PRESERVATION CRITERIA:

Fair Park Historic District (H-33), Ordinance No. 27079

SEC. 5. REHABILITATION ZONE

5.2 Civic Center Subdistrict.

b. Preservation criteria.

5. The Lagoon.

D. Amusements, temporary exhibits, and other activities around the Lagoon are encouraged, if compatible with the historic character of the subdistrict.

F. A minimum of 50 feet of open space must be maintained between buildings fronting the Lagoon.

RELEVANT SECRETARY OF THE INTERIOR'S STANDARDS FOR THE TREATMENT OF HISTORIC PROPERTIES:

Standards for Rehabilitation

9. *New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.*

10. *New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.*

RELEVANT DALLAS CITY CODE:

Section 51A-4.501. Historic Overlay District

(g) Certificate of Appropriateness.

(6) Standard certificate of appropriateness review procedure.

(C) Standard for approval. The landmark commission must grant the application if it determines that:

(i) for contributing structures:

(aa) *the proposed work is consistent with the regulations*

- contained in this section and the preservation criteria contained in the historic overlay district ordinance.*
- (bb) the proposed work will not have an adverse effect on the architectural features of the structure.*
 - (cc) the proposed work will not have an adverse effect on the historic overlay district; and*
 - (dd) the proposed work will not have an adverse effect on the future preservation, maintenance and use of the structure or the historic overlay district.*

PROJECT DESCRIPTION & ANALYSIS:

Paint a new outdoor carousel (in the west, side yard of the Children's Aquarium).

The applicant is proposing to have the manufacturer of the carousel apply a custom paint scheme/palette to the planned, permanent amusement ride in the west (i.e., left), side yard of the Children's Aquarium at Fair Park. The intent is for the proposed carousel to operate on a daily basis; weather permitting. Sited at the intersection of 1st Avenue and Martin Luther King Jr. Boulevard -- in the northeast quadrant -- the main building is contributing to the Fair Park Historic District, both at the national and local levels. With respect to the Fair Park ordinance, the building is in the Rehabilitation Zone, Civic Center Subdistrict.

According to the Fair Park ordinance, *amusements, temporary exhibits, and other activities around the Lagoon are encouraged, if compatible with the historic character of the subdistrict.* Since the building was originally constructed as an aquarium (across from the lagoon), for the 1936 Texas Centennial Exposition, the museum's choice to purchase and install a marine animal themed carousel is in keeping with the bucolic/zoological nature of the subdistrict. Staff has expressed concern regarding the potential quality of the ride (it will be ordered sight unseen from a manufacturer in China), and the contemporary design of the "sea animals". Moreover, staff has brought to the applicant's attention the fact that the specifications provided, indicate the carousel is meant to be used indoors; not outside as planned by the aquarium.

With respect to the Landmark Commission's concerns regarding color, the applicant has submitted a muted color palette complementary to the Art Deco style, predominant in the district. (See attached Certificate of Appropriateness application for details.) However, amusement signage is not addressed in this application -- a condition of the prior Certificate of Appropriateness. Furthermore, staff recommends that an automotive grade clear coat sealant or finish, specifically made for fiberglass-reinforced polymer (FRP) be utilized to protect the ride.

As a final consideration, overall, the proposed work will not have an adverse effect on: the architectural features of the structure; the historic overlay district; or the future preservation, maintenance and use of the structure or the historic overlay district.

STAFF RECOMMENDATION:

That the request for a Certificate of Appropriateness to apply a customized color scheme/pallet to proposed new outdoor carousel (in the west, side yard of the Children's Aquarium) be approved in accordance with drawings and specifications dated 5/2/2024 with the following condition: that an automotive grade clear coat finish be applied to protect paint. Implementation of the recommended condition would allow the proposed work to be consistent with preservation criterion Section 5.2(b)(5)(D) pertaining to the Lagoon; the standards in City Code Section 51A-4.501(g)(6)(C)(i) for contributing structures; and the Secretary of the Interior's Guidelines for Setting (District/Neighborhood).

TASK FORCE RECOMMENDATION(S):

That the request for a Certificate of Appropriateness to apply a customized color scheme/pallet to proposed new outdoor carousel (in the west, side yard of the Children's Aquarium) be approved with the following comments/conditions:

1. Revised color scheme is approved.
2. Submit manufacturer's warranty for outdoor use.
3. Submit part replacement information from manufacturer.

SITE MAP

1462 1st Avenue

Basemap Source: Google Earth



Subject property: The small red balloon demarcates the Dallas Children's Aquarium. The purple shading indicates Fair Park Historic District coverage.

CURRENT PHOTOS

1462 1st Avenue



Subject Property: Front façade, southwest elevation, at intersection of 1st Avenue and Martin Luther King, Jr. Blvd. Source: Google Maps Streetview.



Close up: Depicts open space where proposed carousel will be installed, on 1st Avenue (between Children's Aquarium – right of photo and Aquarium Annex – left of photo). Source: Google Maps Streetview.

CONTEXT PHOTOS
1462 1st Avenue



Subject Property: West side yard, facing northwest on 1st Avenue (the lagoon is to the left of the photo). Source: Google Maps Streetview.



Close up: Facing northwest on 1st Avenue (the lagoon is to the left of the photo). Source: Google Maps Streetview.

ATTACHMENTS:

- **Task Force Recommendation Form**
- **Certificate of Appropriateness Application**

TASK FORCE RECOMMENDATION REPORT

FAIR PARK

DATE: 5/08/2024
TIME: 11:00 am
MEETING PLACE: 2922 Swiss Ave, Wilson House

Applicant Name: Norman Alston

Address: 1462 1st Ave – Children's Aquarium

CA/CD/CR Request: 04/22/2024

RECOMMENDATION:

☐ Approve ☒ Approve with conditions ☐ Deny ☐ Deny without prejudice

Recommendation / comments / basis:

1. Revised color scheme is approved.
2. Submit manufacturer warranty for outdoor use.
3. Submit part replacement information from manufacturer.

Task force members present

<input checked="" type="checkbox"/> Ann Piper	<input checked="" type="checkbox"/> David Chase	<input checked="" type="checkbox"/> Nancy McCoy
<input checked="" type="checkbox"/> Jason Hays	<input checked="" type="checkbox"/> Dee Ann Hirsch	<input checked="" type="checkbox"/> Julia Rapport
<input type="checkbox"/> Brian Luallen	<input checked="" type="checkbox"/> Gary Skotnicki	<input type="checkbox"/> Matt Wood

Ex Officio staff members Present ☒ Rhonda Dunn, Ph.D.

Simply Majority Quorum: ☒ yes ☐ no (five makes a quorum)

Maker: NM

2nd: AP

Task Force members in favor: All

Task Force members opposed: None

Basis for opposition:

CHAIR, Task Force

DATE: 05/08/2024

The task force recommendation will be reviewed by the landmark commission in the City Council chamber, Room 6ES, starting at 10:00 with a staff briefing.

The Landmark Commission public hearing begins at 1:00 pm in Room 6ES, the Council Chamber, which allows the applicant and citizens to provide public comment(s).

CA234-336(RD)

D1-10

Certificate of Appropriateness (CA)

City of Dallas Landmark Commission

CA _____ - _____ ()

OFFICE USE ONLY

Name of Applicant: _____
Mailing Address: _____
City, State and Zip Code: _____
Daytime Phone: _____ Alternate Phone: _____
Relationship of Applicant to Owner : _____

OFFICE USE ONLY

Main Structure:

☐ Contributing
☐ Non-contributing

PROPERTY ADDRESS: _____
Historic District: _____

PROPOSED WORK:

List all proposed work simply and accurately, use extra sheet if needed. Attach all documentation specified in the submittal criteria checklist for type of work proposed. **DO NOT** write "see attached."

EMAIL ADDRESS:

Signature of Applicant: _____ Date: _____

Signature of Owner: _____ Date: _____
(IF NOT APPLICANT)

APPLICATION DEADLINE:

Application material must be **completed and submitted by the FOURTH MONDAY OF EACH MONTH BY 12:00 NOON**, (see **official calendar for exceptions**), before the Dallas Landmark Commission can consider the approval of any change affecting the exterior of any building. **Provide this form along with applicable fees, and any supporting documentation must be filed with a Preservation Planner at City Hall, 1500 Marilla 5BN, Dallas, Texas, 75201. You may submit by email to Historicpreservation@dallas.gov** Please write your address and district in the email subject line.

Please use the enclosed criteria checklist as a guide to complete the application. Incomplete applications cannot be reviewed and will be returned to you for more information. You are encouraged to contact a Preservation Planner to ensure your application is complete. Click on the following link to the City of Dallas website for contact information:

<https://dallascityhall.com/departments/sustainabledevelopment/historicpreservation/Pages/Contacts.aspx>

OTHER:

In the event of a denial, you have the right to an appeal within 30 days after the Landmark Commission's decision. You are encouraged to attend the Landmark Commission hearing the first Monday of each month at 1:00 pm in Council Chambers of City Hall (**see exceptions**). Information regarding the history of past certificates of appropriateness for individual addresses is available for review in 5BN of City Hall.

Certificate of Appropriateness (CA)

City of Dallas Landmark Commission

Application Fee Schedule

Chapter 51A Dallas Development Code: Ordinance No. 19455, as amended Subsection aa: Fees for Landmark Commission Applications.

1. An application will not be processed until the fee has been paid.
2. The applicant shall pay the filing fee to the building official. The building official shall deposit fees received in the official city depository not later than the next business day following receipt of the fees.
3. The city controller shall refund 75 percent of the filing fee to the applicant if the applicant withdraws the application prior to the case being advertised for hearing. After the case is advertised, no refund of the filing fee may be made. Please contact a Preservation Planner for refund request inquiries.
4. Fee Schedule.

Type of Application	Application Fee	Office Use Only – Payment Received
Certificate of appropriateness for new construction	\$500	Date: Receipt No.
Certificate of appropriateness/certificate of demolition or removal for unauthorized work *	\$600	Date: Receipt No.

***For unauthorized work – new construction only -For all other see Certificate for Demolition and Removal application.**

5. The applicant shall pay a single filing fee for each certificate of appropriateness of certificate of demolition or removal for unauthorized work.
6. Make checks Payable to City of Dallas – note OHP application type in memo of check. Mail or bring to Dallas City Hall, 1500 Marilla Street, Room 5BN, Dallas, Texas 75201. The District Planner will provide payment options and instructions.
7. The landmark commission may waive the filing fee if the landmark commission finds that payment of the fee would result in substantial financial hardship be placed on the landmark commission's miscellaneous docket for predetermination. If the issue is placed on the miscellaneous docket, the applicant may not file the application until the merits of the request for waiver have been determined by the landmark commission. In making this determination, the landmark commission may require the production of financial documents.

Please review the enclosed Review and Action Form

Memorandum to the Building Official, a Certificate of Appropriateness has been:

<input type="checkbox"/>	APPROVED. Please release the building permit.
<input type="checkbox"/>	APPLICANT REQUEST FOR WITHDRAWAL, 75% REFUND APPROVED: DATE
<input type="checkbox"/>	APPLICANT REQUEST FOR WITHDRAWAL WITHOUT REFUND: DATE
<input type="checkbox"/>	APPROVED WITH CONDITIONS. Please release the building permit in accordance with any conditions.
<input type="checkbox"/>	DENIED. Please do not release the building permit or allow work.
<input type="checkbox"/>	DENIED WITHOUT PREJUDICE. Please do not release the building permit or allow work.

Signed drawings and/or specifications are enclosed ___Yes

**APPLICATIONS FOR NEW CONSTRUCTION AND MAJOR
REMODELS MUST BE REVIEWED WITH A PRESERVATION
PLANNER PRIOR TO THE SUBMITTAL DATE**

- Contact a Preservation Planner in advance of the deadline to discuss your application and fee requirements. Planner contact by district can be found on the city website: <https://dallascityhall.com/departments/sustainabledevelopment/historicpreservation/Pages/Contacts.aspx>
- Submit items on the checklist WITH your application. Incomplete applications are not accepted.
- All applications and plans may be submitted via email (preferred) Historicpreservation@dallas.gov – please include your address and district in the subject line.
- Fees must be paid at the time of application.
- Submit scaled and fully dimensioned drawings in size 11"x17" (preferable) or larger. Large plans should be folded, not rolled.
- Submit digital copies of images, photographs, and plans. Contact staff if your file(s) are over 10 MB.
- Review the FAQ on our website for more details. You can find us by visiting dallascityhall.com and searching for "historic preservation."

DO NOT

- Do not write "match existing" on your application or plans without providing more detail. Exact specifications and details must be submitted for every request, even if you believe it to be Routine Maintenance.
- Do not submit an application cover without the required supporting documents.
- Do not list work on your plans that is not listed on the application cover. Your proposed work on the cover should include a complete list of all work to be done.

**APPLICATIONS RECEIVED AFTER 12:00 PM
ON THE SUBMITTAL DEADLINE OR
APPLICATIONS THAT ARE INCOMPLETE
WILL NOT BE ADDED TO THE LANDMARK
AGENDA**

SUBMITTAL CRITERIA CHECKLIST
(Customer use only, do not submit)

The documentation listed below must be submitted with the application for a Certificate of Appropriateness. Incomplete applications will not be docketed for consideration by the Landmark Commission. Please refer to the preservation criteria in the historic district ordinance or contact a City Preservation Planner for further information.

ALL APPLICATIONS

- ☐ Images of front façade of the structure and all sides where work is proposed.

REMODELING, ADDITIONS, AND NEW CONSTRUCTION

- ☐ Applications for new construction and major remodels must be reviewed by the respective Staff member for the district prior to the submittal deadline.
- ☐ Scaled and dimensioned elevation and plan drawings (see Note 1) indicating proposed alterations or additions, clearly indicating the existing building and what is proposed and including the relationship to adjacent structures (see Note 2).
- ☐ Site plan showing: 1) dimensions of lot, 2) location and dimensions of the structure and addition (if applicable), and 3) location of all exterior, ground and roof mounted equipment.
- ☐ Official site survey.
- ☐ Specifications/cut-sheets/images for all proposed exterior materials including siding, doors, windows, lighting, and roof shingles. (See Note 3).
- ☐ Paint chips or specifications (brand, color name) and placement on the structure.
- ☐ New Construction Form required for proposed main and accessory structures.

Note: All submitted information should also be emailed as a PDF to the respective Staff contact. Do not send large files (over 10 MB) without contacting staff first.

WINDOWS AND DOORS

REPAIR ONLY

- ☐ Images of window(s)/door(s) that illustrate existing condition.
- ☐ Detailed description of repair work needed.

REPLACEMENT

- ☐ Window survey – contact respective Staff member for survey form.
- ☐ Images of window(s)/door(s) that illustrate existing condition
- ☐ Specification/cut-sheet/image for proposed replacement window(s)/door(s).

PAINTING, STUCCO, REPOINTING

☐

Image of front façade of house and all areas/facades where painting, stucco, or repointing is proposed.

☐

Paint chips or specifications (brand, color name and number) with proposed location on structure indicated (body, trim, accent).

☐

If applicable, specifications including color, lime content ratio, cement content ratio, aggregate color, aggregate content ratio, and joint tooling.

SIDING, TRIM, AND SKIRTING REPAIR OR REPLACEMENT

☐

Image(s) of all facades where work is proposed, including detail images that illustrate existing conditions.

☐

Percentage estimate of how much material is proposed for replacement (i.e. 15%, less than 20%, etc)

☐

Specifications for replacement siding, trim, or skirting material.

FOUNDATION REPAIR

☐

Image of structure indicating existing skirting.

☐

Engineer's report including structural drawing and detail of proposed work.

ROOFING

☐

Image of existing roof shingle indicating existing material and color.

☐

Shingle specifications (material, brand, color name).

GUTTERS

☐

Specifications/cut-sheets/images for proposed gutters/downspouts.

☐

Site plan showing where on structure gutters/downspouts are proposed.

FENCES, HARDSCAPING, AND LANDSCAPING

☐

Site plan showing proposed location of fence, hardscaping, landscaping.

☐

Photographs of the area(s) where work is proposed.

☐

Fences - image of proposed fence with description (material, height).

☐

Hardscaping – description of materials proposed and images if something other than broom finish concrete.

☐

Landscaping – plant species and images.

Note: Seasonal planting in existing landscaping beds that does not include new shrubs or trees does not require a Certificate of Appropriateness.

RELOCATION OF A STRUCTURE

- | | |
|--------------------------|--|
| <input type="checkbox"/> | Photograph of structure on current site. |
| <input type="checkbox"/> | Reason for request to move building. |
| <input type="checkbox"/> | Dimensioned site plan to scale (see Note 1) showing proposed building on new site and adjacent building scale (see Note 2). |
| <input type="checkbox"/> | Elevation showing height and width relationship of structure on new site to adjacent properties and those across the street. |
| <input type="checkbox"/> | Images of structures within vicinity of new site. |

SIGNS

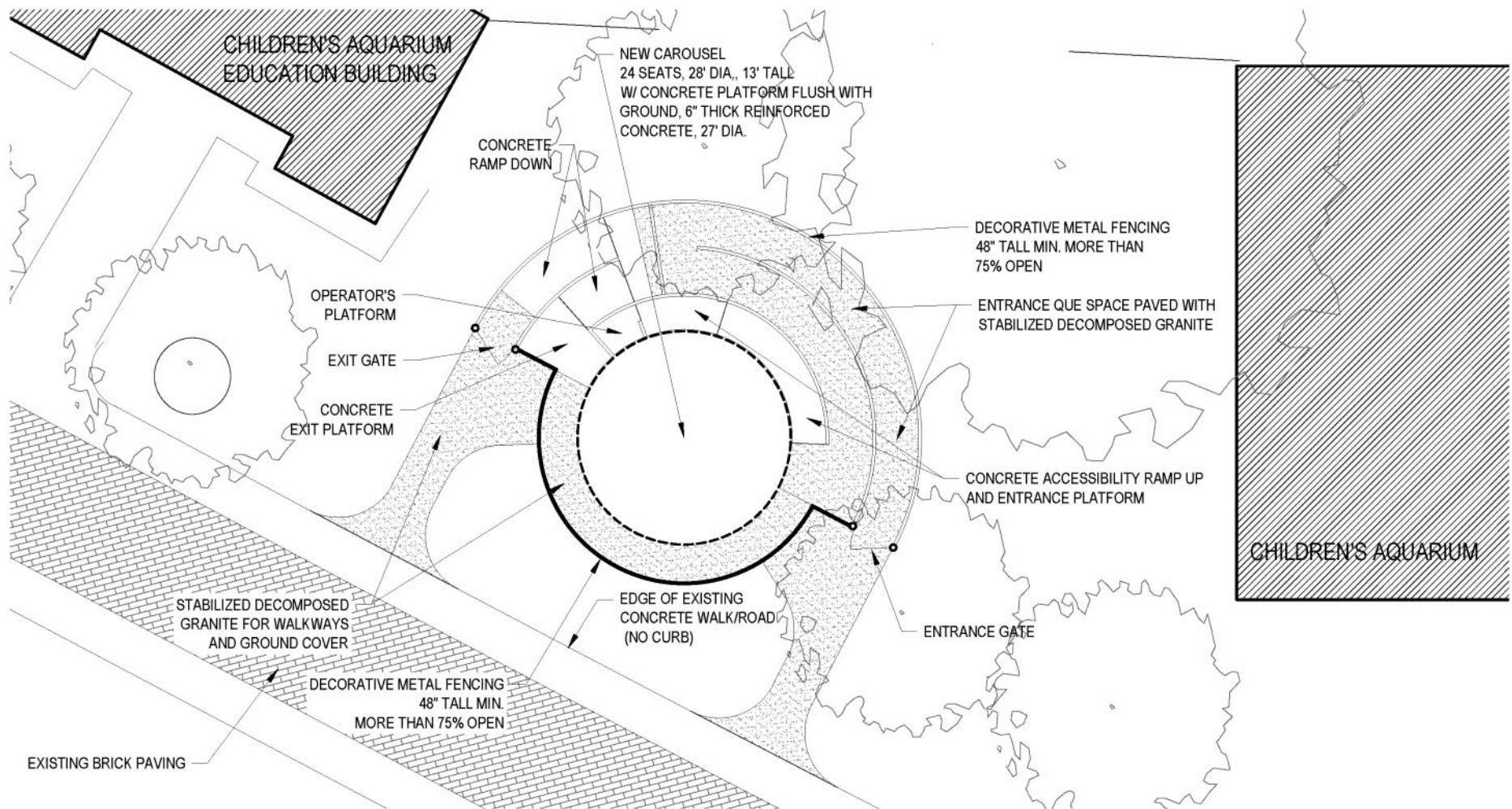
- | | |
|--------------------------|---|
| <input type="checkbox"/> | Sign location indicated (i.e. elevation drawing, photograph showing proposed location marked, rendering, or site plan). |
| <input type="checkbox"/> | Image and specifications for proposed sign |

DEMOLITION

Any demolition of a main or accessory structure within an historic district requires a Certificate for Demolition, which is a different application. Please contact Staff for the Certificate of Demolition application or visit our website to download the application.

GENERAL NOTES:

- | | |
|---------|---|
| Note 1: | Minimum scale of $1/8" = 1'0"$ on all plans and elevations, unless otherwise approved by a Preservation Planner. Minimum size for all plans is 11"X17". Section details of new cornices, columns, railings or any other distinctive details are required at $1/2" = 1'$. |
| Note 2: | When required to show the relationship to adjacent structures and structure is on a corner, "adjacent" means across the street. |
| Note 3: | When material descriptions are required, materials to be used must be designated on the elevation drawings. |



DALLAS CHILDRENS' AQUARIUM
 CAROUSEL ADDITION
 FAIR PARK NATIONAL HISTORIC LANDMARK

March 7, 2024

SITE PLAN

DALLAS CHILDRENS AQUARIUM—FAIR PARK
 SITE PLAN—FOR REFERENCE PURPOSES
 Previously approved



The previously submitted carousel, shown above, is no longer available. The image on the right is the newly designed, designated replacement by the same manufacturer, which the applicant feels is a much more attractive design anyway. It is still colorful, but the colors are darker and richer.



DALLAS CHILDRENS AQUARIUM—FAIR PARK
 Beston "Ocean" Carousel
 28 Feet Dia., 14 Feet Tall

Notes:

1. Further research has revealed that brass or metallic gold are commonly considered appropriate for many details on carousel designs from the early years of the 20th Century. The diagram at the right shows where we propose expand the use of the metallic gold color (matching the current color of the poles) to details of the carousel.
2. Research has also suggested that period carousels made fairly widespread use of beige as a base color. We feel this is beneficial for this carousel because it is reflective of the primary colors on all of our historic, Art Deco buildings at Fair Park. As illustrated to the right, we propose to repaint important field areas in this color.
3. Lights will all be warm white, consistent with the use of incandescent bulbs common in the 1930's and before.



FIELD COLOR IN
THIS AREA

FIELD COLOR IN
THIS AREA

- TRIM AT BOTTOM
- AROUND LIGHTS
- AT BASE OF COLUMNS

FIELD COLOR AT:

- CEILING PANELS
- CENTER COLUMN



DALLAS CHILDRENS AQUARIUM
FAIR PARK



DALLAS CHILDRENS AQUARIUM—FAIR PARK
PROPOSED COLOR MODIFICATIONS



DALLAS CHILDRENS AQUARIUM—FAIR PARK

Inspiration Images from other Carousels



LANDMARK COMMISSION

June 3, 2024

FILE NUMBER: CA234-345(CM)
LOCATION: 707 Nesbitt Dr
STRUCTURE: Contributing
COUNCIL DISTRICT: 14
ZONING: PD 397

PLANNER: Christina Mankowski
DATE FILED: May 2, 2024
DISTRICT: Junius Heights H-128
MAPSCO: 36-Y
CENSUS TRACT: 0014.00

APPLICANT: Agape Home Services

REPRESENTATIVE: N/A

OWNER: Erin & Paul Messel

REQUEST:

A Certificate of Appropriateness to remove existing 48"x36" louvered attic vent and replace with a new 48"x36" Ply Gem Select Series Sand Vinyl Left-Hand Sliding Window with HPSC Glass.

BACKGROUND / HISTORY:

N/A

PROJECT DESCRIPTION:

The proposed work consists of removing an existing 48"x36" louvered attic vent and replacing it with a new 48"x36" Ply Gem Select Series Sand Vinyl Left-Hand Sliding Window with HPSC Glass.

ANALYSIS:

The proposed work is inconsistent with preservation criteria and will have an adverse effect on the historic characteristics of the district.

STAFF RECOMMENDATION:

That the request for a Certificate of Appropriateness to remove existing 48"x36" louvered attic vent and replace with a new 48"x36" Ply Gem Select Series Sand Vinyl Left-Hand Sliding Window with HPSC Glass be denied without prejudice. The proposed work is inconsistent with preservation criteria Section 5 pertaining to Fenestration and Openings; the standards in City Code Section 51A-4.501(g)(6)(C)(i) for contributing structures; and the Secretary of the Interior's Standards for Rehabilitation.

TASK FORCE RECOMMENDATION:

That the request for a Certificate of Appropriateness to remove existing 48"x36" louvered attic vent and replace with a new 48"x36" Ply Gem Select Series Sand Vinyl Left-Hand Sliding Window with HPSC Glass be denied without prejudice per Sections 5.1 and 5.3 of the Junius Heights Ordinance.

LOCATION MAP

707 Nesbitt Dr

Google Maps

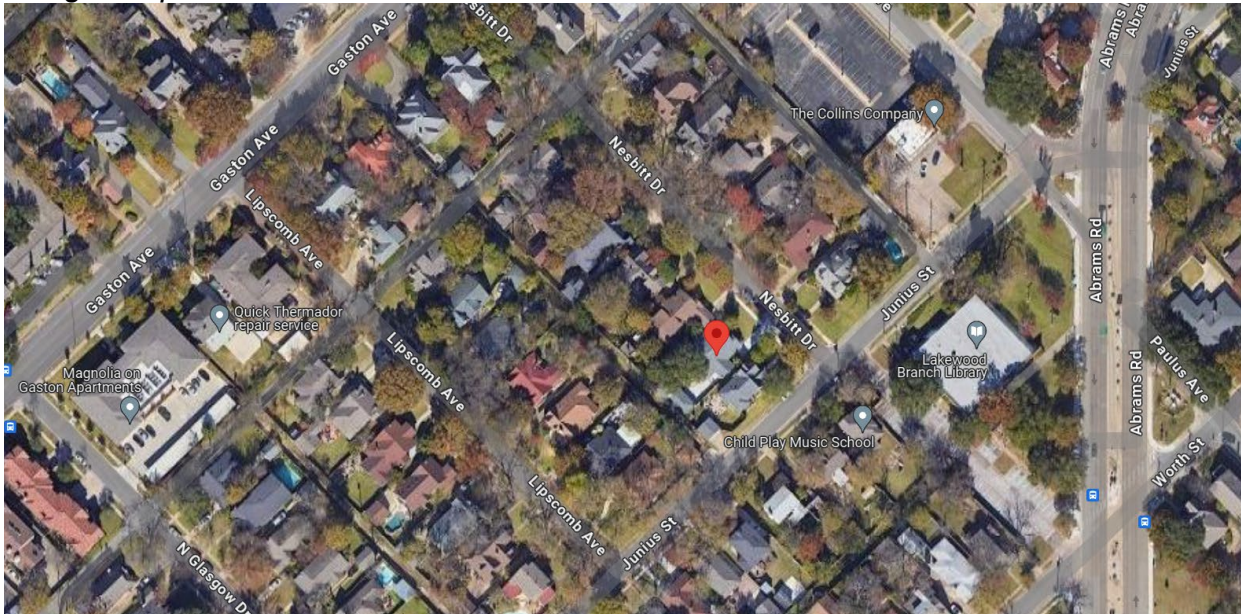


Figure 1 – Aerial View of the property.

CURRENT PHOTOS – located in application.

**TASK FORCE
RECOMMENDATION(S)**

TASK FORCE RECOMMENDATION REPORT

Junius Heights

DATE: 5/9/2024

TIME: 5:30 pm

MEETING PLACE: Hybrid Virtual/2922 Swiss Ave

Applicant Name: Leslie Nepveux

Address: ~~718 Glendale St.~~

707 Herbert Dr.

Date of CA/CD/CR Request:

RECOMMENDATION:

☐ Approve ☐ Approve with conditions ☐ Deny ☒ Deny without prejudice

Recommendation / comments/ basis:

Deny without Prej. per. 5.1, 5.3 May / Vann
707 Herbert Dr.

Task force members present

☒ Rene Schmidt (Chair)

☐ Eric Graham

☒ Mary Mesh

☒ Aaron Trecartin

☐ Jen Szklarski

☒ Vanessa Mcelroy

☒ Noel Averton

☒ Juliette Bouchard

Ex Officio staff members present: ☐ Christina Mankowski

Simply Majority Quorum: ☒ yes ☐ no (four makes a quorum)

Maker:

2nd:

Task Force members in favor:

Task Force members opposed:

Basis for opposition:

CHAIR, Task Force

DATE

The task force recommendation will be reviewed by the Landmark Commission on Monday, June 3, 2024.

The Landmark Commission public hearing begins at 1:00 P.M. via videoconference, which allows the applicant and citizens to provide public comment.

**APPLICATION FOR
CERTIFICATE OF APPROPRIATENESS**

Certificate of Appropriateness (CA)

City of Dallas Landmark Commission

CA _____ - _____ ()

OFFICE USE ONLY

Name of Applicant: Agape Home Services (Delaina Jones PM)

Mailing Address: 3207 Skylane Drive Suite 105

City, State and Zip Code: Carrollton TX 75006

Daytime Phone: 469-208-1408 Alternate Phone: 972-537-6054

Relationship of Applicant to Owner : Contractor

OFFICE USE ONLY

Main Structure:

☐

Contributing

☐

Non-contributing

PROPERTY ADDRESS: 707 Nesbitt Dr Dallas, TX 75214

Historic District: Junius Heights Historic District

PROPOSED WORK:

List all proposed work simply and accurately, use extra sheet if needed. Attach all documentation specified in the submittal criteria checklist for type of work proposed. **DO NOT write "see attached."**

Removal of (1) existing 48" X 36" louvered attic vent window on north elevation of gabled roof. Installation of (1) new 48" X 36"

Ply Gem 47.5 in. x 35.5 in. Select Series Sand Vinyl Left-Hand Sliding Window with HPSC Glass, Screen Included with

matching flat mold painted in Sherwin Williams SW7006 Extra White exterior trim paint.

EMAIL ADDRESS: delaina@agapehomeservices.com

Signature of Applicant: Delaina Jones

Delaina Jones (Apr 13, 2024 16:34 CDT)

Date: 4/15/24

Signature of Owner: Erin Messel

Erin Messel (Apr 13, 2024 16:20 CDT)

Date: 13/04/24

(IF NOT APPLICANT)

APPLICATION DEADLINE:

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<input type="checkbox"/>	APPLICANT REQUEST FOR WITHDRAWAL WITHOUT REFUND: DATE
<input type="checkbox"/>	APPROVED WITH CONDITIONS. Please release the building permit in accordance with any conditions.
<input type="checkbox"/>	DENIED. Please do not release the building permit or allow work.
<input type="checkbox"/>	DENIED WITHOUT PREJUDICE. Please do not release the building permit or allow work.

Signed drawings and/or specifications are enclosed ____ Yes

**APPLICATIONS FOR NEW CONSTRUCTION AND MAJOR
REMODELS MUST BE REVIEWED WITH A PRESERVATION
PLANNER PRIOR TO THE SUBMITTAL DATE**

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AGENDA**

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(Customer use only, do not submit)

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ALL APPLICATIONS



Images of front façade of the structure and all sides where work is proposed.

REMODELING, ADDITIONS, AND NEW CONSTRUCTION



Applications for new construction and major remodels must be reviewed by the respective Staff member for the district prior to the submittal deadline.



Scaled and dimensioned elevation and plan drawings (see Note 1) indicating proposed alterations or additions, clearly indicating the existing building and what is proposed and including the relationship to adjacent structures (see Note 2).



Site plan showing: 1) dimensions of lot, 2) location and dimensions of the structure and addition (if applicable), and 3) location of all exterior, ground and roof mounted equipment.



Official site survey.



Specifications/cut-sheets/images for all proposed exterior materials including siding, doors, windows, lighting, and roof shingles. (See Note 3).



Paint chips or specifications (brand, color name) and placement on the structure.



New Construction Form required for proposed main and accessory structures.

Note: All submitted information should also be emailed as a PDF to the respective Staff contact. Do not send large files (over 10 MB) without contacting staff first.

WINDOWS AND DOORS

REPAIR ONLY



Images of window(s)/door(s) that illustrate existing condition.



Detailed description of repair work needed.

REPLACEMENT



Window survey – contact respective Staff member for survey form.



Images of window(s)/door(s) that illustrate existing condition



Specification/cut-sheet/image for proposed replacement window(s)/door(s).

PAINTING, STUCCO, REPOINTING

☐

Image of front façade of house and all areas/facades where painting, stucco, or repointing is proposed.

☒

Paint chips or specifications (brand, color name and number) with proposed location on structure indicated (body, trim, accent).

☐

If applicable, specifications including color, lime content ratio, cement content ratio, aggregate color, aggregate content ratio, and joint tooling.

SIDING, TRIM, AND SKIRTING REPAIR OR REPLACEMENT

☐

Image(s) of all facades where work is proposed, including detail images that illustrate existing conditions.

☐

Percentage estimate of how much material is proposed for replacement (i.e. 15%, less than 20%, etc)

☐

Specifications for replacement siding, trim, or skirting material.

FOUNDATION REPAIR

☐

Image of structure indicating existing skirting.

☐

Engineer's report including structural drawing and detail of proposed work.

ROOFING

☐

Image of existing roof shingle indicating existing material and color.

☐

Shingle specifications (material, brand, color name).

GUTTERS

☐

Specifications/cut-sheets/images for proposed gutters/downspouts.

☐

Site plan showing where on structure gutters/downspouts are proposed.

FENCES, HARDSCAPING, AND LANDSCAPING

☐

Site plan showing proposed location of fence, hardscaping, landscaping.

☐

Photographs of the area(s) where work is proposed.

☐

Fences - image of proposed fence with description (material, height).

☐

Hardscaping – description of materials proposed and images if something other than broom finish concrete.

☐

Landscaping – plant species and images.

Note: Seasonal planting in existing landscaping beds that does not include new shrubs or trees does not require a Certificate of Appropriateness.

RELOCATION OF A STRUCTURE



Photograph of structure on current site.



Reason for request to move building.



Dimensioned site plan to scale (see Note 1) showing proposed building on new site and adjacent building scale (see Note 2).



Elevation showing height and width relationship of structure on new site to adjacent properties and those across the street.



Images of structures within vicinity of new site.

SIGNS



Sign location indicated (i.e. elevation drawing, photograph showing proposed location marked, rendering, or site plan).



Image and specifications for proposed sign

DEMOLITION

Any demolition of a main or accessory structure within an historic district requires a Certificate for Demolition, which is a different application. Please contact Staff for the Certificate of Demolition application or visit our website to download the application.

GENERAL NOTES:

- Note 1: Minimum scale of $1/8" = 1'0"$ on all plans and elevations, unless otherwise approved by a Preservation Planner. Minimum size for all plans is 11"X17". Section details of new cornices, columns, railings or any other distinctive details are required at $1/2" = 1'$.
- Note 2: When required to show the relationship to adjacent structures and structure is on a corner, "adjacent" means across the street.
- Note 3: When material descriptions are required, materials to be used must be designated on the elevation drawings.









Certificate of Appropriateness (CA)

Final Audit Report

2024-04-13

Created:	2024-04-13
By:	Delaina Jones (delaina@agapehomeservices.com)
Status:	Signed
Transaction ID:	CBJCHBCAABAAB1PdCIM_nVcuz6QfncOV3WrftGtM9S-g

"Certificate of Appropriateness (CA)" History

-  Document created by Delaina Jones (delaina@agapehomeservices.com)
2024-04-13 - 9:03:59 PM GMT- IP address: 76.183.193.147
-  Document emailed to Erin Messel (erinvmessel@gmail.com) for signature
2024-04-13 - 9:04:03 PM GMT
-  Email viewed by Erin Messel (erinvmessel@gmail.com)
2024-04-13 - 9:19:37 PM GMT- IP address: 104.28.97.19
-  Document e-signed by Erin Messel (erinvmessel@gmail.com)
Signature Date: 2024-04-13 - 9:20:12 PM GMT - Time Source: server- IP address: 35.146.116.57
-  Document emailed to Delaina Jones (delaina@agapehomeservices.com) for signature
2024-04-13 - 9:20:14 PM GMT
-  Email viewed by Delaina Jones (delaina@agapehomeservices.com)
2024-04-13 - 9:34:24 PM GMT- IP address: 76.183.193.147
-  Document e-signed by Delaina Jones (delaina@agapehomeservices.com)
Signature Date: 2024-04-13 - 9:34:50 PM GMT - Time Source: server- IP address: 76.183.193.147
-  Agreement completed.
2024-04-13 - 9:34:50 PM GMT



3207 Skylane Drive Suite #105 Carrollton TX 75006



Paul & Erin Messel
707 Nesbitt Dr.
Dallas, TX. 75214

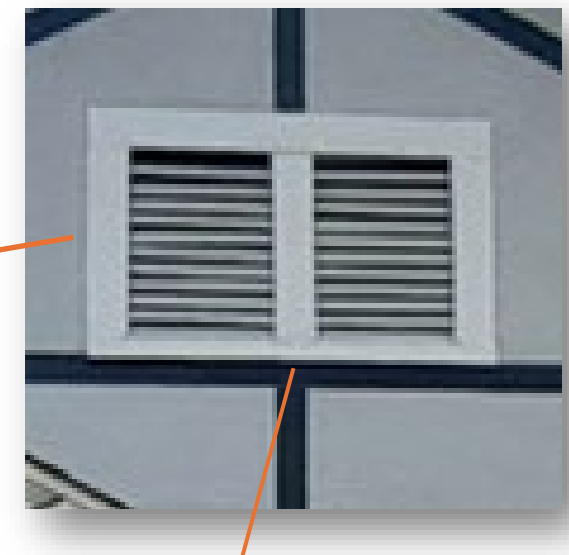
Phone # 206-856-5982
E-Mail: Erinvmessel@gmail.com

Junius Heights Historic District

707 Nesbitt Drive Dallas TX 75214



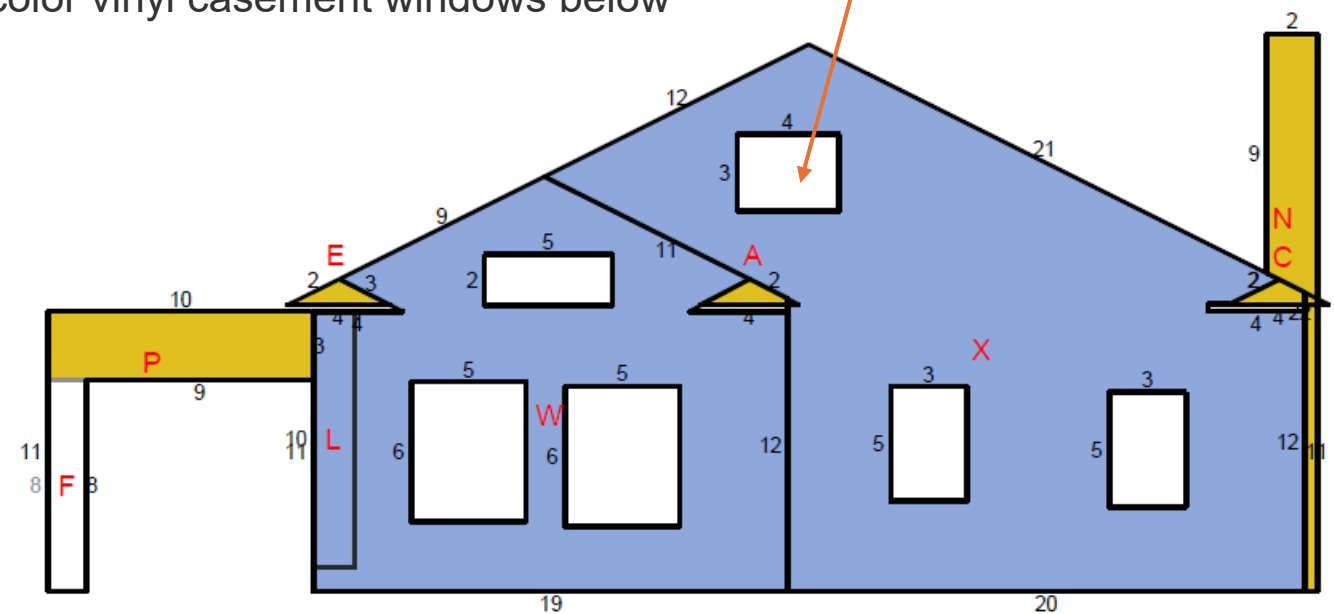




Proposed louvered attic vent replacement
Existing opening 48" X 36"
New opening 48" X 36"

North Elevation Diagram

New window will match sand color vinyl casement windows below



Specifications

Dimensions: H 35.5 in, W 47.5 in, D 3.438 in

Dimensions			
Grid Width (in.)	None	Jamb Depth (in.)	3.438 in
Product Depth (in.)	3.438 in	Product Height (in.)	35.5 in
Product Width (in.)	47.5 in	Rough Opening Height (in.)	36 in
Rough Opening Width (in.)	48 in	Width (in.) x Height (in.)	47.5 x 35.5



EXTERIOR



INTERIOR

Exterior Color/ Finish	Sand	Exterior Color/Finish Family	Tan
Features	Argon Gas Filled, Insect Screen, Integrated Nail Fin	Frame Material	Vinyl
Frame Type	Nail Fin	Glass Type	Low-E Glass
Glazing Type	Double-Pane	Grid Pattern	No Grid
Grille Type	No Grille	Hardware Color/Finish Family	Tan
Included	Hardware, Screen	Interior Color/Finish Family	Tan
Lock Type	Standard Lock	Number of Grids	No Grid
Number of Locks	1	Product Weight (lb.)	44.3 lb
Returnable	90-Day	Solar Heat Gain Coefficient	.22
U-Factor	.30	Window Handing	Left-Handed
Window Type	Other	Window Use Type	New Construction, Replacement

Ply Gem
47.5 in. x 35.5 in. Select Series Sand Vinyl Left-Hand Sliding Window with HPSC Glass, Screen Included

New window will be trimmed with matching flat mold painted in Sherwin Williams SW7006 Extra White exterior trim paint

Additional window information can be found here:

https://www.homedepot.com/p/Ply-Gem-47-5-in-x-35-5-in-Select-Series-Sand-Vinyl-Left-Hand-Sliding-Window-with-HPSC-Glass-Screen-Included-48x36SELSL/321617441?g_store=&source=shoppingads&locale=en-US&pla&mtc=SHOPPING-BF-CDP-GGL-D30-030_022_WINDOWS-NA-NA-NA-PMAX-4061075-NA-NA-NA-NBR-NA-NA-NEW-NA&cm_mmc=SHOPPING-BF-CDP-GGL-D30-030_022_WINDOWS-NA-NA-NA-PMAX-4061075-NA-NA-NA-NBR-NA-NA-NEW-NA-71700000099286915--&gad_source=1&gclid=Cj0KCQjw2uiwBhCXARIsACMvIU0-W5Fdp07gKR8AEI7U1WN-ON6-lVUIl1lqMm-HO4rrERQ8aeA5QL4aAu_7EALw_wcB&gclsrc=aw.ds



SW 7006
Extra White



LANDMARK COMMISSION

JUNE 3, 2024

FILE NUMBER: CA234-339(MW)
LOCATION: 626 N. Marsalis Ave.
STRUCTURE: Contributing
COUNCIL DISTRICT: 1
ZONING: PD-468

PLANNER: Marcus Watson
DATE FILED: August 3, 2023
DISTRICT: Lake Cliff (H-84)
MAPSCO: 45-W
CENSUS TRACT: 0020.00

APPLICANT: Kennedy, Lisa

REPRESENTATIVE: N/A

OWNER: KENNEDY LISA

REQUEST(S):

A Certificate of Appropriateness to replace the retaining wall and fence at the front yard on the west property line and partially along the driveway (unauthorized removal).

STAFF RECOMMENDATION:

That the request for a Certificate of Appropriateness to replace the retaining wall and fence at the front yard on the west property line and partially along the driveway (unauthorized removal) be **approved** in accordance with drawings and materials dated 5/18/24 (both Options 1 and 2) **with the conditions** that the retaining wall be faced in either brick or field stone to match either the previous wall or other walls in the district with the final finish material to be approved by staff. Implementation of these recommended conditions would allow the proposed work to be consistent with preservation criteria Sections 3.6, 3.7, 3.9, 3.11(a), 3.14, and 3.15; the standards in City Code Section 51A-4.501(g)(6)(C)(i) for contributing structures; and the Secretary of the Interior's Guidelines for Setting (District/Neighborhood).

TASK FORCE RECOMMENDATION:

That the request for a Certificate of Appropriateness to replace the retaining wall and fence at the front yard on the west property line and partially along the driveway (unauthorized removal) be **denied without prejudice**. Property owner wants to rebuild old fence, but it would not meet zoning. Architect designed a wall to meet zoning, but concrete would not be good for the district. **(Note: Applicant made revisions in response to task force comments.)**

BACKGROUND / HISTORY:

626 N. Marsalis Ave. is a one-story bungalow contributing to the Lake Cliff Historic District. The front yard retaining wall, fence and gate, which were all leaning, fell over as a result of recent rains. The applicant now proposes to rebuild the wall and fence.

Previous applications for Certificates of Appropriateness (or Demolition) filed for this property that are pertinent to this CA include:

<u>CASE NUMBER</u>	<u>TYPE</u>	<u>DATE</u>	<u>OWNER</u>	<u>DECISION</u>
CA234-339(MW) Replace roof.	Standard	12/11/15	KENNEDY	Approved

ANALYSIS:

The front yard retaining wall, fence and gate, which were all leaning, fell over as a result of recent rains. The contractor hired to clean up the debris continued to remove other parts of the wall before contacting the historic preservation office. Officer McClendon was able visit the site and advise the owner to contact staff, which they did the same day.

The applicant enlisted the assistance of an architect, who happens to be on the task force and recused himself on the item at the meeting. She would prefer to rebuild the wall and fence essentially as it was with the following exceptions:

1. Addition of light fixtures for added security.
2. A slight repositioning of the post nearest the driveway to accommodate a wider car and turning radius.
3. Concrete finish instead of brick.

The architect brought up the possibility that the wall may have lost its nonconforming status and may not be allowed to be rebuilt to the same height. He, therefore, produced another option that would meet current development standards. Staff is recommending that both options be approved so that the final design can be determined based on discussion in permitting.

Staff is, however, recommending a condition that the finish material be either brick (or a half-brick) or a stone similar to the stone retaining walls found throughout the district and that the final finish material be approved by staff.

Retaining walls are not prohibited, or even limited, in Lake Cliff, which has several original walls. This property likely originally had a rolled lawn, but the previous wall had likely been there over 50 years. There is also significant oak tree in the small front yard that would benefit from the root protection the wall would provide. And, finally, front yard fences are allowed as long as they don't exceed 3'6" in height and are 50% open.

RELEVANT PRESERVATION CRITERIA:

Lake Cliff Historic District (H-84); Ordinance No. 23328, Sections 3.7, 3.9, 3.11(a), 3.14, and 3.15;

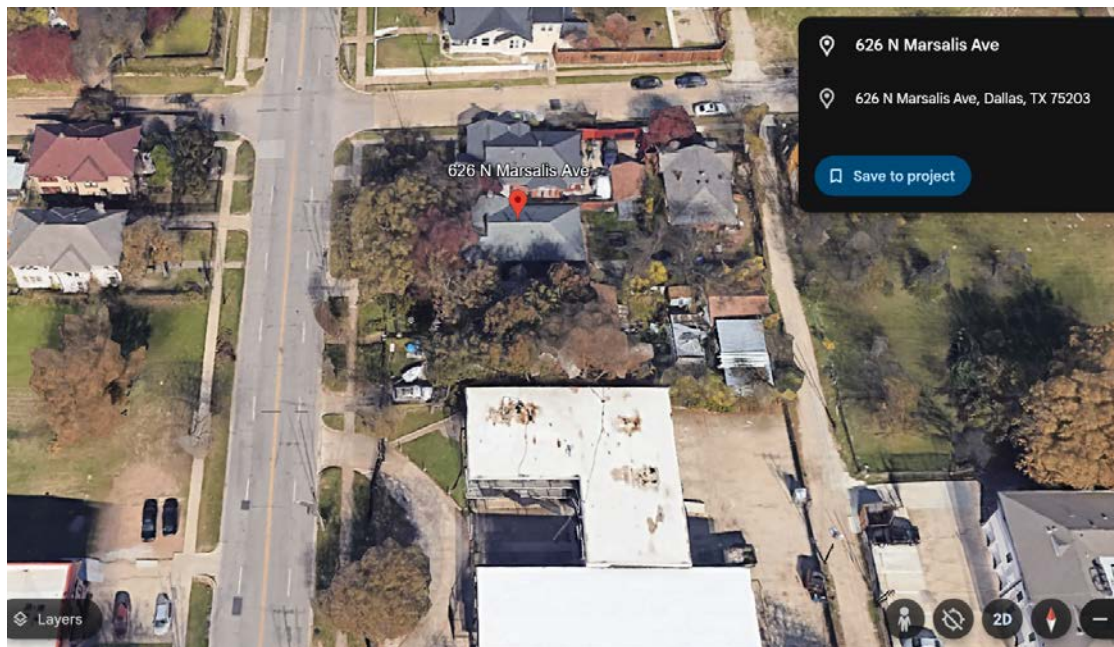
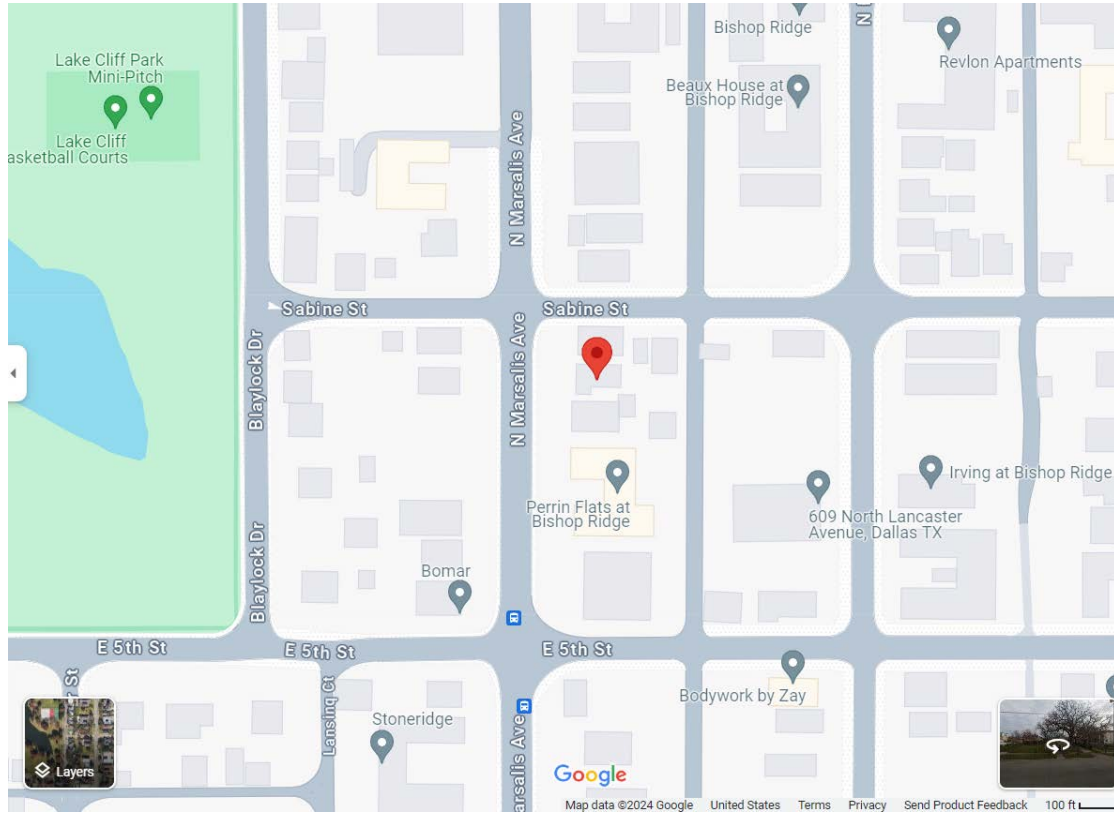
City Code Section 51A-4.501(g)(6)(C)(i) for contributing structures; and

Secretary of the Interior's Standards/Guidelines for Setting (District/Neighborhood)

LOCATION MAPS

626 N. Marsalis

Source: Google Earth



PHOTOS
626 N. Marsalis







ATTACHMENTS:

- **Task Force Recommendation Form**
- **Certificate of Appropriateness Application**

TASK FORCE RECOMMENDATION REPORT

Winnetka Heights and Lake Cliff Historic Districts

DATE: 5/8/2024
TIME: 4:00 p.m.
LOCATION: Hybrid Virtual/2922 Swiss Ave

Applicant Name: Kennedy, Lisa
Address: 626 N. Marsalis Ave.
Request Type: CA

Request: Replace front retaining wall and fence (unauthorized work).

Recommendation:

☐ Approve ☐ Approve with conditions ☒ Deny w/o prejudice ☐ Deny

Comments:

Property owner wants to rebuild old fence, but it would not meet zoning. Architect designed a wall to meet zoning, but concrete would not be good for the district.

Pena recused.

Task force members present:

<input checked="" type="checkbox"/> Christine Escobedo	<input type="checkbox"/> Alfred Pena (Vice-chair)
<input checked="" type="checkbox"/> Mia Ovcina	<input type="checkbox"/> Troy Sims
<input checked="" type="checkbox"/> Caitlin Parish	<input checked="" type="checkbox"/> Michelle Walker (Chair)

Ex Officio staff members present: ☒ Marcus Watson

Quorum: ☒ Yes ☐ No (four makes a quorum)

Maker: Ovcina 2nd: Walker
FOR: 4 AGAINST: 0
Basis for opposition:

Certificate of Appropriateness (CA)

City of Dallas Landmark Commission

CA _____ - _____ ()

OFFICE USE ONLY

Name of Applicant: Lisa KennedyMailing Address: 630 N Montclair AveCity, State and Zip Code: Dallas, TxDaytime Phone: 214 923-6463

Alternate Phone: _____

Relationship of Applicant to Owner: selfPROPERTY ADDRESS: 626 N Marsalis Ave Dallas TX 75203Historic District: Lake Cliff**OFFICE USE ONLY****Main Structure:**☐ Contributing☐ Non-contributing**PROPOSED WORK:**

List all proposed work simply and accurately, use extra sheet if needed. Attach all documentation specified in the submittal criteria checklist for type of work proposed. **DO NOT** write "see attached."

Front retaining wall repair. It was damaged, cause unknown (rains, vandalism, car hitting it?).

It is a safety issue bc the rest of the wall and iron fencing is at risk of falling now onto the sidewalk

It also is a liability issue. I don't want anyone to get hurt or anyone to be sued. Additionally, there is a 200 year oak tree that is close to the retaining wall and the roots are now exposed and the tree is at risk.

EMAIL ADDRESS: lisa_kennedy_21@yahoo.com

Signature of Applicant: _____

Date: 4-25-24

Signature of Owner: _____

Date: _____

(IF NOT APPLICANT)

APPLICATION DEADLINE:

Application material must be **completed and submitted by the FOURTH MONDAY OF EACH MONTH BY 12:00 NOON, (see official calendar for exceptions)**, before the Dallas Landmark Commission can consider the approval of any change affecting the exterior of any building. Provide this form along with applicable fees, and any supporting documentation must be filed with a Preservation Planner at City Hall, 1500 Marilla 5BN, Dallas, Texas, 75201. You may submit by email to Historicpreservation@dallas.gov Please write your address and district in the email subject line.

Please use the enclosed criteria checklist as a guide to complete the application. Incomplete applications cannot be reviewed and will be returned to you for more information. You are encouraged to contact a Preservation Planner to ensure your application is complete. Click on the following link to the City of Dallas website for contact information:


<https://dallascityhall.com/departments/sustainabledevelopment/historicpreservation/Pages/Contacts.aspx>

OTHER:

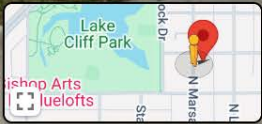
In the event of a denial, you have the right to an appeal within 30 days after the Landmark Commission's decision. You are encouraged to attend the Landmark Commission hearing the first Monday of each month at 1:00 pm in Council Chambers of City Hall (see exceptions). Information regarding the history of past certificates of appropriateness for individual addresses is available for review in 5BN of City Hall.

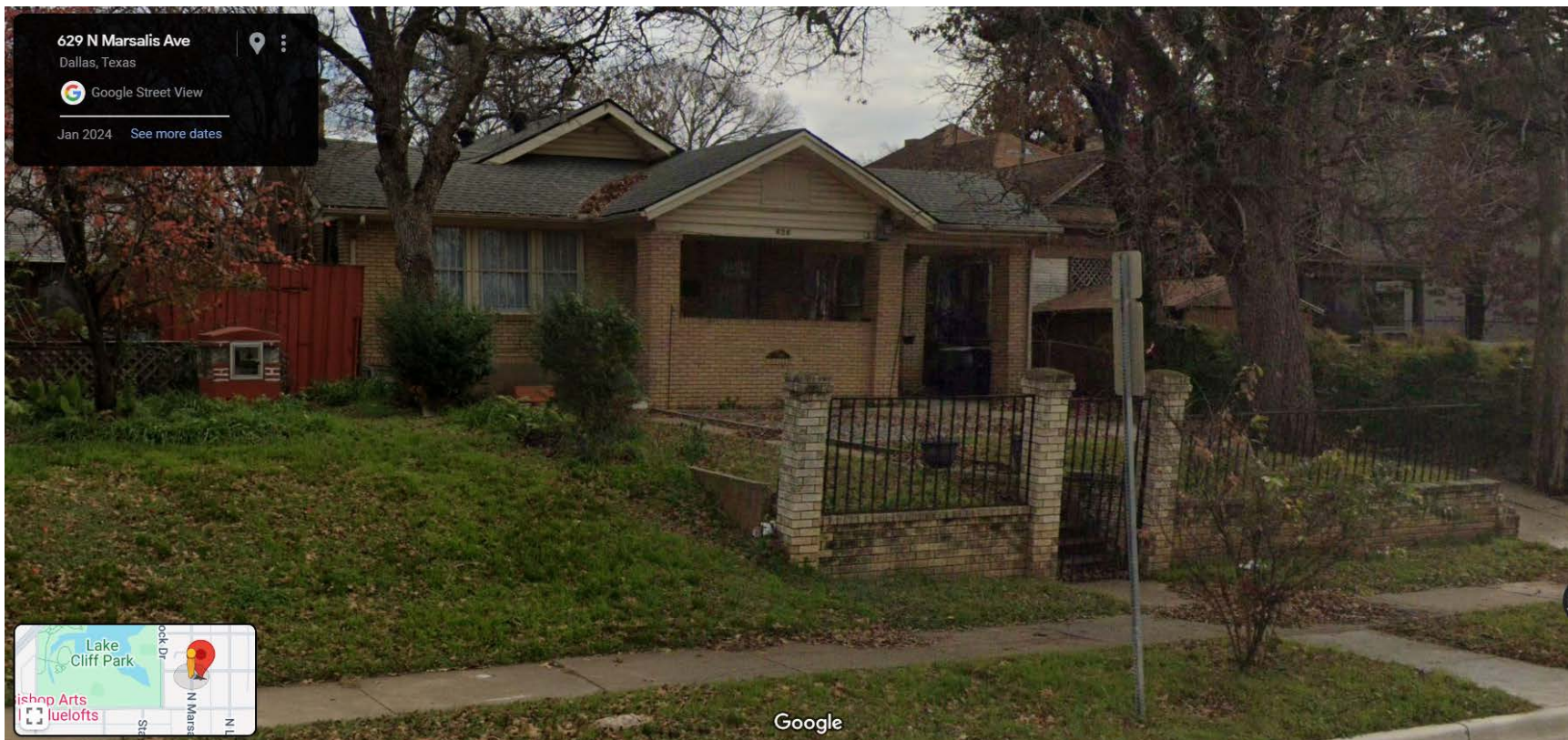


626 N Marsalis Ave
Dallas, Texas

 Google Street View

Jan 2024 [See more dates](#)





629 N Marsalis Ave

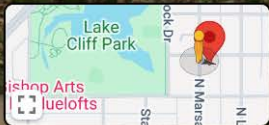
Dallas, Texas



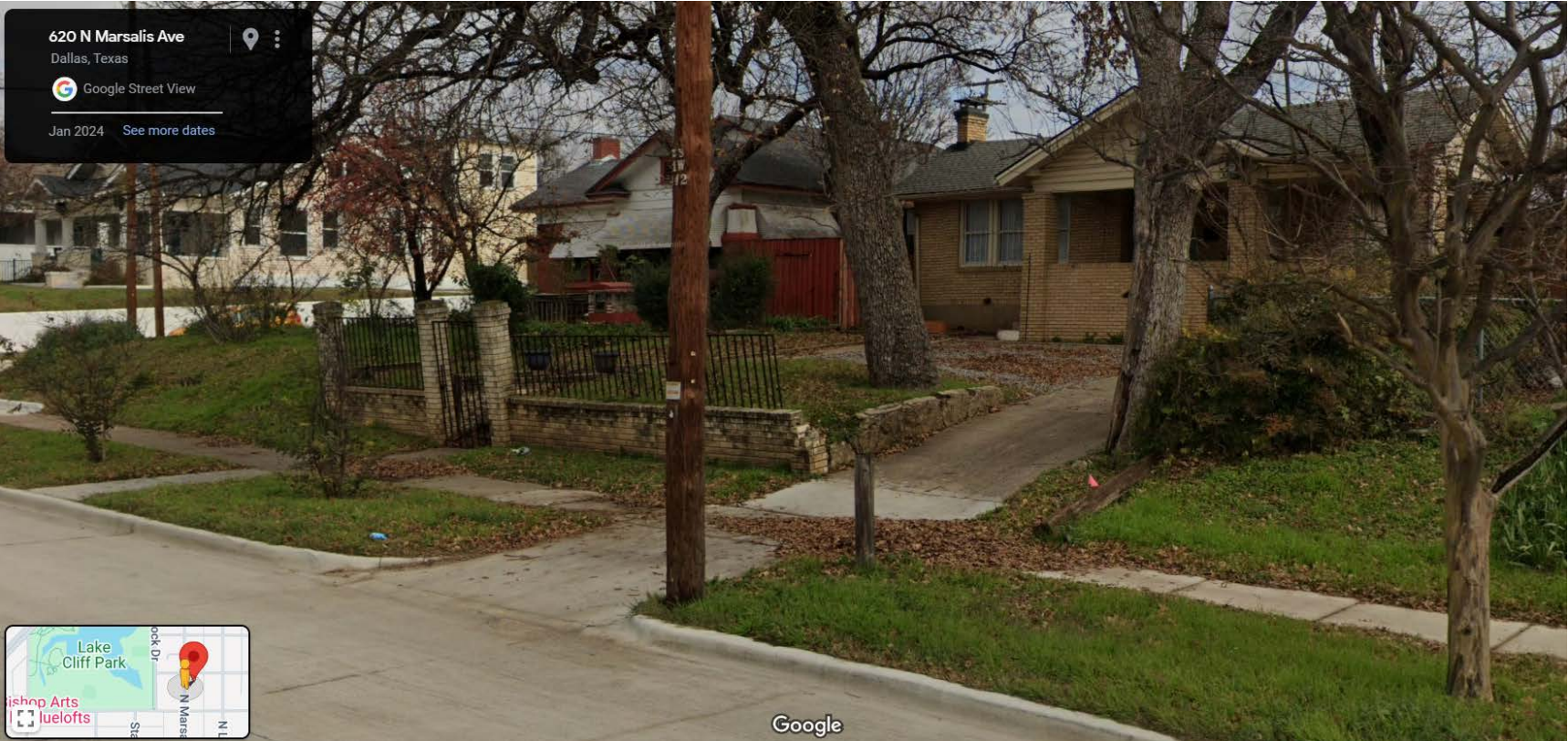
Google Street View

Jan 2024

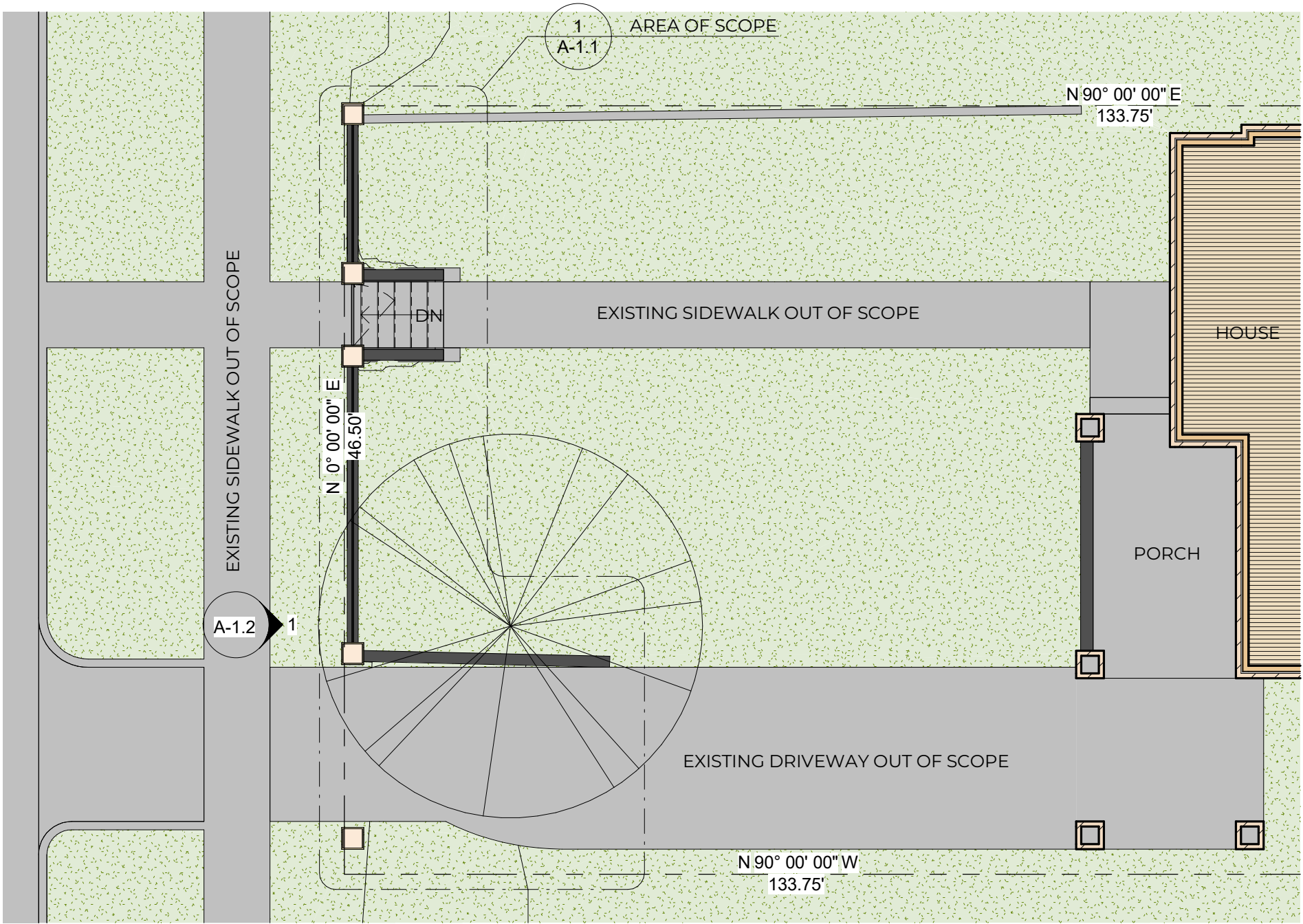
[See more dates](#)



Google



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1 OVERALL PRE-EXISTING PLAN
1/8" = 1'-0"

626 N MARSALIS
DALLAS, TX 75203

NOT FOR CONSTRUCTION, PERMIT OR
REGULATORY APPROVAL

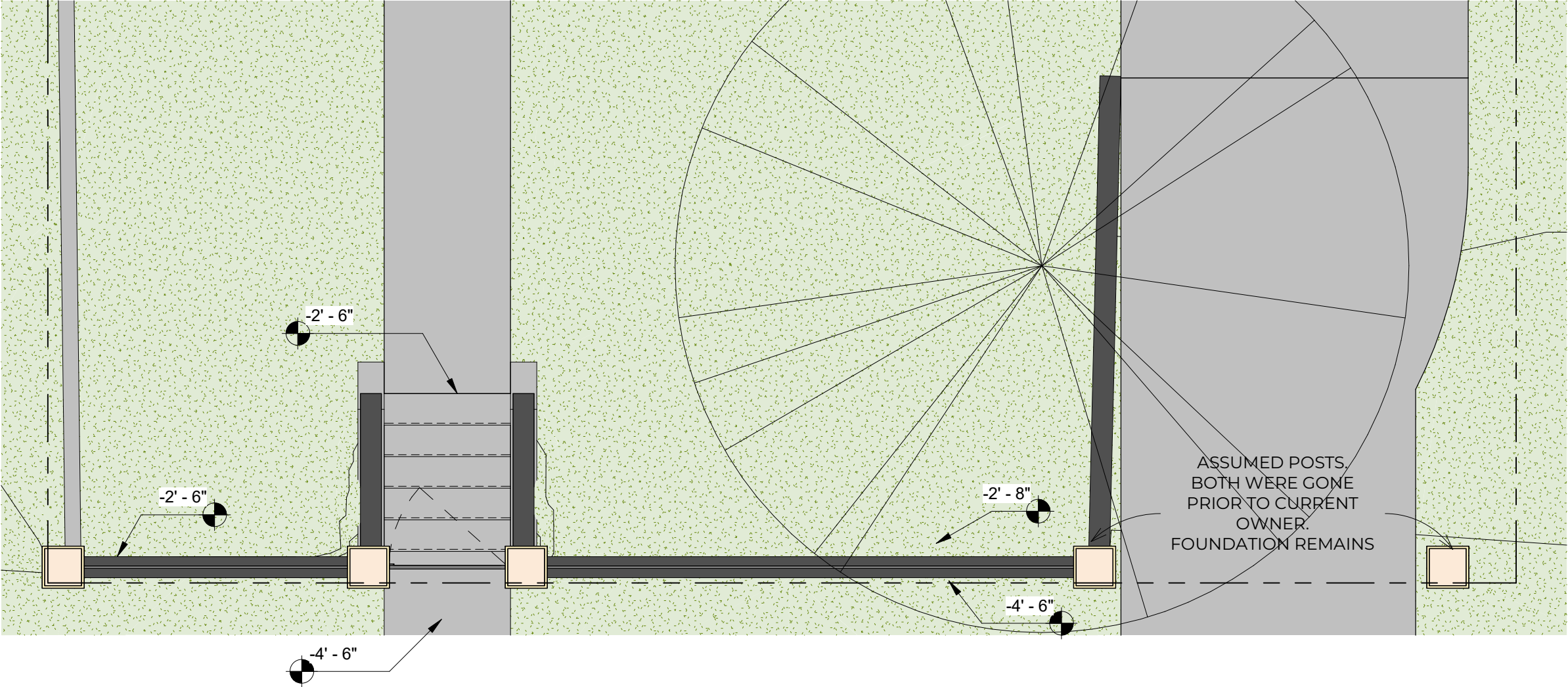
FRONT YARD

Project number: 20.02.01

Date: 05-18-24

Scale: 1/8" = 1'-0"

A-1.0



1

PRE-EXISTING PLAN

1/4" = 1'-0"

626 N MARSALIS
DALLAS, TX 75203

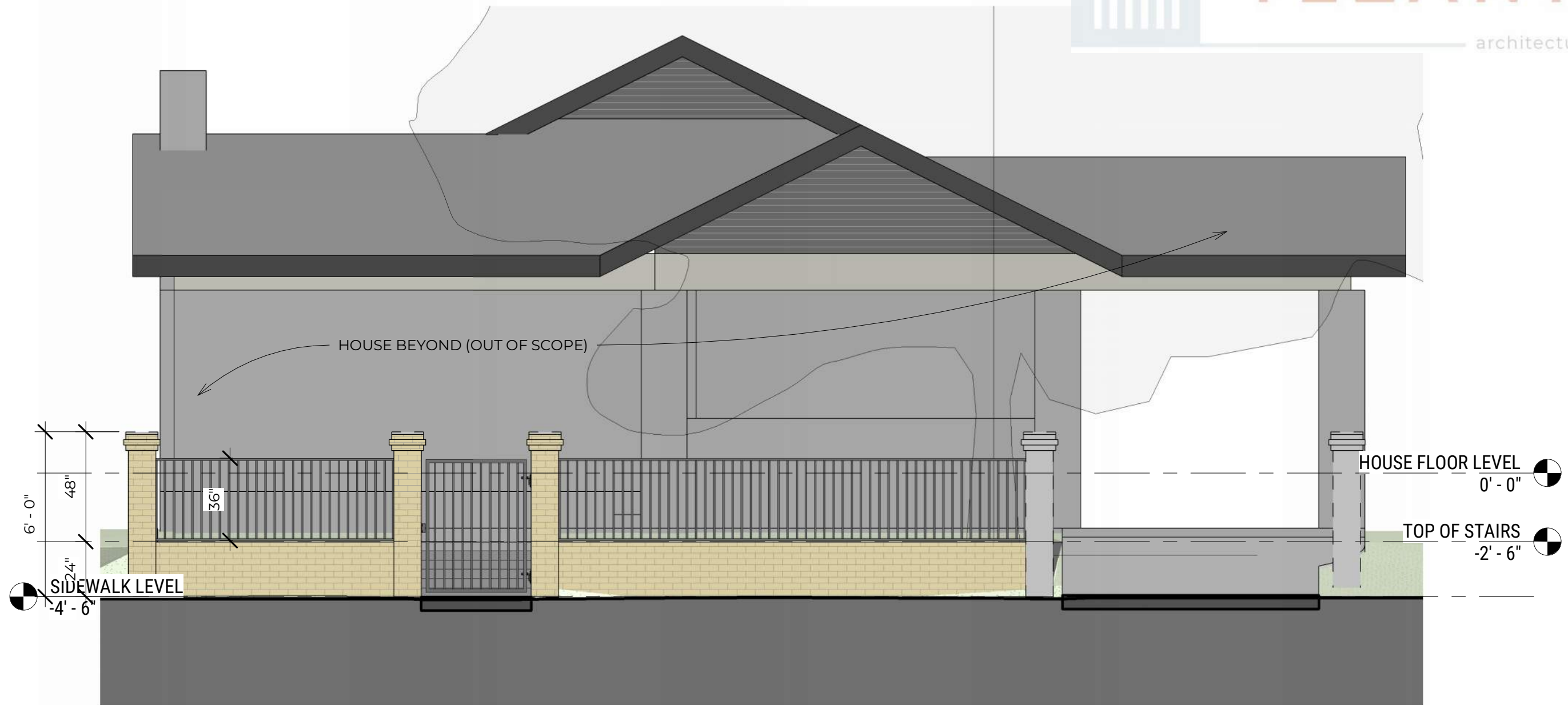
NOT FOR CONSTRUCTION, PERMIT OR
REGULATORY APPROVAL

RETAINING WALL PLAN - PRE-EXISTING

Project number: 20.02.01
Date: 05-18-24
Scale: 1/4" = 1'-0"

A-1.1

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NOTE: ELEVATION SHOWS WHAT WAS HERE PRIOR TO THE WALL FALLING OVER FROM RAIN AND LACK OF PROPER DRAINAGE. DATE OF WALL CONSTRUCTION IS UNKNOWN, OWNERS PURCHASED THE HOUSE IN 2008 AND THE WALL WAS ALREADY IN PLACE WITH THE TWO RIGHT POSTS ALREADY GONE. THE FOOTING OF BOTH POSTS REMAIN. DIMENSIONS ARE ESTIMATES FROM PHOTOS AND THE SURVEY.

BRICK ON RETAINING WALL IS WIRECUT TEXTURE. BRICK ON HOUSE IS SMOOTH TEXTURE AND DARKER, WARMER COLOR THAN RETAINING WALL.

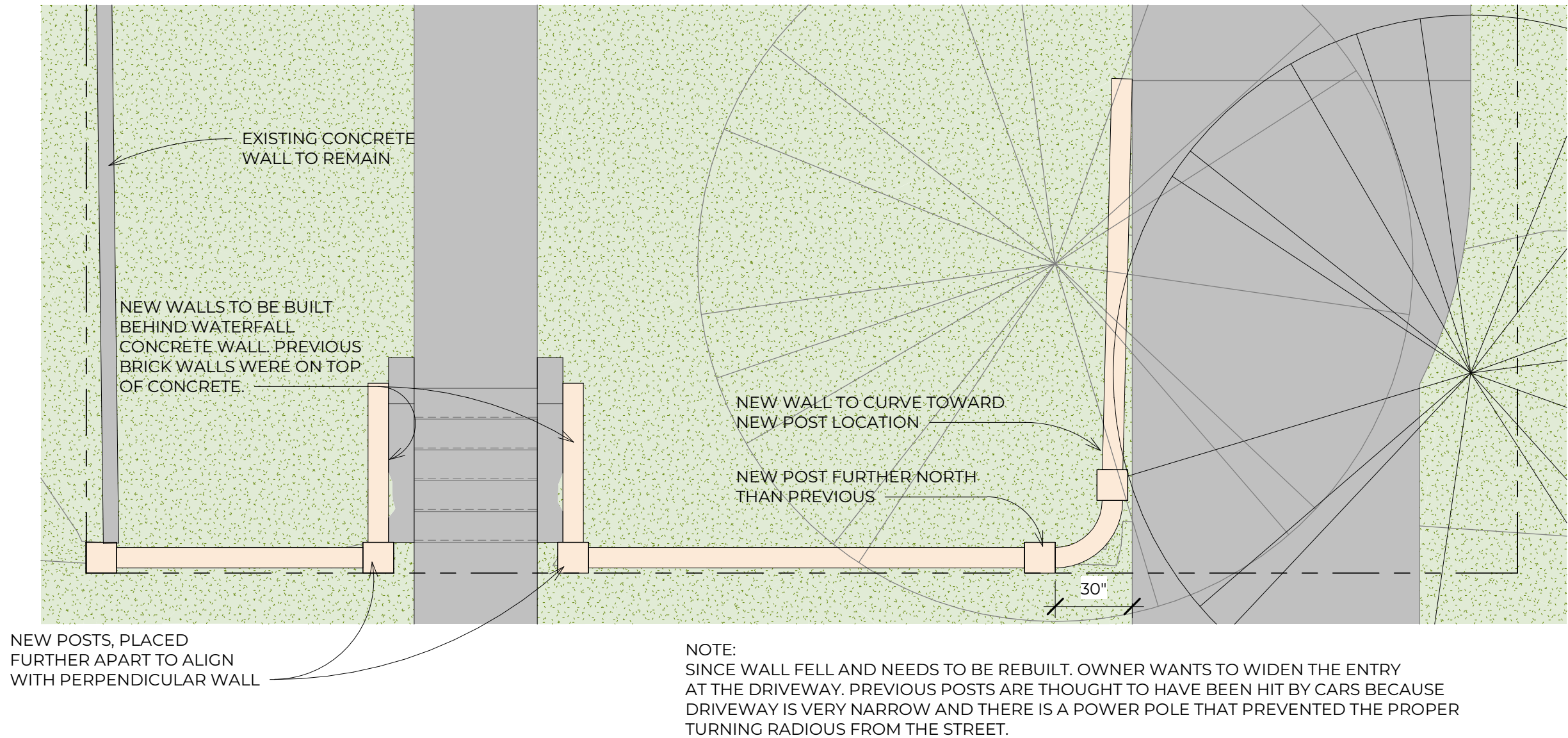
1 PRE-EXISTING ELEVATION
1/4" = 1'-0"

626 N MARSALIS
DALLAS, TX 75203

NOT FOR CONSTRUCTION, PERMIT OR
REGULATORY APPROVAL

RETAINING WALL ELEVATION -
PRE-EXISTING
Project number: 20.02.01
Date: 05-18-24
Scale: 1/4" = 1'-0"

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1 PROPOSED PLAN - PHASE 1
1/4" = 1'-0"

626 N MARSALIS
DALLAS, TX 75203

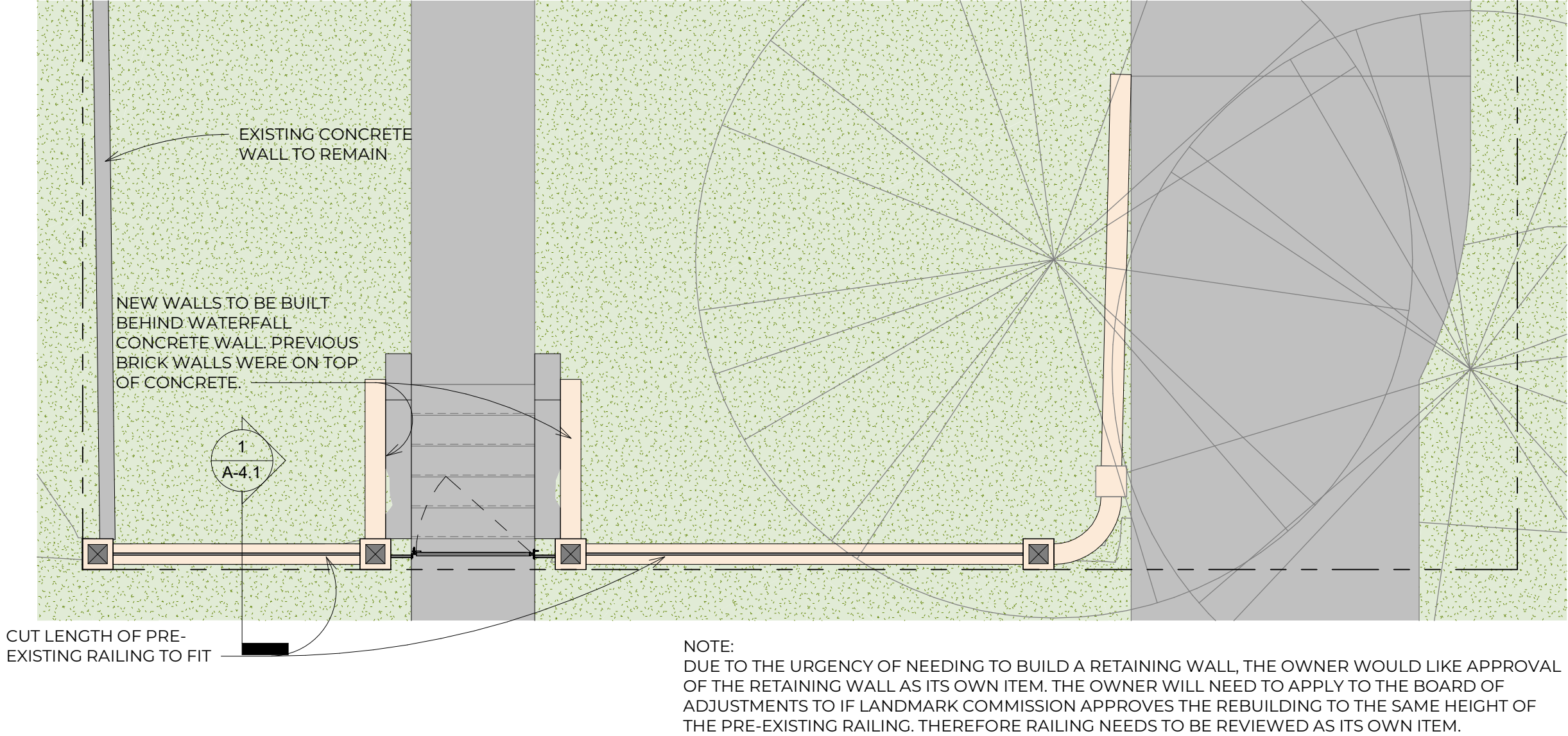
NOT FOR CONSTRUCTION, PERMIT OR
REGULATORY APPROVAL

PROPOSED PLAN - PHASE 1

Project number: 20.02.01

Date: 05-18-24

Scale: 1/4" = 1'-0"



1 PROPOSED PLAN - PHASE 2
1/4" = 1'-0"

626 N MARSALIS
DALLAS, TX 75203

NOT FOR CONSTRUCTION, PERMIT OR
REGULATORY APPROVAL

PROPOSED PLAN - PHASE 2

Project number: 20.02.01
Date: 05-18-24
Scale: 1/4" = 1'-0"

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1 PROPOSED ELEVATION - PHASE 1
1/4" = 1'-0"

626 N MARSALIS
DALLAS, TX 75203

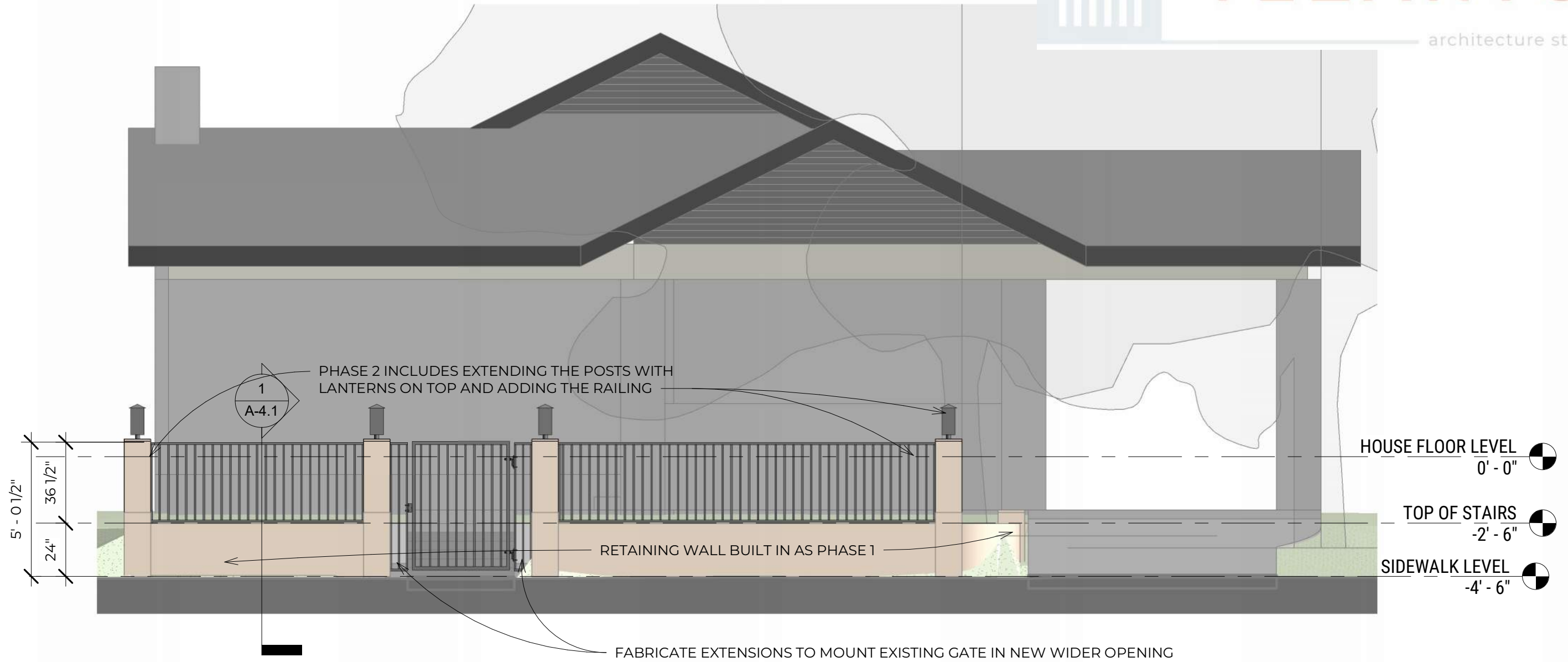
NOT FOR CONSTRUCTION, PERMIT OR
REGULATORY APPROVAL

PROPOSED ELEVATION - PHASE 1

Project number: 20.02.01
Date: 05-18-24
Scale: 1/4" = 1'-0"

A-3.1

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1 PROPOSED ELEVATION - PHASE 2
1/4" = 1'-0"

626 N MARSALIS
DALLAS, TX 75203

NOT FOR CONSTRUCTION, PERMIT OR
REGULATORY APPROVAL

PROPOSED ELEVATION - PHASE 2

Project number: 20.02.01
Date: 05-18-24
Scale: 1/4" = 1'-0"

A-3.2

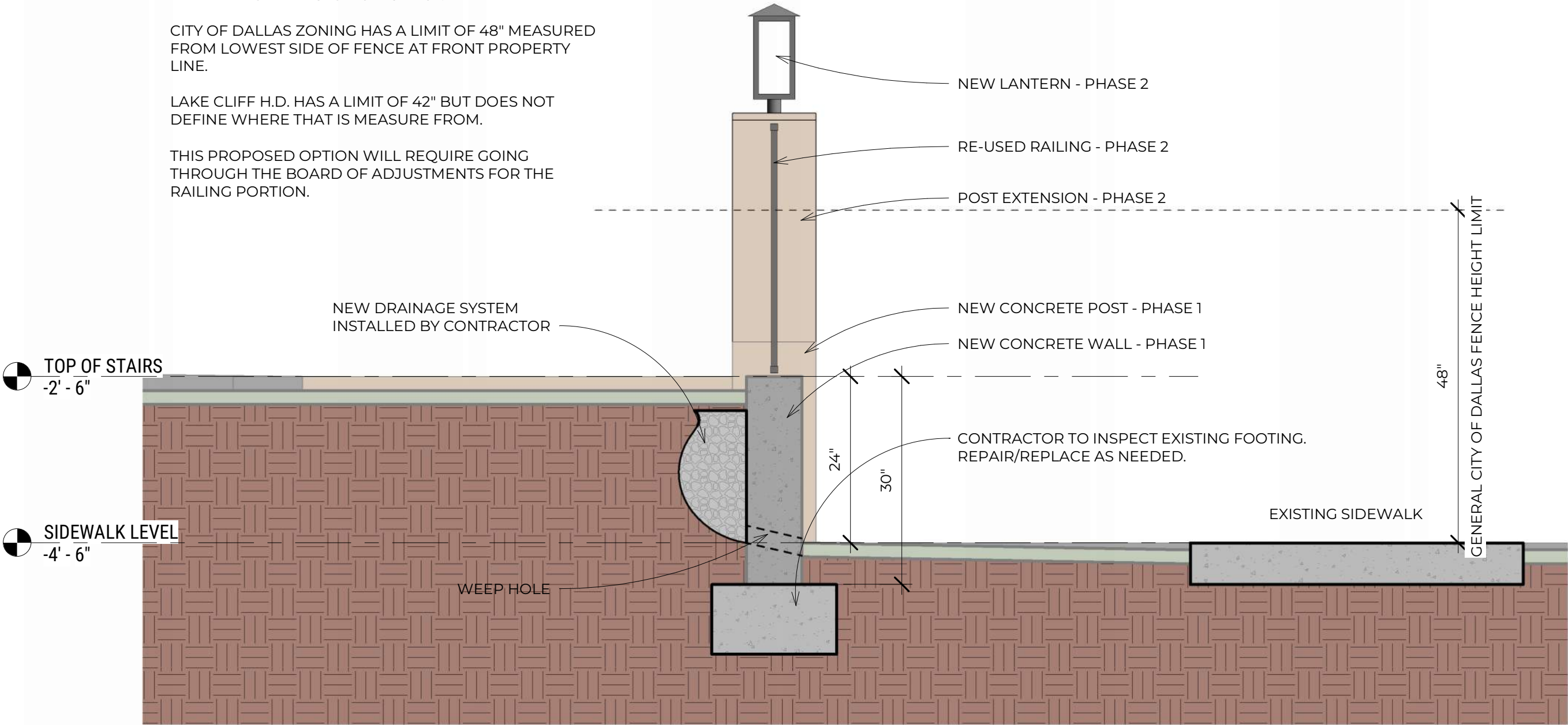
© 2020 THESE DRAWINGS ARE THE INSTRUMENT AND PROPERTY OF TEZANTO LLC AND ARE NOT TO BE REPRODUCED OR USED WITHOUT PRIOR CONSENT.

NOTE:
THERE IS A DISCRECAPANCY BETWEEN GENERAL
FENCE ZONING STANDARDS FOR THE CITY OF DALLAS
AND LAKE CLIFF HISTORIC DISTRICT.

CITY OF DALLAS ZONING HAS A LIMIT OF 48" MEASURED
FROM LOWEST SIDE OF FENCE AT FRONT PROPERTY
LINE.

LAKE CLIFF H.D. HAS A LIMIT OF 42" BUT DOES NOT
DEFINE WHERE THAT IS MEASURE FROM.

THIS PROPOSED OPTION WILL REQUIRE GOING
THROUGH THE BOARD OF ADJUSTMENTS FOR THE
RAILING PORTION.



1 RETAINING WALL SECTION
3/4" = 1'-0"

626 N MARSALIS
DALLAS, TX 75203

NOT FOR CONSTRUCTION, PERMIT OR
REGULATORY APPROVAL

RETAINING WALL SECTION

Project number: 20.02.01
Date: 05-18-24
Scale: 3/4" = 1'-0"

Maxim
4055WTBK

+ Wish List **+ Cart** **+ Compare**





LANDMARK COMMISSION

June 3, 2024

FILE NUMBER: CA234-347(CM)
LOCATION: 5902 Swiss Ave
STRUCTURE: Contributing
COUNCIL DISTRICT: 14
ZONING: PD 63

PLANNER: Christina Mankowski
DATE FILED: May 2, 2024
DISTRICT: Swiss Ave (H/1)
MAPSCO: 36-Y
CENSUS TRACT: 0014.00

APPLICANT: Stephen Goniwiecha

REPRESENTATIVE: N/A

OWNER: Stephen Goniwiecha

REQUEST:

A Certificate of Appropriateness to replace single front door and two side lights with a set of double metal French doors.

BACKGROUND / HISTORY:

N/A

PROJECT DESCRIPTION:

The proposed work consists of replacing a single front door and two side lights with a set of double metal French doors. *Note: This work was already done in 2021.*

ANALYSIS:

The proposed work is inconsistent with the Swiss Ave preservation criteria and has an adverse effect on the historic characteristic of the district.

STAFF RECOMMENDATION:

That the request for a Certificate of Appropriateness to replace single front door and two side lights with a set of double metal French doors be denied without prejudice. The proposed work is inconsistent with preservation criteria Sec. 51P-63.116(1)(P)(i) and (vi); the standards in City Code Section 51A-4.501(g)(6)(C)(i) for contributing structures; and the Secretary of the Interior's Standards for Rehabilitation.

TASK FORCE RECOMMENDATION:

That the request for a Certificate of Appropriateness to replace single front door and two side lights with a set of double metal French doors be denied without prejudice.

LOCATION MAP

5902 Swiss Ave

Google Maps

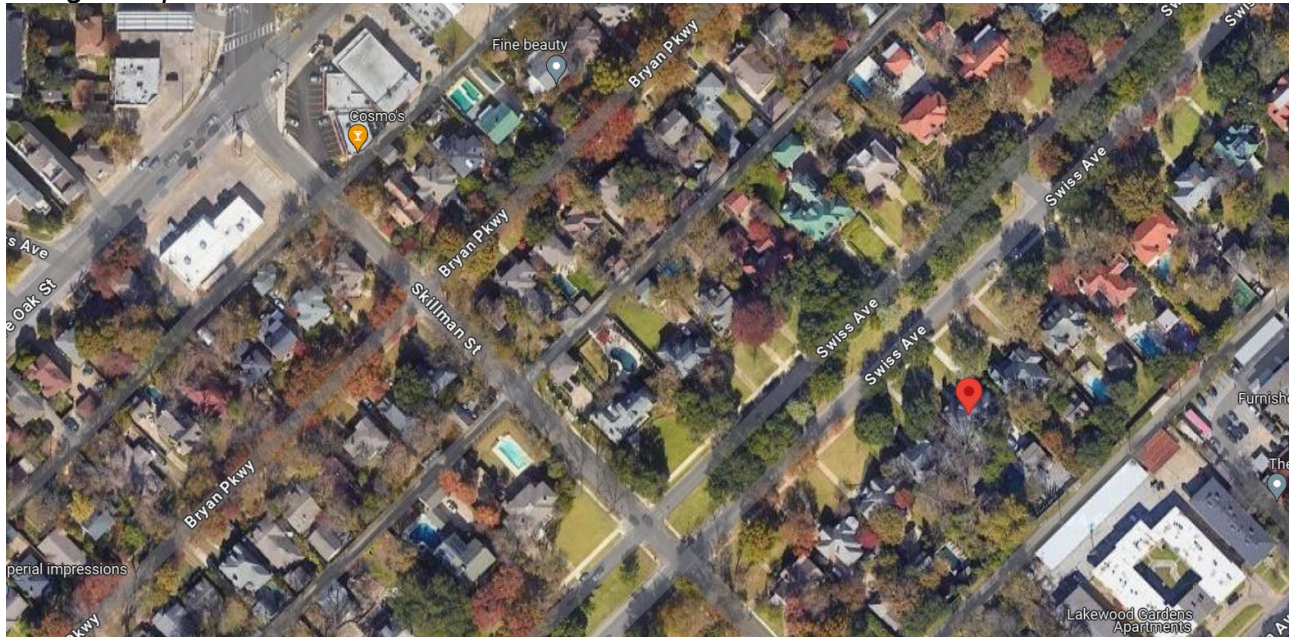


Figure 1 – Aerial View of the property.

CURRENT PHOTOS: located in application.

**TASK FORCE
RECOMMENDATION(S)**

TASK FORCE RECOMMENDATION REPORT
SWISS AVENUE/MUNGER PLACE

DATE: 5/7/2024

TIME: 3:00 pm

MEETING PLACE: Hybrid Virtual/2922 Swiss Ave

Applicant Name: Stephen Goniwiecha

Address: 5902 Swiss Ave

Date of **CA**/CD/CR Request:

RECOMMENDATION:

☐ Approve ☐ Approve with conditions ☐ Deny ☒ Deny without prejudice

Recommendation / comments/ basis:

Task force members present

☒ Emily Stevenson (Chair)
☐ Rhody Parrish (Prof)
☒ Greg Johnston

☒ Kari Houston Osborn
☒ Bob Cox (Swiss Res)
☒ Sharon van Buskirk

☒ Aaron Trecartin
☐ VACANT (Prof)
☐ VACANT (Swiss alt)

Ex Officio staff members present ☒ Christina Mankowski

Simply Majority Quorum: ☒ yes ☐ no (four makes a quorum)

Maker: *Emily*
2nd: *Sharon*

Task Force members in favor:

Task Force members opposed:

Basis for opposition:

CHAIR, Task Force

DATE

May 7, 2024

The task force recommendation will be reviewed by the Landmark Commission on Monday, June 3, 2024, via videoconference.

The Landmark Commission public hearing begins at 1:00 P.M. via videoconference, which allows the applicant and citizens to provide public comment.

**APPLICATION FOR
CERTIFICATE OF APPROPRIATENESS**

Certificate of Appropriateness (CA)
City of Dallas Landmark Commission

CA _____ - _____ []
Office Use Only

Name of Applicant: Stephen Goniwiecha
Mailing Address: 5902 Swiss Ave
City, State and Zip Code: Dallas TX 75214
Daytime Phone: 214-533-5565 Alternate Phone: 214-717-1208
Relationship of Applicant to Owner: Husband to Owner Rachel Goniwiecha

PROPERTY ADDRESS: 5902 Swiss Ave Dallas TX
Historic District: Swiss Ave

OFFICE USE ONLY

Main Structure:

____ Contributing

____ Non-contributing

PROPOSED WORK:

List all proposed work simply and accurately, use extra sheet if needed. Attach all documentation specified in the submittal criteria checklist for type of work proposed. **DO NOT** write "see attached."

Replace front door with secure new door. Existing door was completely rotten could no longer fix hinges would not stay in frame or door. As the house moved with weather changes it would jam or just open because latch would no longer catch

Signature of Applicant: [Signature]

Date: 4-8-24

Signature of Owner: [Signature]

(IF NOT APPLICANT)

Date: 4-8-24

APPLICATION DEADLINE:

Application material must be completed and submitted by the **FIRST THURSDAY OF EACH MONTH, 12:00 NOON**, (see official calendar for exceptions), before the Dallas Landmark Commission can consider the approval of any change affecting the exterior of any building. This form along with any supporting documentation must be filed with a Preservation Planner at City Hall, 1500 Marilla 5BN, Dallas, Texas, 75201.

Please use the enclosed criteria checklist as a guide to completing the application. Incomplete applications cannot be reviewed and will be returned to you for more information. You are encouraged to contact a Preservation Planner at 214/670-4209 to make sure your application is complete.

OTHER:

In the event of a denial, you have the right to an appeal within 30 days after the Landmark Commission's decision. You are encouraged to attend the Landmark Commission hearing the first Monday of each month at 1:00 pm in Council Chambers of City Hall (see exceptions). Information regarding the history of past certificates of appropriateness for individual addresses is available for review in 5BN of City Hall.

Please review the enclosed Review and Action Form

Memorandum to the Building Official, a Certificate of Appropriateness has been:

- ☐ **APPROVED.** Please release the building permit.
☐ **APPROVED WITH CONDITIONS.** Please release the building permit in accordance with any conditions.
☐ **DENIED.** Please **do not** release the building permit or allow work.
☐ **DENIED WITHOUT PREJUDICE.** Please **do not** release the building permit or allow work.

Signed drawings and/or specifications are enclosed ____ Yes ____ No

Office of Historic Preservation

Date

PAINTING, STUCCO, REPOINTING

- ☐ Image of front façade of house and all areas/facades where painting, stucco, or repointing is proposed.
- ☐ Paint chips or specifications (brand, color name and number) with proposed location on structure indicated (body, trim, accent).
- ☐ If applicable, specifications including color, lime content ratio, cement content ratio, aggregate color, aggregate content ratio, and joint tooling.

SIDING, TRIM, AND SKIRTING REPAIR OR REPLACEMENT

- ☐ Image(s) of all facades where work is proposed, including detail images that illustrate existing conditions.
- ☐ Percentage estimate of how much material is proposed for replacement (i.e. 15%, less than 20%, etc)
- ☐ Specifications for replacement siding, trim, or skirting material.

FOUNDATION REPAIR

- ☐ Image of structure indicating existing skirting.
- ☐ Engineer's report including structural drawing and detail of proposed work.

ROOFING

- ☐ Image of existing roof shingle indicating existing material and color.
- ☐ Shingle specifications (material, brand, color name).

GUTTERS

- ☐ Specifications/cut-sheets/images for proposed gutters/downspouts.
- ☐ Site plan showing where on structure gutters/downspouts are proposed.

FENCES, HARDSCAPING, AND LANDSCAPING

- ☐ Site plan showing proposed location of fence, hardscaping, landscaping.
- ☐ Photographs of the area(s) where work is proposed.
- ☐ Fences - image of proposed fence with description (material, height).
- ☐ Hardscaping – description of materials proposed and images if something other than broom finish concrete.
- ☐ Landscaping – plant species and images.

Note: Seasonal planting in existing landscaping beds that does not include new shrubs or trees does not require a Certificate of Appropriateness.

RELOCATION OF A STRUCTURE

- ☐ Photograph of structure on current site.
- ☐ Reason for request to move building.
- ☐ Dimensioned site plan to scale (see Note 1) showing proposed building on new site and adjacent building scale (see Note 2).
- ☐ Elevation showing height and width relationship of structure on new site to adjacent properties and those across the street.
- ☐ Images of structures within vicinity of new site.

SIGNS

- ☐ Sign location indicated (i.e. elevation drawing, photograph showing proposed location marked, rendering, or site plan).
- ☐ Image and specifications for proposed sign

DEMOLITION

Any demolition of a main or accessory structure within an historic district requires a Certificate for Demolition, which is a different application. Please contact Staff for the Certificate of Demolition application or visit our website to download the application.

GENERAL NOTES:

- Note 1: Minimum scale of $1/8" = 1'0"$ on all plans and elevations, unless otherwise approved by a Preservation Planner. Minimum size for all plans is 11"X17". Section details of new cornices, columns, railings or any other distinctive details are required at $1/2" = 1'$.
- Note 2: When required to show the relationship to adjacent structures and structure is on a corner, "adjacent" means across the street.
- Note 3: When material descriptions are required, materials to be used must be designated on the elevation drawings.

5902 Swiss Avenue

As described on first page I wanted to give a bit more detail on what happened with the door we had to replace. My wife and I have had a lot of issues with the door between it opening up in the middle of the night or mid-day from the wind because the latch couldn't reach the door jam. With our home moving so much with the dry summers and wet spring and falls there were days we couldn't get it open or we couldn't get it to stay closed. After many adjustments and the rotten wood, the handle would pull out of the wood and or the hinges would no longer stay secure. My family and I were in Michigan in 2021 for a family funeral for 7 days. When we arrived in Michigan our dog/house sitter could not open the door as it was jammed. I explained to her to give it a good push from the outside to get in. She took my advice only to have the door fall over into the entryway. As a contractor I reached to one of my guys to go to the house to help her get it back on the frame. He called and said he could not get it back in place due to the rotten wood on the door and frame. There was a door and frame that I had at one of my job sites that would work for the safety of my dog/house sitter until I got back in town. He installed the door and I planned to reach out to get the proper paperwork done. When I got home, I loaded up the rotten door and took it to a master wood worker near Garland and asked to have it rebuild to the original style with new wood and install the existing glass. He said that he was backed up and had no idea when it would be done. I asked for a rough time line. His answer was 4 to 6 months. I explained to the guy that was going to do the work it was from a house on Swiss and it was approaching 100 years old. He told me that the door was a door from the mid 80's and was not as old as I thought it was. He said the reason it was deteriorating so quickly was it was a manufactured wood door and not true hardwood. Unfortunately, as the months passed I forgot about the door and I accept full responsibility for not staying on top of this. I reached out multiple times to him and got no reply. So, I drove to his shop to see how the door was coming. When I arrived at his shop, I was informed by the cabinet company that was there that he had packed up his tools and projects and moved out. I still have not heard from him and his phone is no longer working. I gave him \$1500 to work on it. We installed the door you see now in October of 2021. The door I installed was a client's door that I had to replace for the project I was working on. Since the door has been replaced it has opened with ease and has not moved at all. My wife feels safer now that it is in place. There has been a lot of strangers approaching homes in the mornings and in the evenings. My wife feels that with this new door she no longer worries that someone can break into the house as easy as they could have with the other door. My son and nanny can open and close the door with ease. It also has a strong frame and strong glass that is safer for my family. I did make the mistake of not completing the proper paperwork for this door and for that I am very sorry. I hope we can come to some resolution that doesn't require me to remove this door. With this door in place my family feels safe and secure. Please contact me with any further questions or concerns.

I have attached two pictures of the front of the house and the door that is installed right now. I don't have any pictures of the door that was rotten and fell out of the opening. Please let me know what I can do to make this right. I am truly sorry for this mess.

Steve Goniwiecha 214-533-5565

Rachel Goniwiecha 214-717-1208



ORIGINAL DOOR DESIGN

5902

Report Violations to
the City of Dallas at 311
24 hours - 7 days a week
Construction is limited to
7:00 AM - 7:00 PM Mon-Fri
7:00 AM - 6:00 PM Sat-Sun
On Sat-Sun, when work is done
adjacent to a residential
use as defined in the
Dallas Development Code
Please feel free to contact
Service @ 214-671-2267
N. 214-671-2267



CURRENT DOOR DESIGN



*Purposed look
by adding grid*

5640



simplehuman





5744



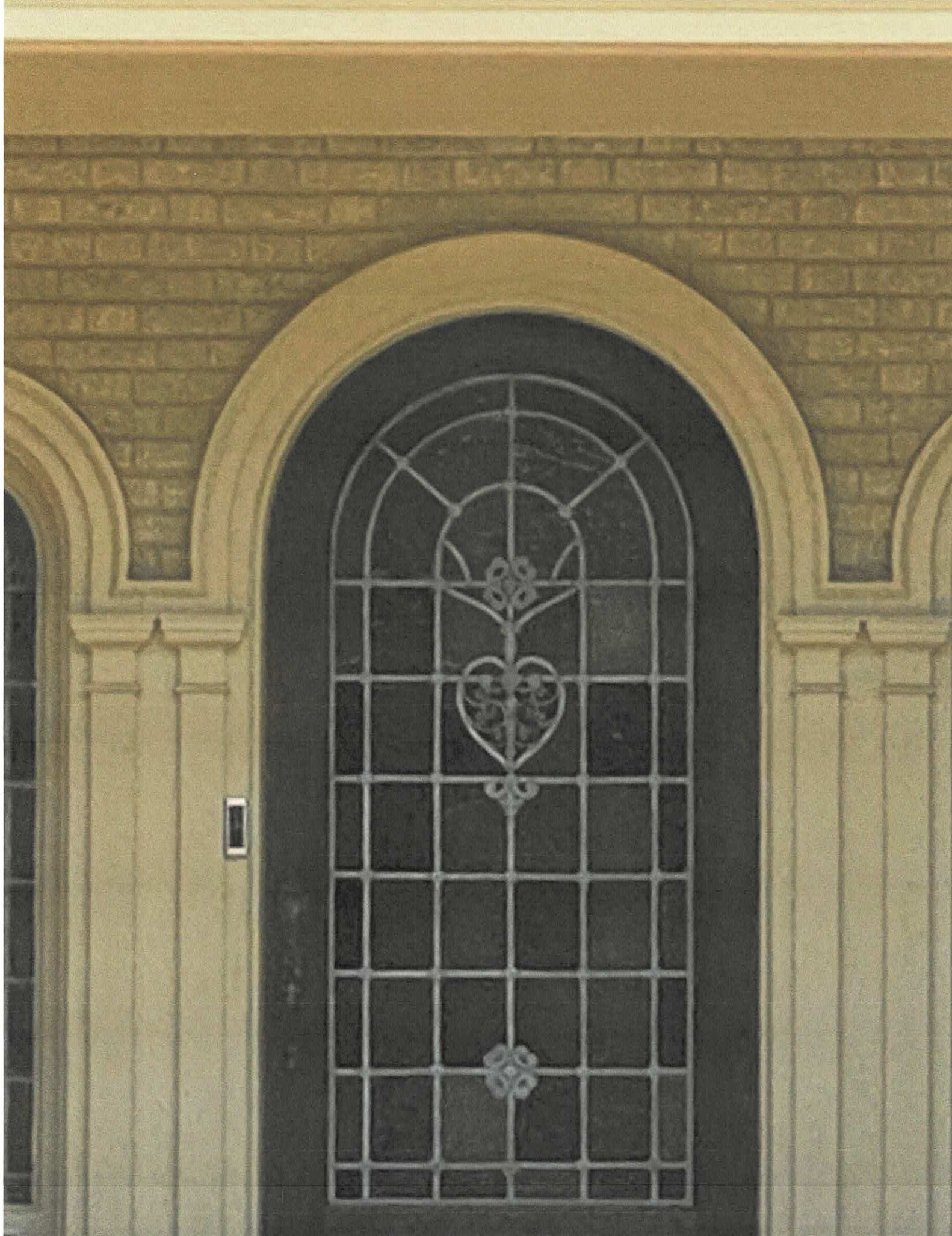






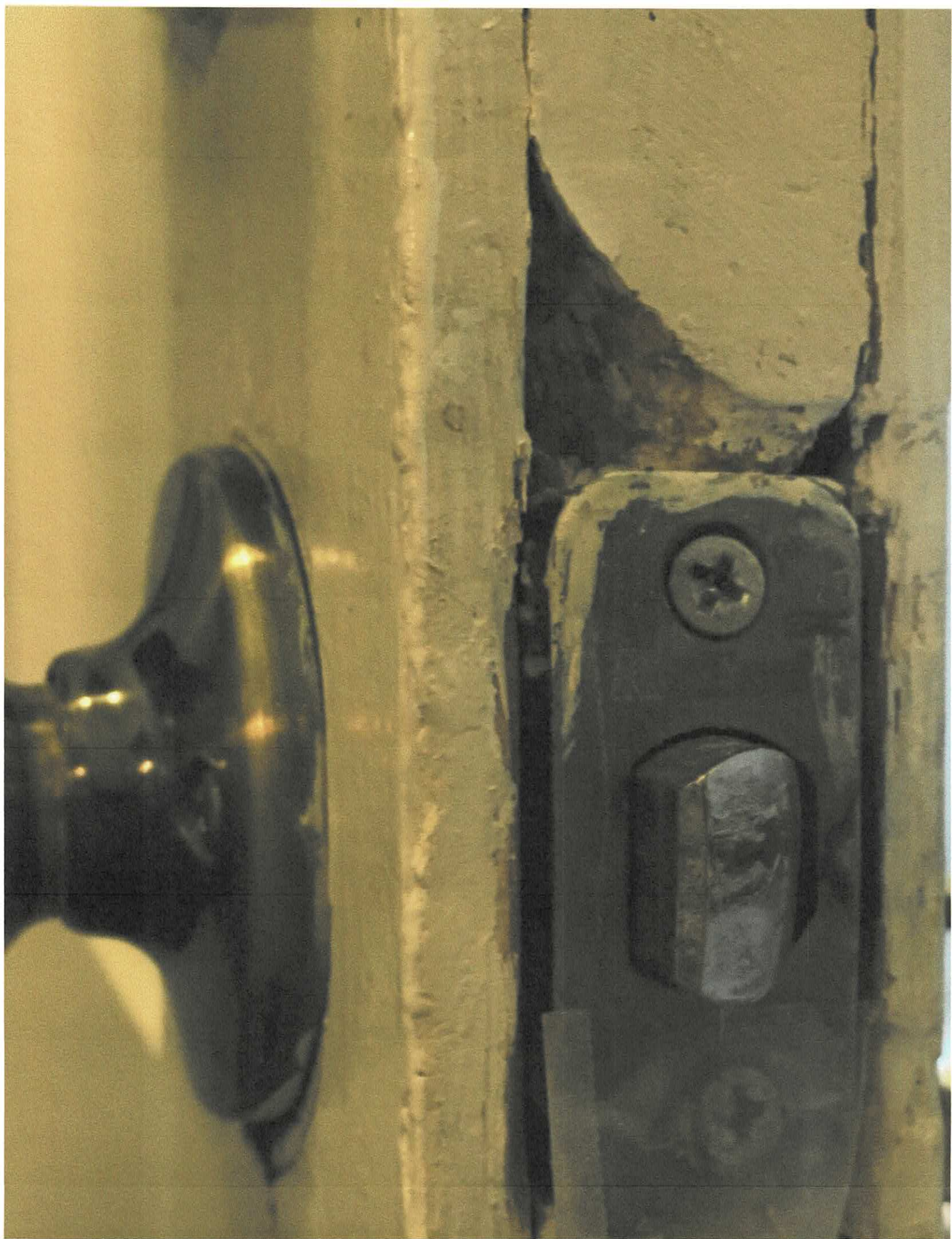


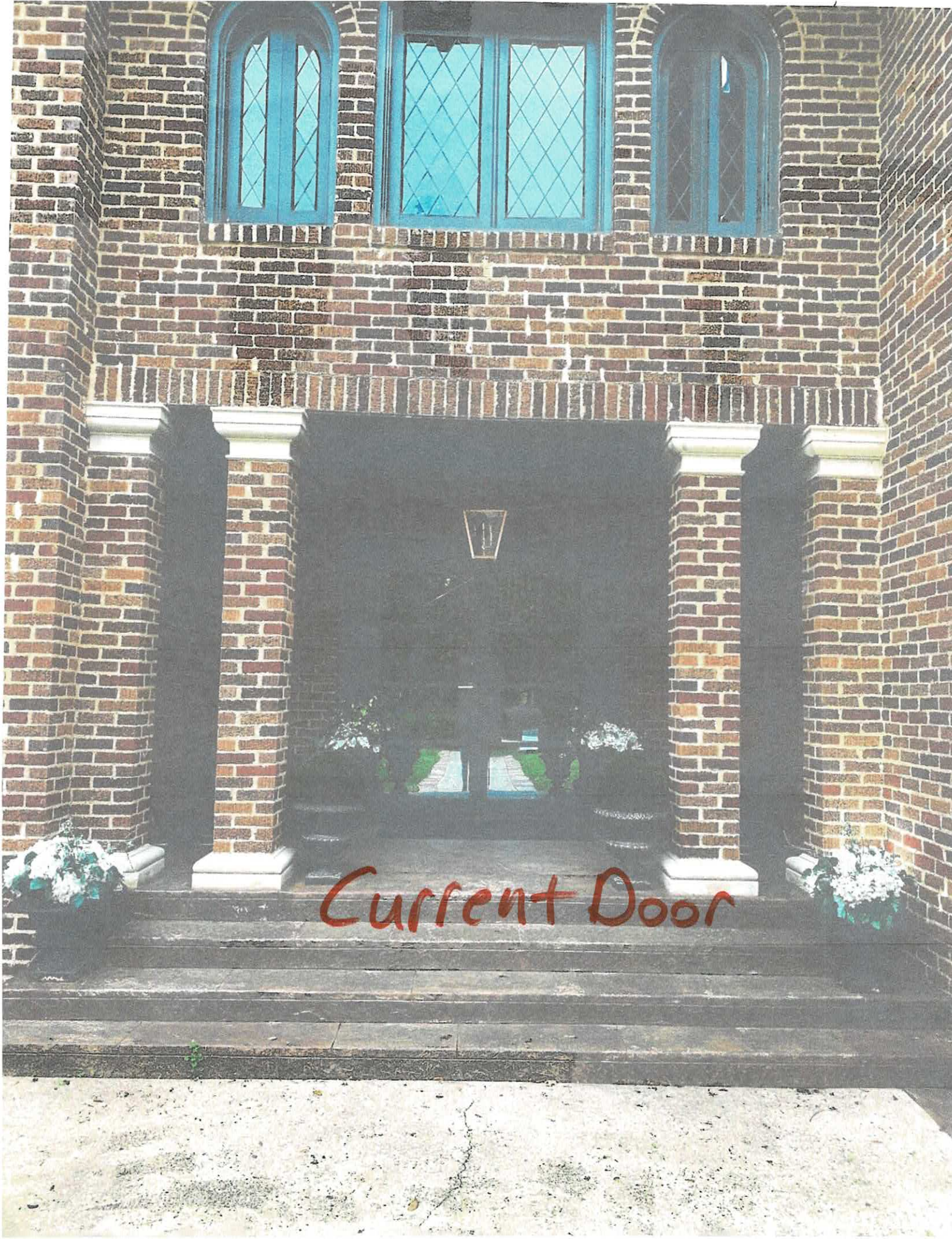












Current Door





















Marc and Ann Joseph
5200 Swiss Avenue
Dallas, Texas 75214
April 29, 2024

To Whom It May Concern:

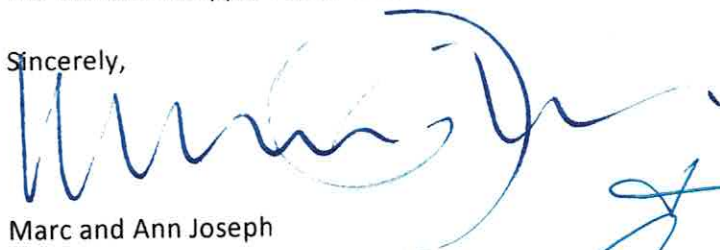
I am writing in support of Rachel and Steve Goniwiecha's CA for their front door. My wife and I have resided in the Swiss Avenue Historic District since July 1987, first on Bryan Parkway from 1987 to 2004, and since 2004 on Swiss Avenue. We have seen over the years many improvements to the District and have enjoyed the strong community that our neighbors have created.

Steve and Rachel are extremely supportive neighbors and invaluable contributors to our Swiss Avenue community. They have exhibited care and respect for our District and have maintained and improved their property steadily throughout their tenure.

We have observed their front façade almost daily and did not notice any inappropriate modifications to the front of their house. The set-back and appearance of their front door completes a welcoming and protective porch consistent with the original design and construction.

We therefore support their efforts to obtain a CA.

Sincerely,

A large, stylized handwritten signature in blue ink, appearing to read "Marc and Ann Joseph".

Marc and Ann Joseph

A handwritten signature in blue ink, appearing to read "Ann Joseph".

Suzanne Venegas
4419 Buena Vista Street #10
Dallas, Texas 75205

To whom it may concern,

I have been a good friend of the Goniwiecha's for the past 6 years. During that time, I became aware of the many problems they have had with regards to their old front door. The door would frequently just blow open making it possible for their dogs to get out as well as create a safety issue with regards to their young son. Since they replaced their front door in 2021, Rachel has told me how much safer she feels for herself and for her young son. In addition, the dogs no longer get out randomly because of the door blowing open. Lastly, I am wheel chair bound and the old front door made it extremely hard for me to get my wheel chair thru the front door. Steve made me a ramp so I could get up the front steps but the front door remained an issue for me. Since the wider door was installed, life has been so much easier for me to enter their house. It would create a huge hardship for me if he had to go back to the old size of front door. Thank you for your time and consideration regarding this matter.

Suzanne Venegas

A handwritten signature in black ink, appearing to read 'Suzanne Venegas', written in a cursive style.

Micah and Bryan Ashford
5822 Swiss Avenue
Dallas, Texas 75214

To whom it may concern,

Micah and I live next door to Rachel and Steve Goniwiecha. We have been on Swiss for a few years and Steve and Rachel and their son Bennett have been great neighbors and its been a pleasure living next to them. Everyone in the neighborhood have had nothing but good things to say about the Goniwiecha's. During the snow storms Steve has built snow piles for the kids to play on and his holiday decorations bring many visitors to Swiss. Steve and Rachel have done so many great things on their home to make it up ti the Swiss Avenue standards. He has helped countless neighbors with broken pipes on the weekends and cutting up trees after a storm so the neighbors could get out of their driveways and down the street. Refusing to take payments from people he has helped.

Since we have moved in next door, I have known of the headaches he has put up with repairing the front door. From dogs getting out and the door opening up with gusty winds. In 2021 he told me he finally got a door installed to protect the safety of his family including the rescue dogs he has taken on. I didn't even notice it was new because the door sets back on his front patio. Rachel has mentioned to us how much safer and stronger the new door is and that the dogs haven't gotten out since it was installed. The previous door had a lot of rotten wood and Steve did his best to keep it in place. Micah and I are happy that they have a beautiful door in place that helps keep their family safe.



Micah Ashford

Bryan Ashford



Vanessa & Gary Hoffman
6017 Swiss Avenue
Dallas, Texas 75214

To Whom It May Concern:

We live across the street from Rachel and Steve Goniwiecha at 5902 Swiss Avenue. We've known them since they moved here in 2015 and could not ask for better neighbors. As a contractor, Steve has done several remodel projects for us including a bathroom and outdoor kitchen. He recently installed a new driveway as well. The Goniwiechas are active in the neighborhood helping our local fire station with a remodel project. In addition, he's helped us with several home emergencies.

When their front door became warped and no longer shut properly, Steve replaced it with the current glass door as he needed to make sure the house was secure for his wife and young son who are home during the day. The view from the street of the new door does not detract from the front of the house as the doorway is recessed by the front patio. It is a high-quality door and provides better security for the Goniwiecha family.

Sincerely,



Vanessa Hoffman

(214) 232-7211



Gary Hoffman

(214) 728-2811

To whom it may concern;

We are writing this letter on behalf of Steve and Rachel Goniwiecha, our neighbors. We reside directly across Swiss Avenue from the Goniwiecha's and they have asked us to write a letter concerning the improvements they have made to their residence, namely the replacement of their front door. Steve told us this was done approximately three years ago to fix a door that was in a state of disrepair and unsafe. The door that was replaced had out lived it's use fullness and was unsafe. The new door that was installed is sound and has safety glass that the original door lacked. As neighbors we have found the new door to be aesthetically pleasing and we view it's an asset to their house and a welcoming part of their home. If you have any questions please feel free to call us at 217-972-8662. Our address is 5901 Swiss Av..

Our home is the second Historic District we have lived in, the first for 31 years in Illinois. We understand the need for questioning a resident when making a change or improvement on a historic home. I assure you this was done to address an outdated unsafe door.

Thank you,

Greg and Alice Brock

 & Alice Brock 4/26/2024

Jennifer and Andy Scripps
6020 Swiss Ave.
Dallas, TX 75214

To Whom it Concerns:

Hello! We are neighbors and friends of Rachel and Steve Goniwiecha, and we purchased our home on Swiss Ave. in early 2021. Our boys are close in age and play together and we have been in their beautiful home and backyard many times. We are always impressed with Steve's assiduous care for the yard, home, and especially his fabulous holiday decorations! He has made continuous and substantial improvements to this home, and it is in excellent condition due to his hard work. I wish all of the homes in our district were in such a good state, and this is sadly not the case.

Like the Goniwiechas, we needed to replace our original (circa 1925) front door as it was warped, thin and provided little insulation or security for our home. We have never had any issue with the beautiful double doors that the Goniwiechas installed for the same reasons. Also, their deep front porch means that these recessed front doors are not very visible. The doors do not detract from their home overall in any way.

Thank you for your time.

Sincerely,

 /ALS
Jennifer and Andy Scripps



CITY OF DALLAS

LANDMARK COMMISSION

JUNE 3, 2024

FILE NUMBER: CA234-341(MW)
LOCATION: 223 N. Clinton Ave.
STRUCTURE: Contributing
COUNCIL DISTRICT: 1
ZONING: PD-87

PLANNER: Marcus Watson
DATE FILED: May 2, 2024
DISTRICT: Winnetka Heights (H-15)
MAPSCO: 54-B
CENSUS TRACT: 0046.00

APPLICANT: Pena, Fred

REPRESENTATIVE: N/A

OWNER: OWEN DAVID & ANNETTE

REQUESTS:

1. A Certificate of Appropriateness to construct a new two-story accessory structure in the rear (west) yard.
2. A Certificate of Appropriateness to reconstruct a front porch on the front facade of the main structure.

STAFF RECOMMENDATION:

1. That the request for a Certificate of Appropriateness to construct a new two-story accessory structure in the rear (west) yard be **approved** in accordance with drawings and materials dated 5/18/24. The proposed work is consistent with preservation criteria Section 51P-87.111(a)(1); the standards in City Code Section 51A-4.501(g)(6)(C)(i) for contributing structures; and the Secretary of the Interior's Guidelines for Setting (District/Neighborhood).
2. That the request for a Certificate of Appropriateness to reconstruct a front porch on the front facade of the main structure be **approved** in accordance with drawings and materials dated 5/18/24 with the findings of fact that the house originally had a front porch, that the porch was likely destroyed in the 1957 tornado, that there are no known photographs of the original porch and that the proposed porch is consistent with typical surrounding houses of the same style. The work is consistent with preservation criteria Section 51P-87.111(a)(3), (a)(9), and (a)(11); the standards in City Code Section 51A-4.501(g)(6)(C)(i) for contributing structures; and the Secretary of the Interior's Guidelines for Setting (District/Neighborhood).

TASK FORCE RECOMMENDATION:

1. That the request for a Certificate of Appropriateness to construct a new two-story accessory structure in the rear (west) yard. **No quorum.** General comments. Generally supportive of accessory structure with comments. Add window trim on garage. Roof and paint colors. Consider changing outdoor stairs on accessory structure. Consider changing back wall

(balustrade) of the accessory structure. **(NOTE: The applicant revised the plans based on task force recommendations.)**

2. That the request for a Certificate of Appropriateness to reconstruct a front porch on the front facade of the main structure. **No quorum.** General comments. Supportive of front porch construction. Call out railing details on front porch.

BACKGROUND / HISTORY:

223 N. Clinton Ave. is a 1.5-story, single-family Craftsman style house identified as contributing to the Winnetka Heights historic overlay district. The applicant is proposing to construct a new 2-story accessory building and a new front porch where one had once existed but was destroyed in the past.

Previous applications for Certificates of Appropriateness (or Demolition) filed for this property that are pertinent to this CA include:

<u>CASE NUMBER</u>	<u>TYPE</u>	<u>DATE</u>	<u>OWNER</u>	<u>DECISION</u>
CA156-101(MD) Paint: Body-"White Hyacinth"; Trim-"Bunglehouse Blue"; Accent-"Peristyle Brass"	Standard	12/11/15	MARTYN	Approve
CA123-546(MD) Roof: "Silver Birch"	Routine	6/14/13	HEDRICK	Approve

ANALYSIS:

Accessory Building

The proposed building is in the rear yard and minimally visible. It is compatible in scale, shape, roof form, materials, detailing, and color to the main structure.

Front Porch

While our typical rule of thumb is to avoid conjectural architectural features, this property presents an unusual situation.

With Sanborn maps and knowledge of basic architectural history and the neighborhood, we can surmise that the house originally had a full-width front porch. There are also buried footings in the ground to support that idea.

It is believed that the porch was destroyed in the 1957 tornado and was never reconstructed. Because there are no known (or discovered) photos of the house to show the original porch, the architect chose a fairly simple, unadorned design and detailing similar to porches found throughout the district to simply serve the purpose of a front porch without added conjectural detailing.

Staff supports the application with the opinion that the absence of a porch is more incompatible to the neighborhood than a porch that may or not be precise to this property's exact original porch, and, therefore, meets the Secretary's Standards for Setting (District).

RELEVANT PRESERVATION CRITERIA: Winnetka Heights Historic District (H-15); Ordinance Nos. 17164 and 17165 Sec. 51P-87.111(a)(10)(C)

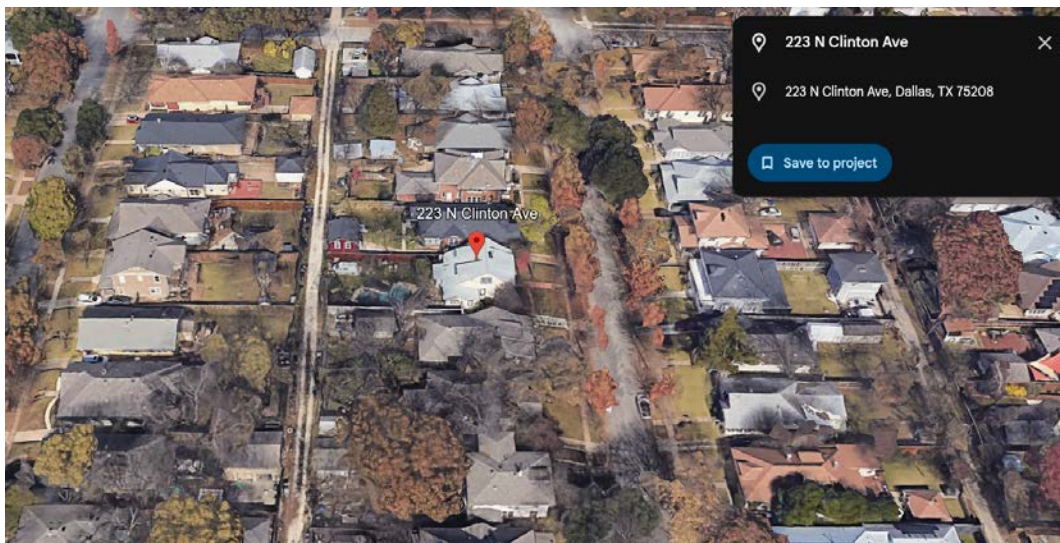
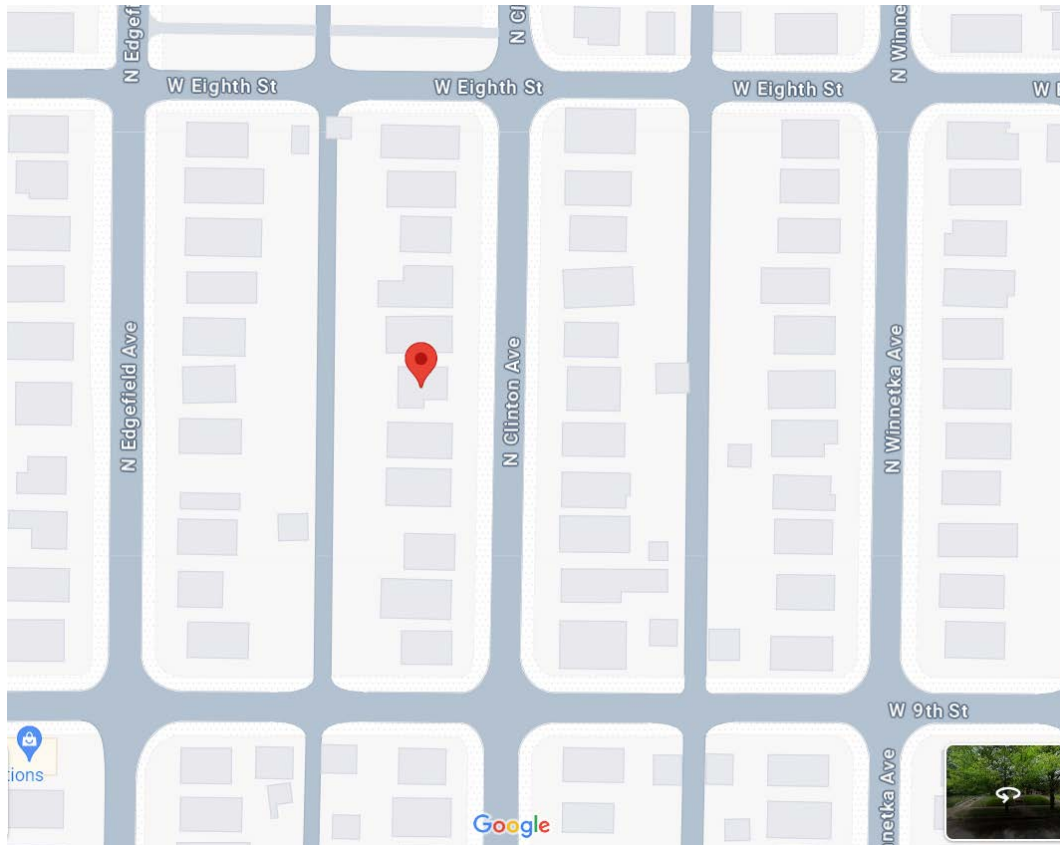
RELEVANT SECRETARY OF THE INTERIOR'S STANDARDS/GUIDELINES FOR THE TREATMENT OF HISTORIC PROPERTIES (REHABILITATION): Guidelines for Setting (District/Neighborhood)

RELEVANT DALLAS CITY CODE: Section 51A-4.501(g)(6)(C)(i) for contributing structures

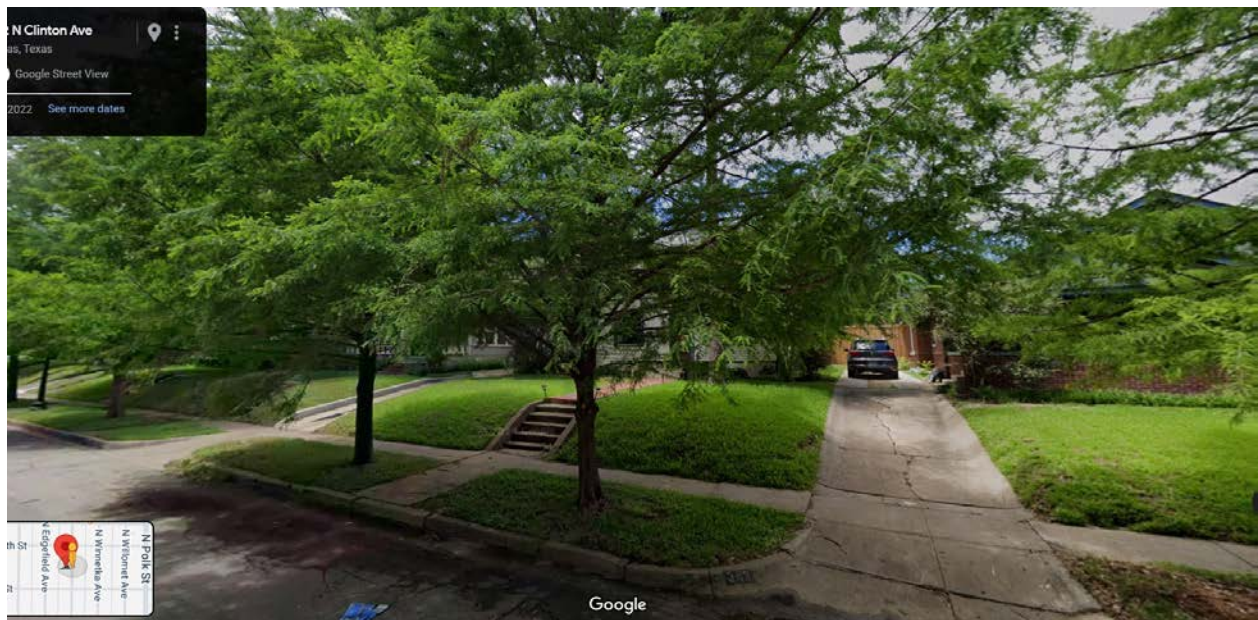
LOCATION MAPS

223 N. Clinton Ave.

Source: Google Earth



CURRENT PHOTOS
223 N. Clinton Ave.





REAR VIEW OF
HOUSE



FRONT VIEW OF HOUSE

SEVERAL HOUSES ON THIS STREET HAD THEIR PORCHES TORN OFF DURING THE 1957 TORNADO. IT IS BELIEVED THAT THIS HOUSE HAD ITS PORCH TORN OFF.



STUDIO SITE - REAR RIGHT CORNER



FRONT VIEW

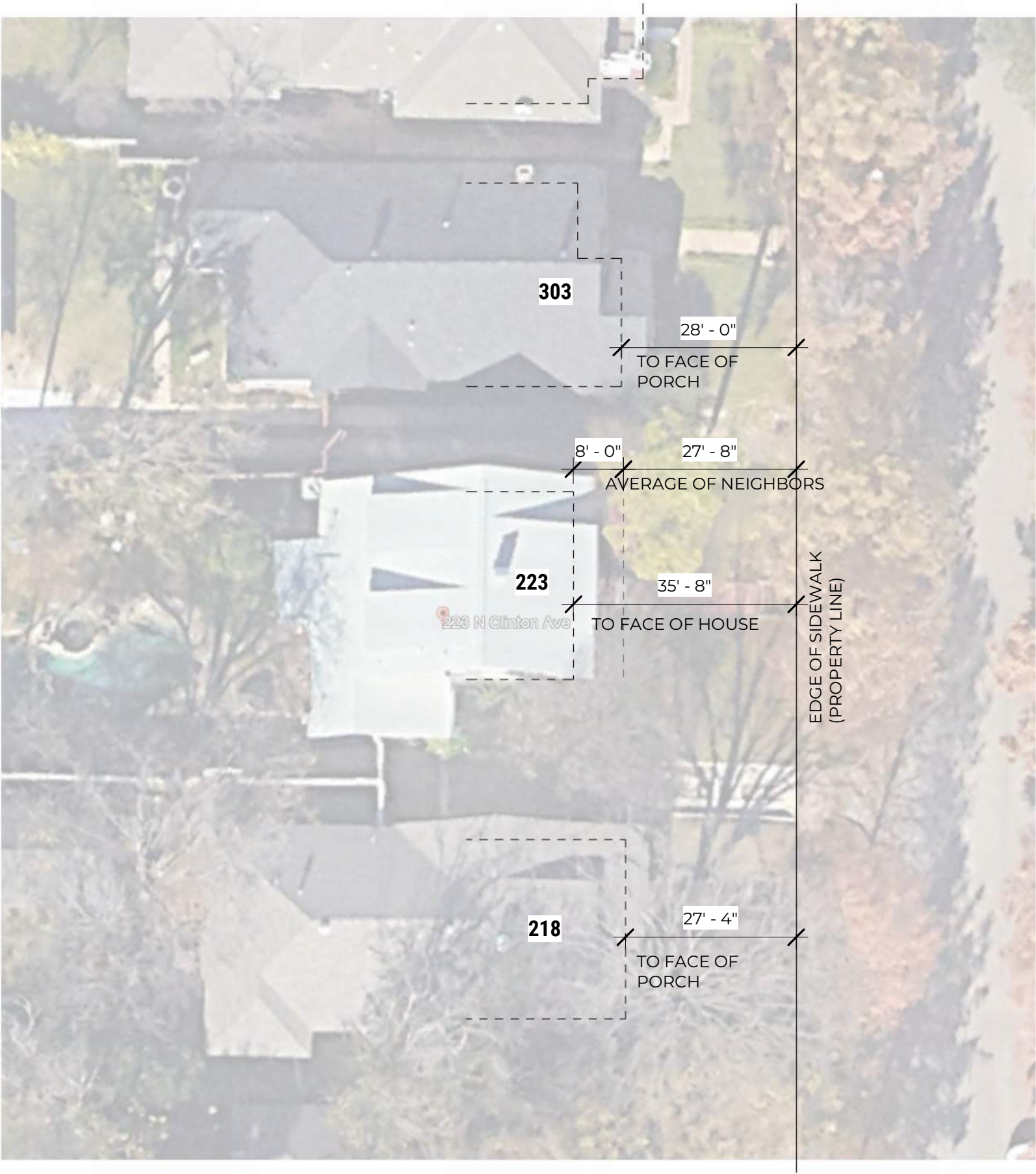
PICTURES SHOWING THAT FORWARD FACING STAIRS SIT IN FRONT OF THE FACE OF PORCH



LOOKING SOUTH IN LINE WITH PORCHES



LOOKING NORTH IN LINE WITH PORCHES



1 AERIAL VIEW
1" = 20'-0"



TEZANTO

817.602.8161
fred@tezanto.com

ANETTE AND DAVID
OWEN

223 N CLINTON DALLAS, TX
75208

NEIGHBORING
PORCHES

Project number:
23.10-03

Date:
05-24-03

A-5.04

East Side of N Clinton Ave



306



302



220



216



214

West Side of N Clinton Ave



215



219



303



307





311 N Winnetka Ave

223 N Clinton Ave

219 N Clinton Ave

211 N Willomet Ave

122 Winnetka Ave

225 S Windomere Ave

Similar roof configurations in the district



122 N Winnetka



311 N Winnetka



211 N Willomet



219 N Clinton
Immediate Neighbor.
We believe this was a
reconstructed porch after the
tornado.



225 S Windomere

ATTACHMENTS:

- **Task Force Recommendation Form**
- **Certificate of Appropriateness Application**

TASK FORCE RECOMMENDATION REPORT

Winnetka Heights and Lake Cliff Historic Districts

DATE: 5/8/2024
TIME: 4:00 p.m.
LOCATION: Hybrid Virtual/2922 Swiss Ave

Applicant Name: Pena, Fred
Address: 223 N. Clinton Ave.
Request Type: CA

Request:

- a. Construct new accessory building.
- b. Construct new front porch on the main structure.

Recommendation:

☐ Approve ☐ Approve with conditions ☐ Deny w/o prejudice ☐ Deny

Comments:

No quorum. General comments. Supportive of front porch construction. Generally supportive of accessory structure with comments. Call out railing details on front porch. Add window trim on garage. Roof and paint colors. Consider changing outdoor stairs on accessory structure. Consider changing back wall (balustrade) of the accessory structure.

Pena recused.

Task force members present:

<input checked="" type="checkbox"/> Christine Escobedo	<input type="checkbox"/> Alfred Pena (Vice-chair)
<input checked="" type="checkbox"/> Mia Ovcina	<input type="checkbox"/> Troy Sims
<input type="checkbox"/> Caitlin Parish	<input checked="" type="checkbox"/> Michelle Walker (Chair)

Ex Officio staff members present: ☒ Marcus Watson

Quorum: ☐ Yes ☒ No (four makes a quorum)

Maker: 2nd.
FOR: AGAINST:
Basis for opposition:

Certificate of Appropriateness (CA)

City of Dallas Landmark Commission

CA _____ - _____ ()

OFFICE USE ONLY

Name of Applicant: Fred Peña

Mailing Address: PO Box 222168

City, State and Zip Code: Dallas, TX 75222

Daytime Phone: 214-444-8316

Alternate Phone: _____

Relationship of Applicant to Owner : Architect

PROPERTY ADDRESS: 223 N Clinton Ave, Dallas, TX 75208

Historic District: Winnetka Heights

OFFICE USE ONLY

Main Structure:

☒

Contributing

☐ Non-contributing

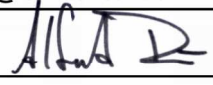
PROPOSED WORK:

List all proposed work simply and accurately, use extra sheet if needed. Attach all documentation specified in the submittal criteria checklist for type of work proposed. **DO NOT** write "see attached."

1 - Build a new 2 story accessory structure

2 - Build a new front porch on the main house

EMAIL ADDRESS: fred@tezanto.com

Signature of Applicant: 

Date: 5/2/24

Signature of Owner: 

Date: 5/2/24

(IF NOT APPLICANT)

APPLICATION DEADLINE:

Application material must be **completed and submitted by the FOURTH MONDAY OF EACH MONTH BY 12:00 NOON**, (see official calendar for exceptions), before the Dallas Landmark Commission can consider the approval of any change affecting the exterior of any building. Provide this form along with applicable fees, and any supporting documentation must be filed with a Preservation Planner at City Hall, 1500 Marilla 5BN, Dallas, Texas, 75201. You may submit by email to Historicpreservation@dallas.gov. Please write your address and district in the email subject line.

Please use the enclosed criteria checklist as a guide to complete the application. Incomplete applications cannot be reviewed and will be returned to you for more information. You are encouraged to contact a Preservation Planner to ensure your application is complete. Click on the following link to the City of Dallas website for contact information:

<https://dallascityhall.com/departments/sustainabledevelopment/historicpreservation/Pages/Contacts.aspx>

OTHER:

In the event of a denial, you have the right to an appeal within 30 days after the Landmark Commission's decision. You are encouraged to attend the Landmark Commission hearing the first Monday of each month at 1:00 pm in Council Chambers of City Hall (see exceptions). Information regarding the history of past certificates of appropriateness for individual addresses is available for review in 5BN of City Hall.

Certificate of Appropriateness (CA)

City of Dallas Landmark Commission

Application Fee Schedule

Chapter 51A Dallas Development Code: Ordinance No. 19455, as amended Subsection aa: Fees for Landmark Commission Applications.

1. An application will not be processed until the fee has been paid.
2. The applicant shall pay the filing fee to the building official. The building official shall deposit fees received in the official city depository not later than the next business day following receipt of the fees.
3. The city controller shall refund 75 percent of the filing fee to the applicant if the applicant withdraws the application prior to the case being advertised for hearing. After the case is advertised, no refund of the filing fee may be made. Please contact a Preservation Planner for refund request inquiries.
4. Fee Schedule.

Type of Application	Application Fee	Office Use Only – Payment Received
Certificate of appropriateness for new construction	\$500	Date: Receipt No.
Certificate of appropriateness/certificate of demolition or removal for unauthorized work *	\$600	Date: Receipt No.

***For unauthorized work – new construction only -For all other see Certificate for Demolition and Removal application.**

5. The applicant shall pay a single filing fee for each certificate of appropriateness of certificate of demolition or removal for unauthorized work.
6. Make checks Payable to City of Dallas – note OHP application type in memo of check. Mail or bring to Dallas City Hall, 1500 Marilla Street, Room 5BN, Dallas, Texas 75201. The District Planner will provide payment options and instructions.
7. The landmark commission may waive the filing fee if the landmark commission finds that payment of the fee would result in substantial financial hardship be placed on the landmark commission's miscellaneous docket for predetermination. If the issue is placed on the miscellaneous docket, the applicant may not file the application until the merits of the request for waiver have been determined by the landmark commission. In making this determination, the landmark commission may require the production of financial documents.

Please review the enclosed Review and Action Form

Memorandum to the Building Official, a Certificate of Appropriateness has been:

<input type="checkbox"/>	APPROVED. Please release the building permit.
<input type="checkbox"/>	APPLICANT REQUEST FOR WITHDRAWAL, 75% REFUND APPROVED: DATE
<input type="checkbox"/>	APPLICANT REQUEST FOR WITHDRAWAL WITHOUT REFUND: DATE
<input type="checkbox"/>	APPROVED WITH CONDITIONS. Please release the building permit in accordance with any conditions.
<input type="checkbox"/>	DENIED. Please do not release the building permit or allow work.
<input type="checkbox"/>	DENIED WITHOUT PREJUDICE. Please do not release the building permit or allow work.

Signed drawings and/or specifications are enclosed ☐ Yes

5/18/2024 12:59:18 PM

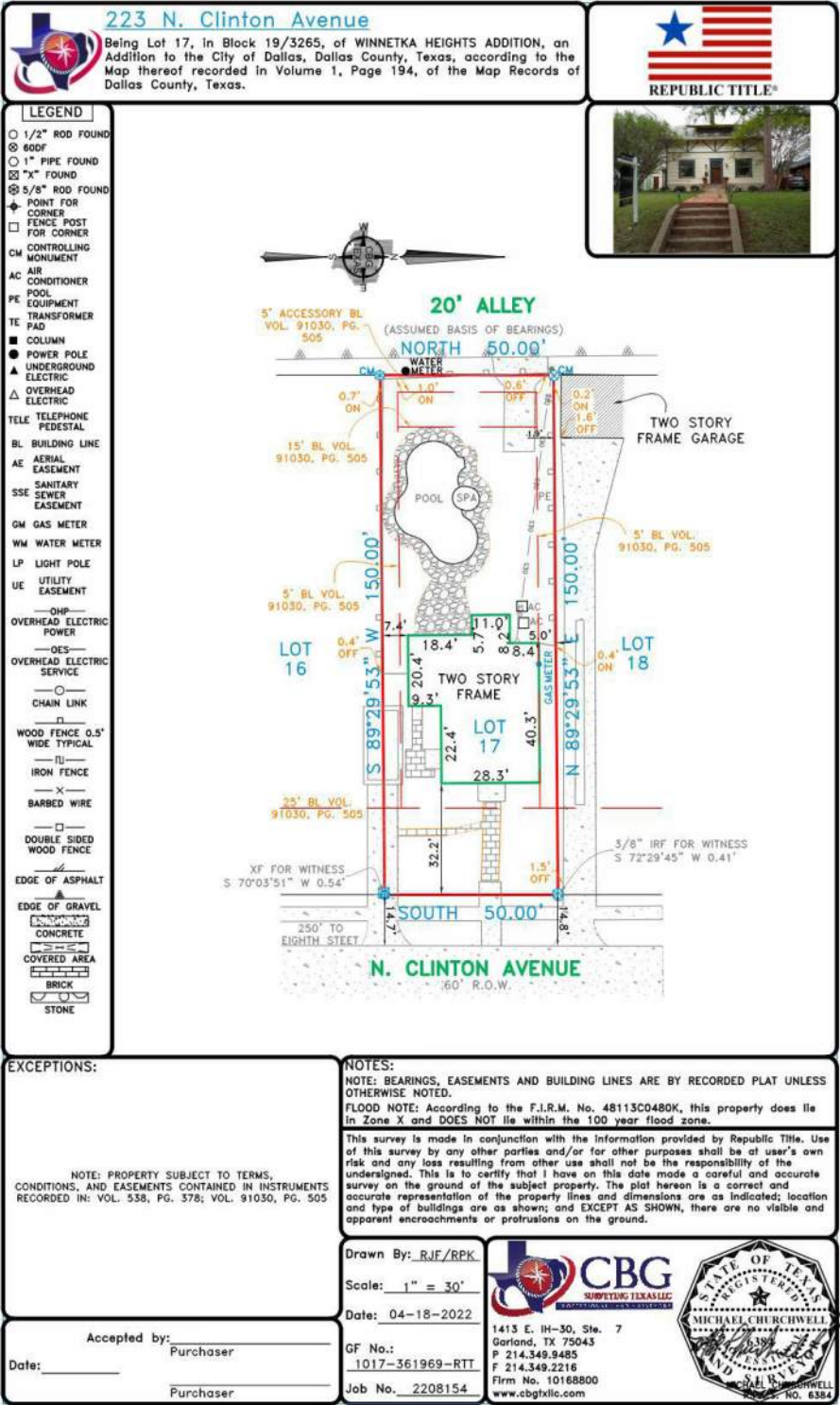
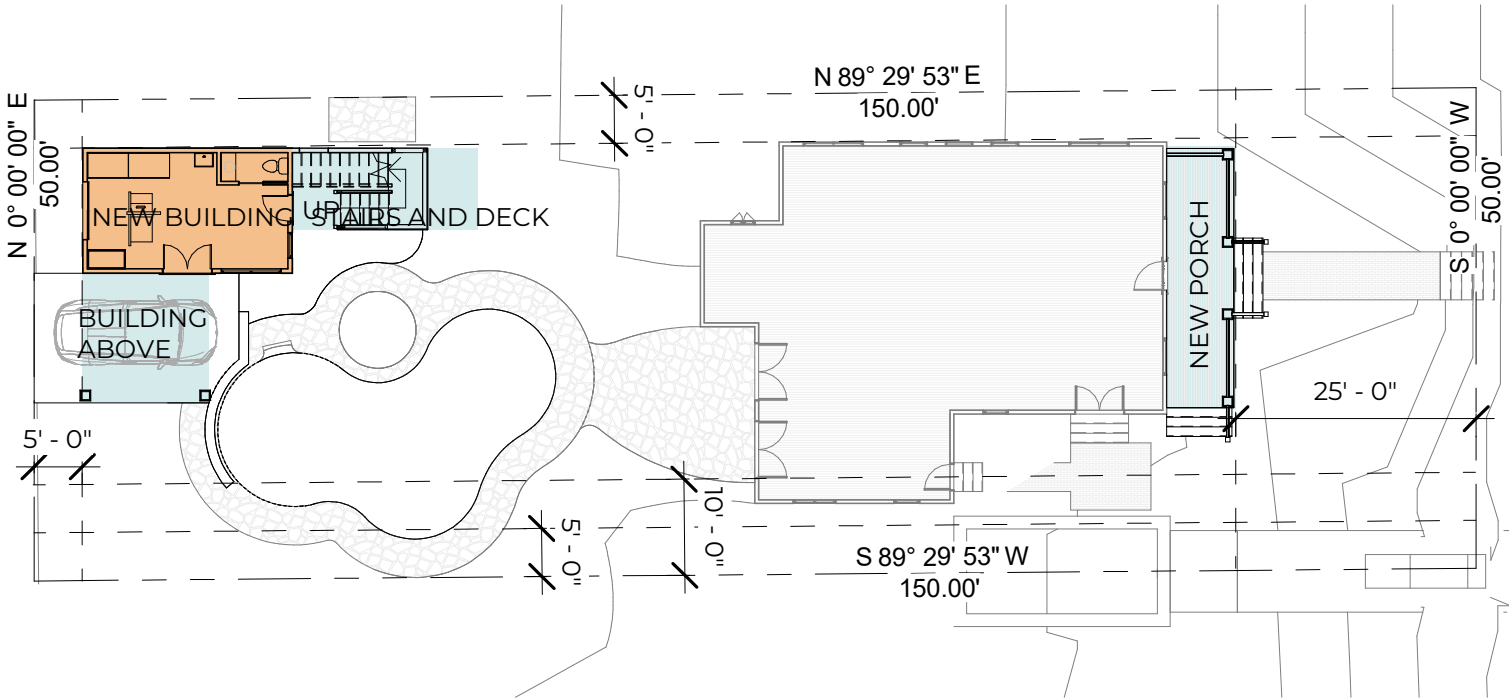
LOT COVERAGE:

SITE SQUARE FOOTAGE:	7,500 SQ FT
MAIN HOUSE SQ FT:	1,446 SQ FT
CURRENT PERCENTAGE:	19.3%
SITE COVERAGE ALLOWED (PER ZONING):	35%
PROPOSED ADDED COVERAGE: (ACCESSORY STRUCTURE AND PORCH)	660 SQ FT
PROPOSED COVERAGE:	28%

ACCESSORY STRUCTURE SIZE LIMIT:

ACCESSORY DWELLING SPECIFIC
SIZE LIMITATION IS 25% OF MAIN DWELLING

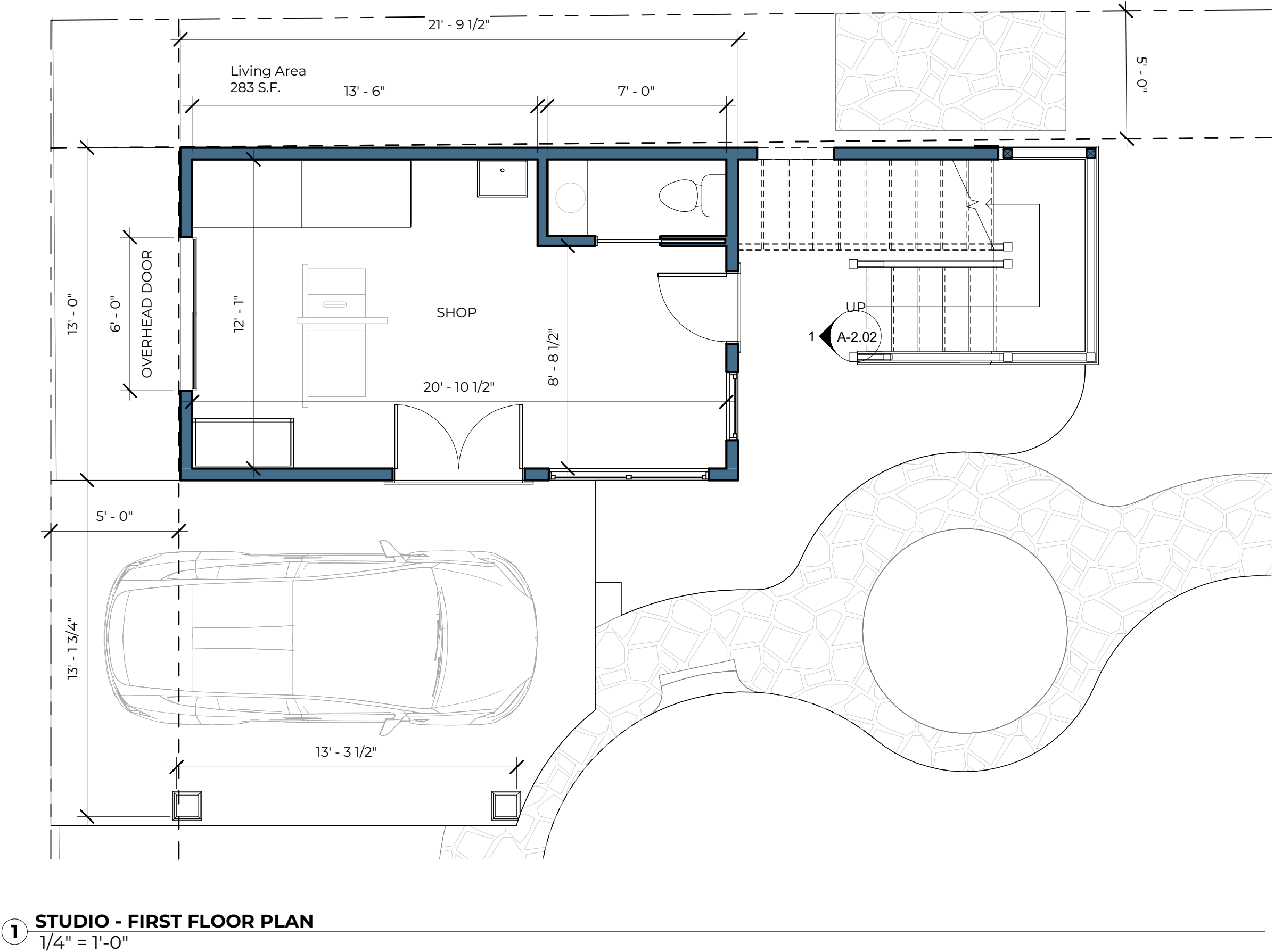
MAIN DWELLING FLOOR AREA: PER DCAD	2,316 SQ FT
INCLUDING PORCH:	2,516 SQ FT
25% OF MAIN DWELLING:	629 SQ FT
PROPOSED FLOOR AREA OF ACCESSORY STRUCTURE: (BOTH FLOORS) (NOT INCLUDING PARKING)	621 SQ FT

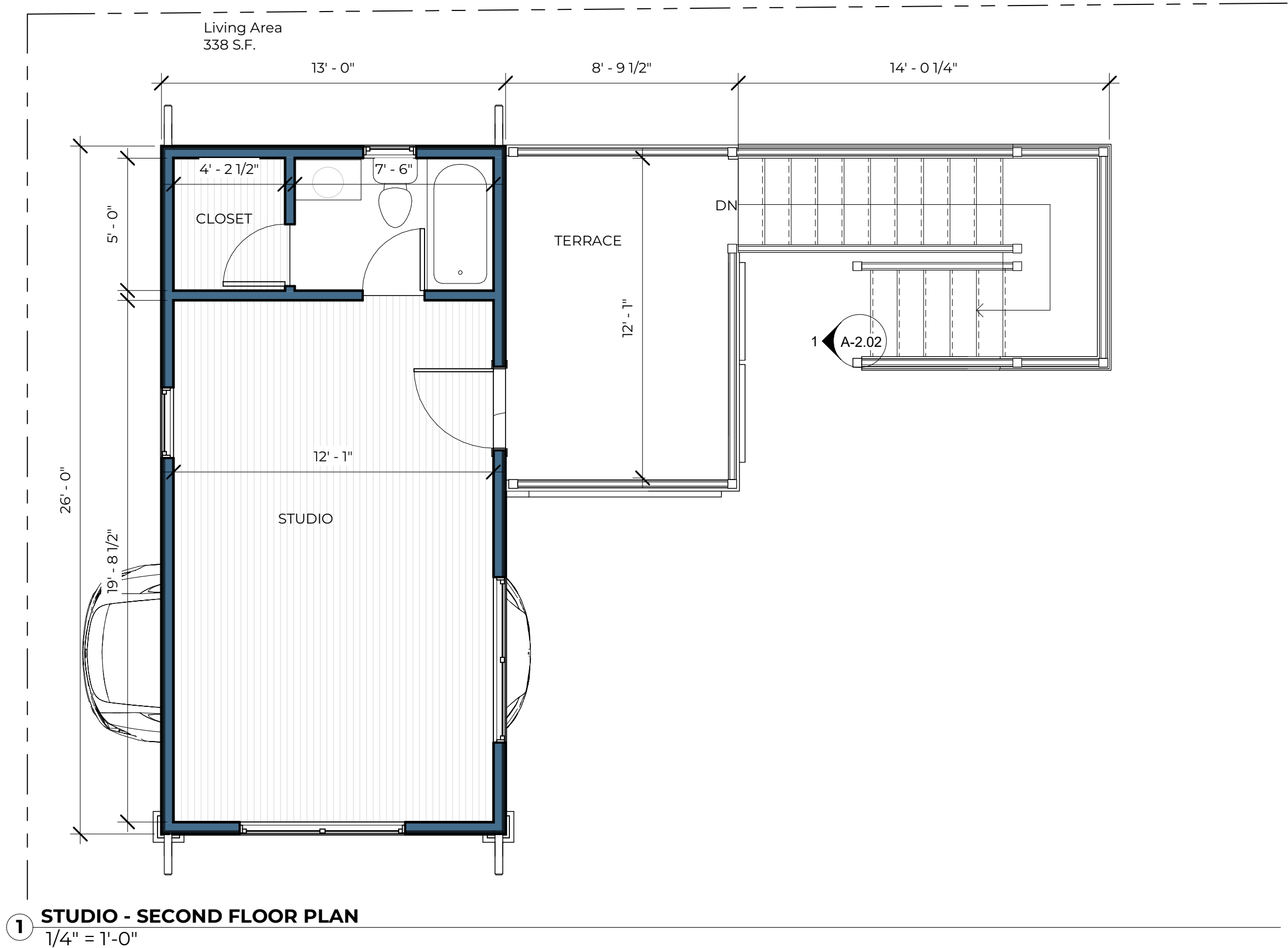


SITE PLAN

Project number: 23.10-03
Date: 05-18-03

AS-1.01





TEZANTO

817.602.8161
fred@tezanto.com

ANETTE AND DAVID
OWEN

223 N CLINTON DALLAS, TX
75208

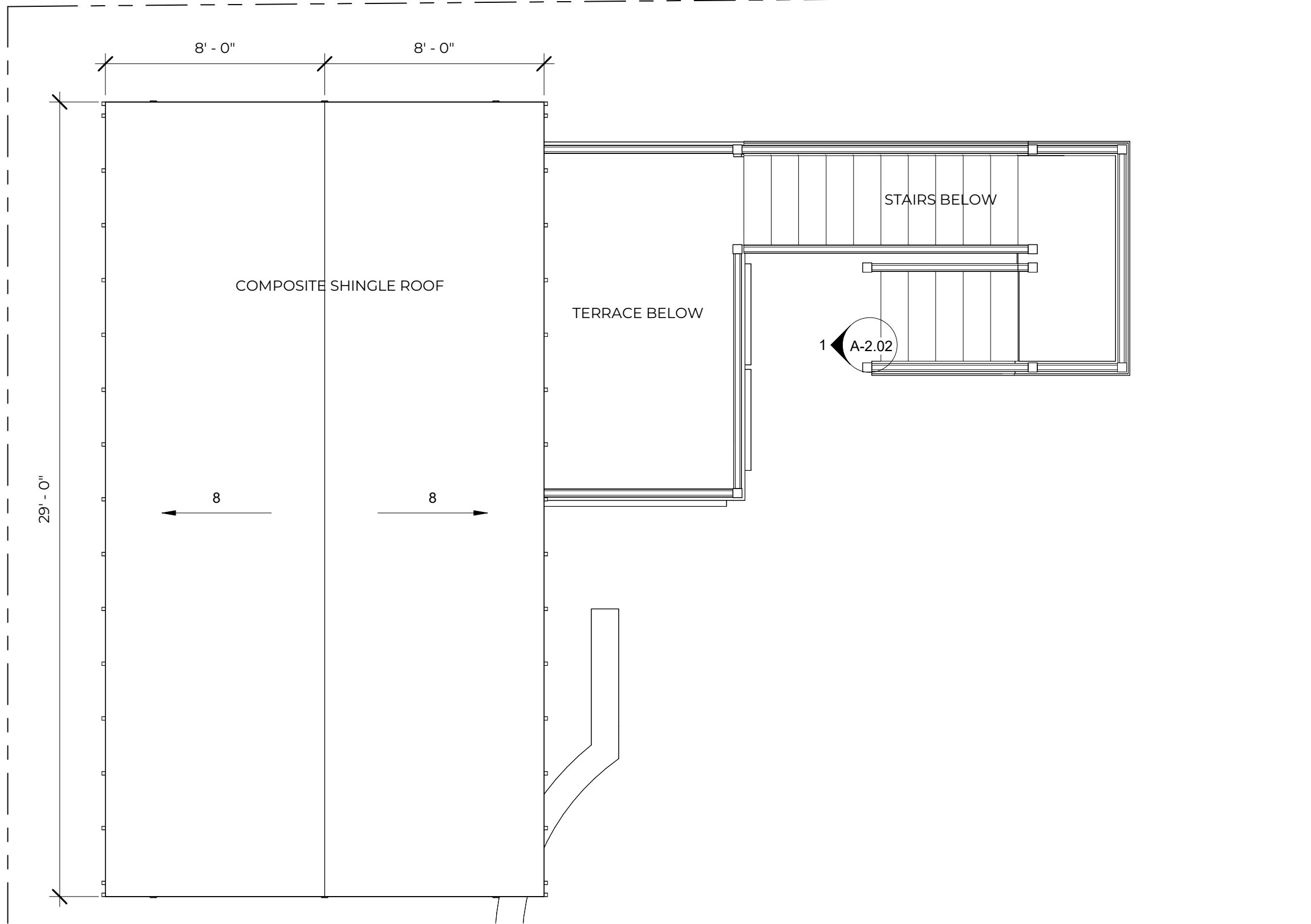
STUDIO SECOND
FLOOR PLAN

Project number:
23.10-03

Date:
05-18-03

A-1.02

1 STUDIO ROOF PLAN
1/4" = 1'-0"



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75208
STUDIO ROOF
PLAN

Project number: 23.10-03
Date: 05-18-03

A-1.05

5/18/2024 12:59:12 PM



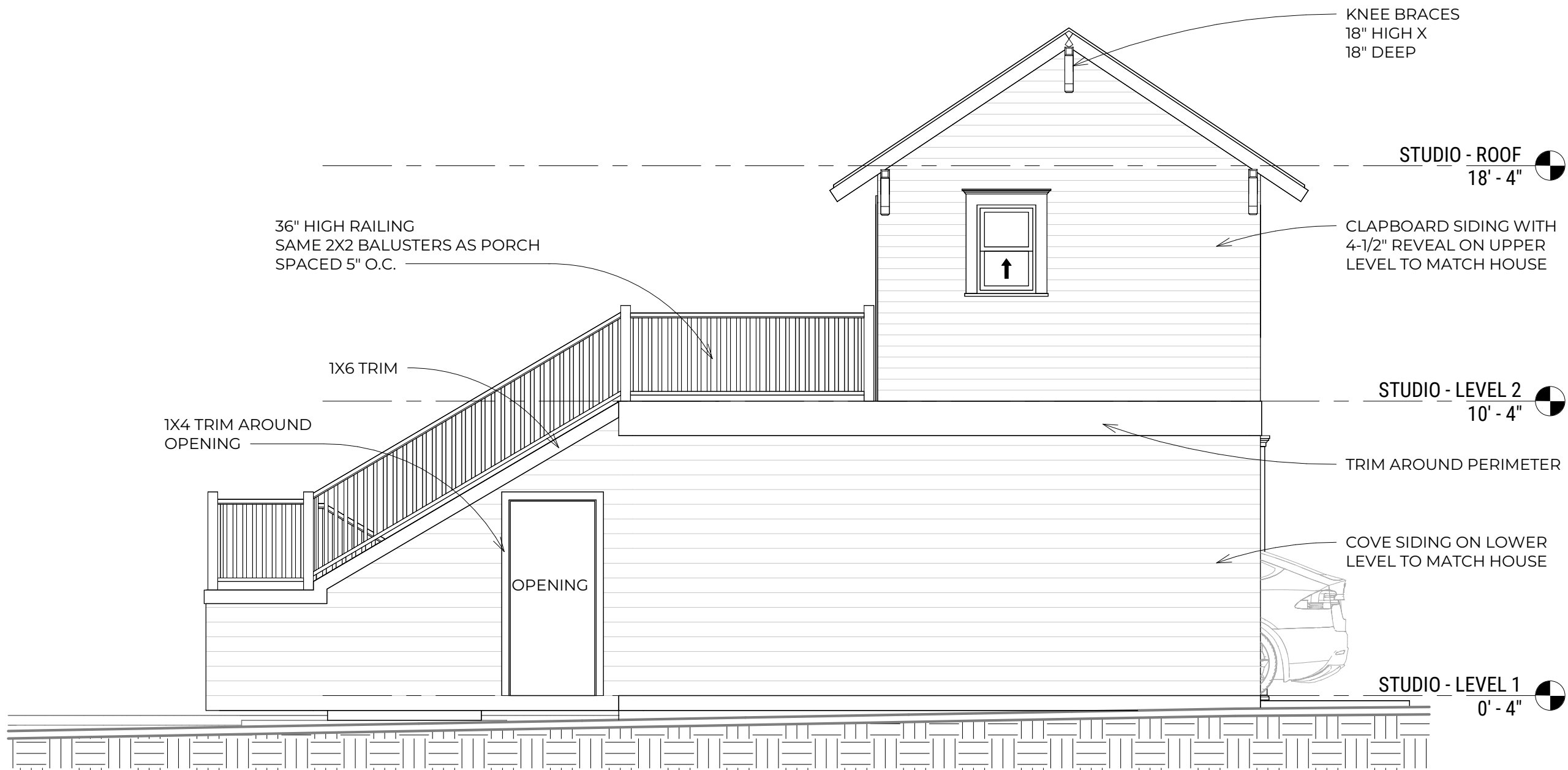
1 **STUDIO - EAST**
1/4" = 1'-0"

**STUDIO
ELEVATIONS**

Project number:
23.10-03

Date:
05-18-03

5/18/2024 12:59:13 PM



1 STUDIO - NORTH
1/4" = 1'-0"



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75208

STUDIO
ELEVATIONS

Project number: 23.10-03

Date: 05-18-03

A-2.03

5/18/2024 12:59:13 PM



1 STUDIO - SOUTH
1/4" = 1'-0"



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75208

STUDIO
ELEVATIONS

Project number:
23.10-03

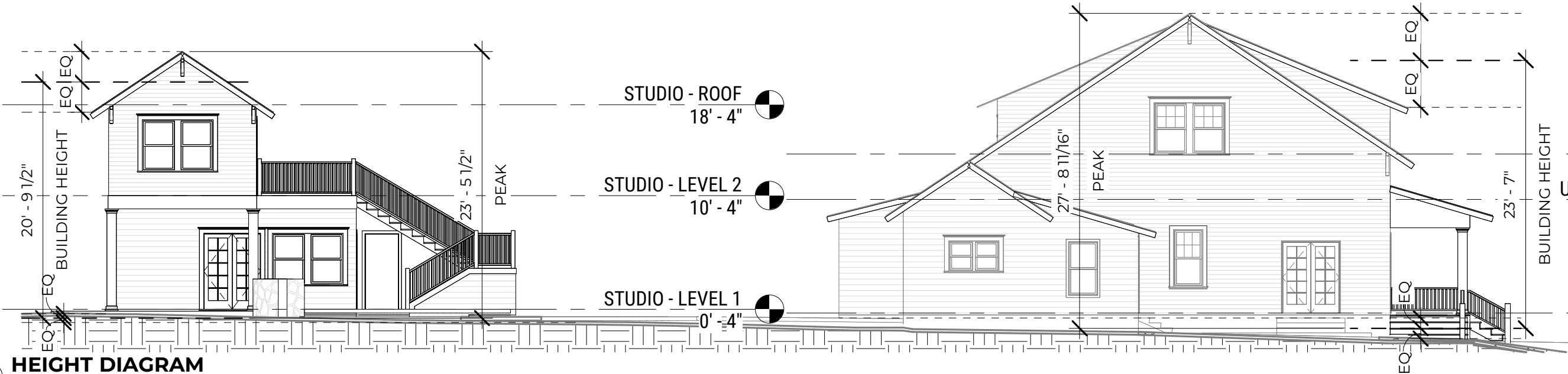
Date:
05-18-03

A-2.04



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1 HEIGHT DIAGRAM
1" = 10'-0"

- Roof 14' - 0"
- Upper Level 10' - 0"
- Main Level 0' - 0"

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OWEN

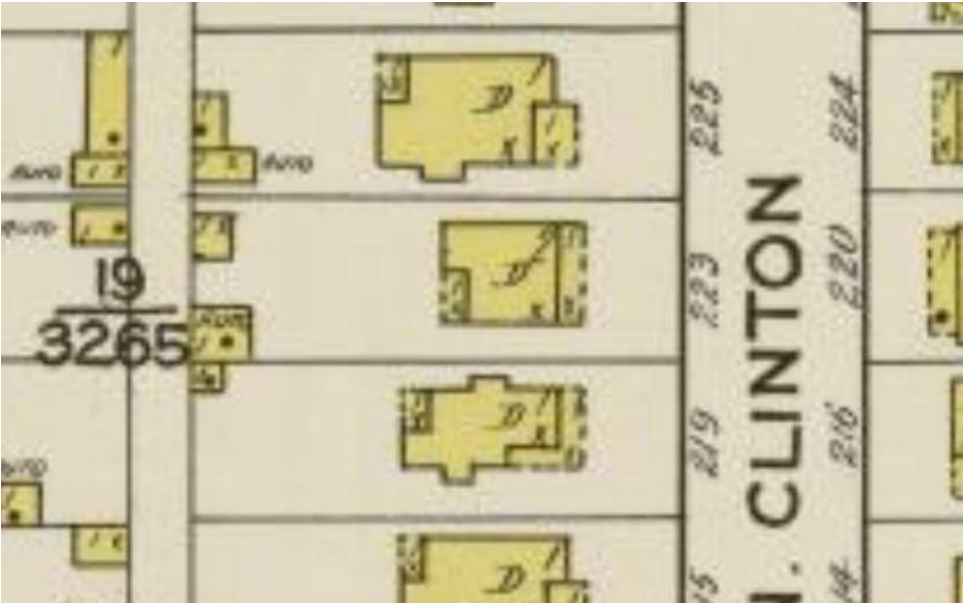
223 N CLINTON DALLAS, TX
75208

HEIGHT DIAGRAM

Project number:
23.10-03

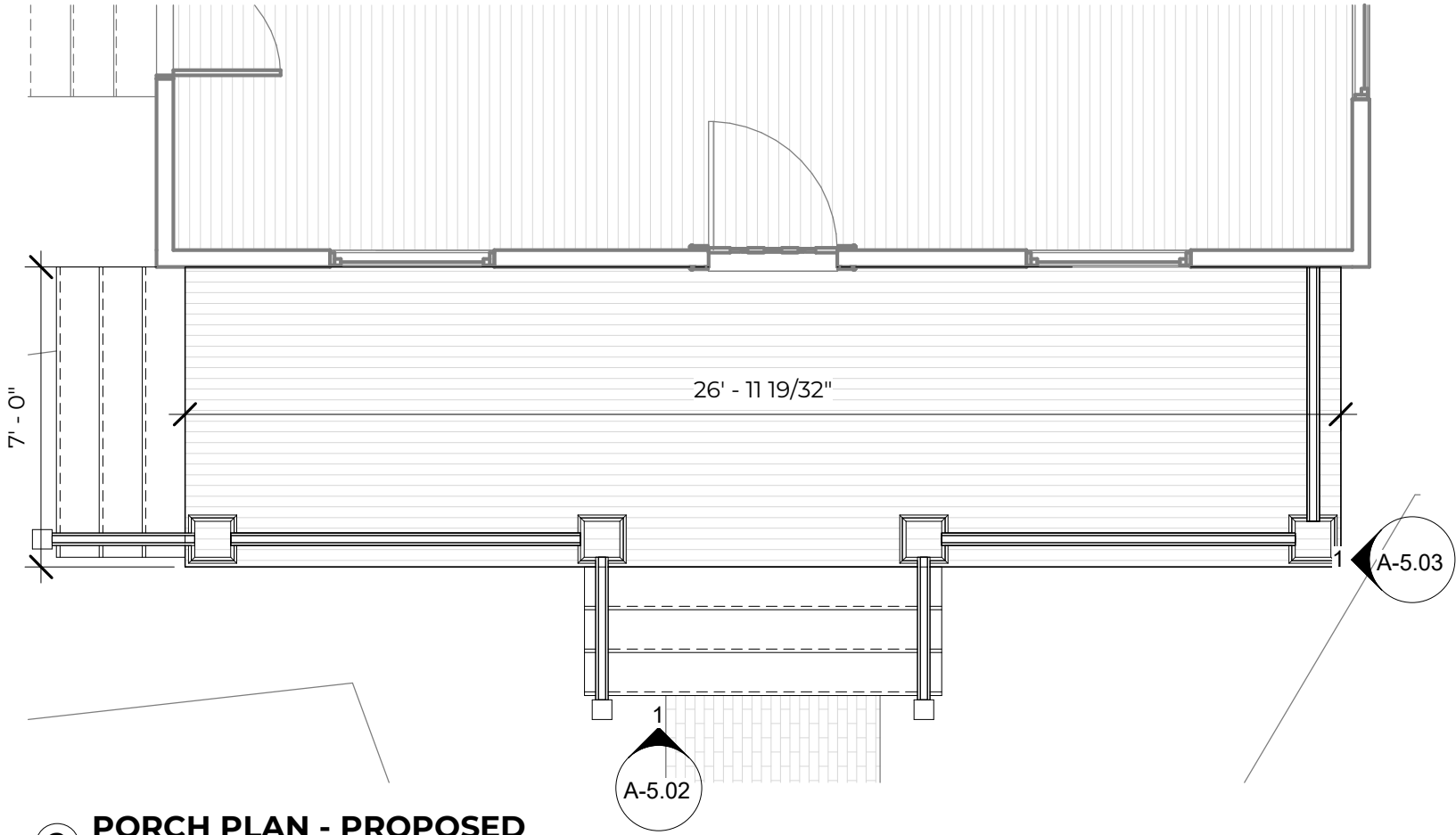
Date:
05-18-03

A-3.01

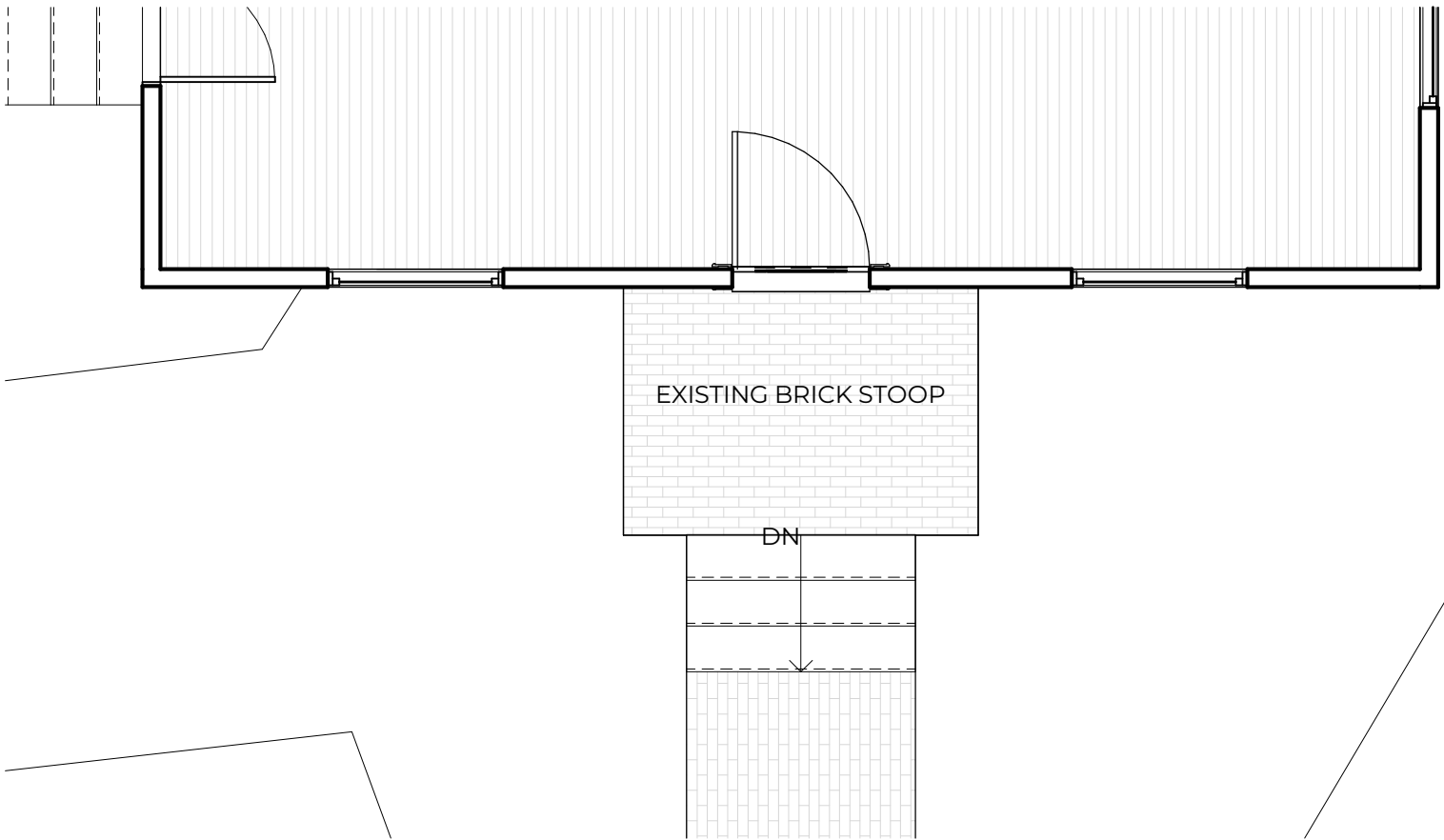


1921 SANBORN MAP SHOWING A FRONT PORCH SPANNING THE FULL WIDTH OF THE HOUSE. ALSO SHOWS TWO ACCESSORY STRUCTURES IN THE BACK THAT NO LONGER EXIST.

SANBORN MAP



2 PORCH PLAN - PROPOSED
1/4" = 1'-0"



1 PORCH PLANS
1/4" = 1'-0"



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PORCH - FLOOR
PLANS

Project number:
23.10-03

Date:
05-18-03

A-5.01

5/18/2024 12:59:13 PM



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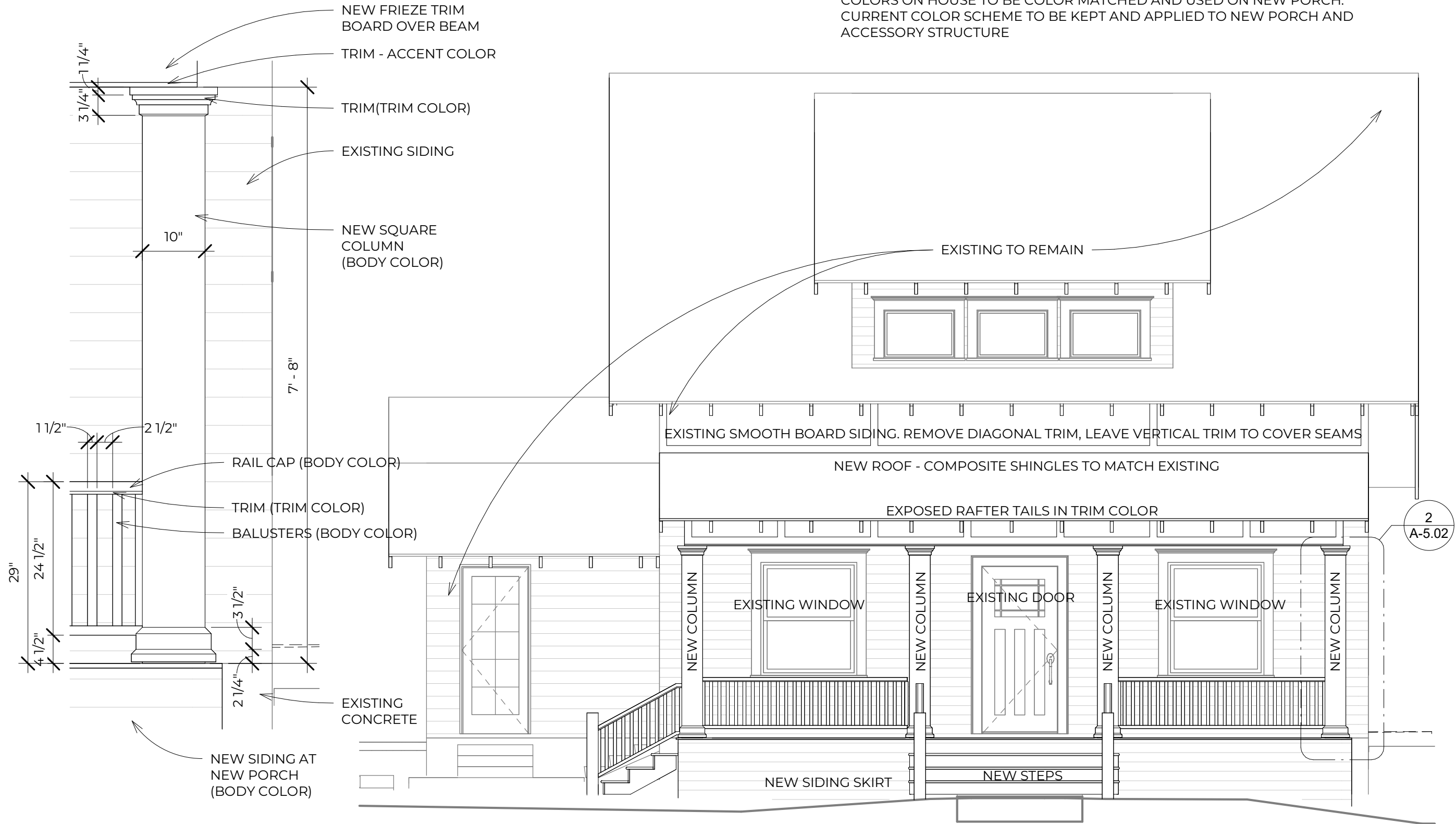
PORCH
ELEVATIONS

Project number:
23.10-03

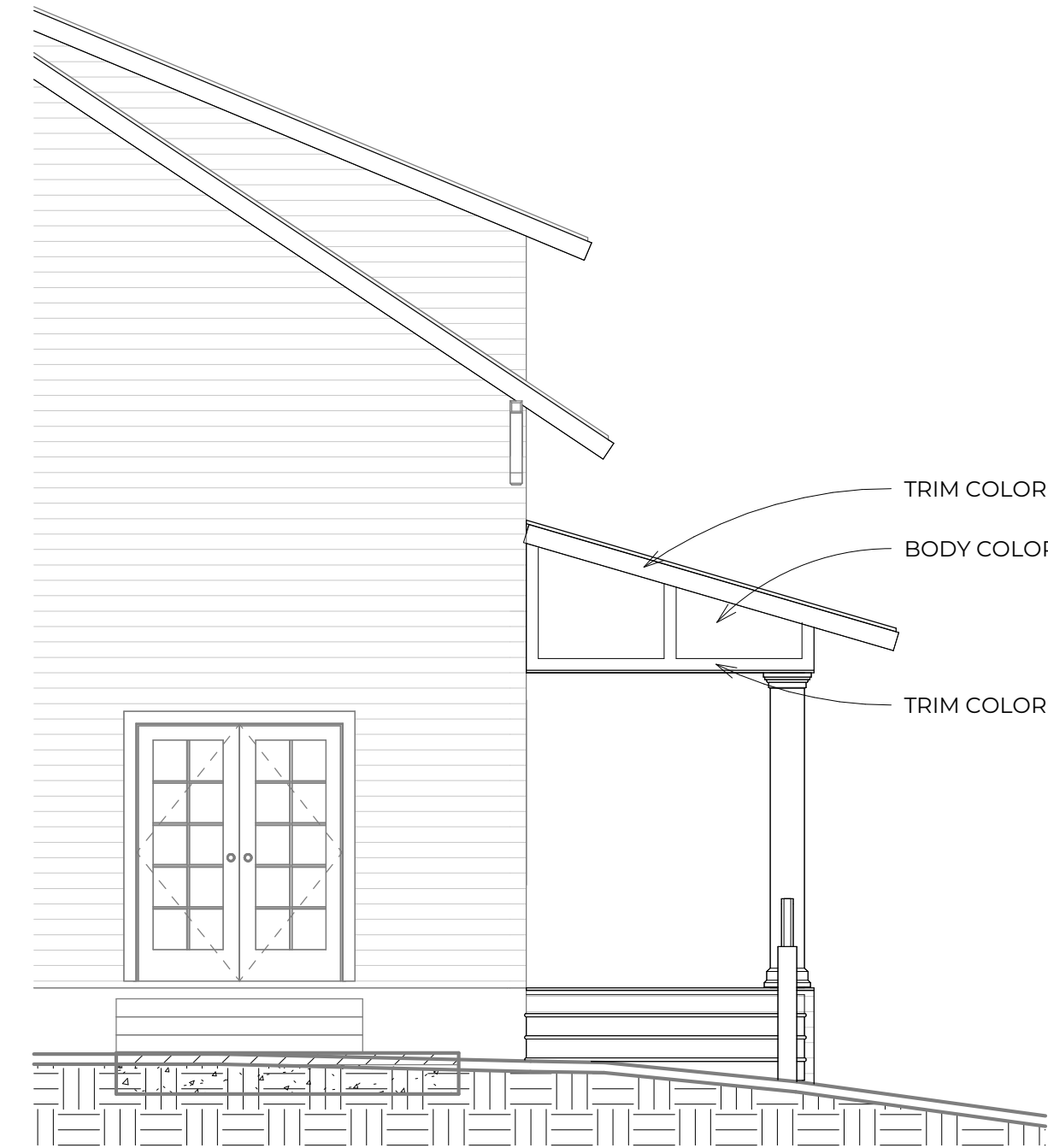
Date:
05-18-03

A-5.02

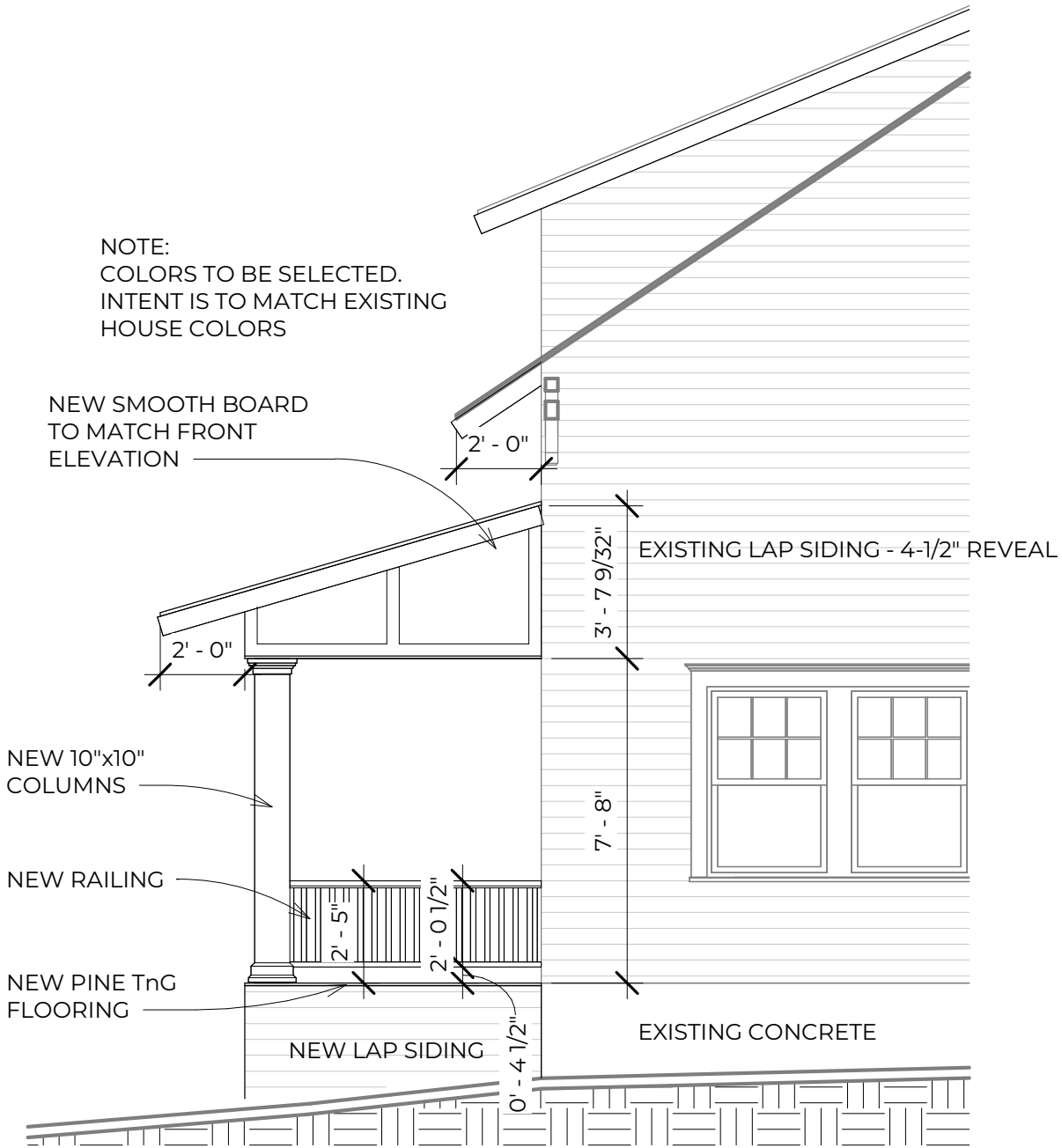
NOTE:
COLORS ON HOUSE TO BE COLOR MATCHED AND USED ON NEW PORCH.
CURRENT COLOR SCHEME TO BE KEPT AND APPLIED TO NEW PORCH AND
ACCESSORY STRUCTURE



5/18/2024 12:59:14 PM



2 SOUTH PORCH ELEVATION
1/4" = 1'-0"



1 NORTH PORCH ELEVATION
1/4" = 1'-0"

**ANETTE AND DAVID
OWEN**
223 N CLINTON DALLAS, TX
75208

**PORCH
ELEVATIONS**

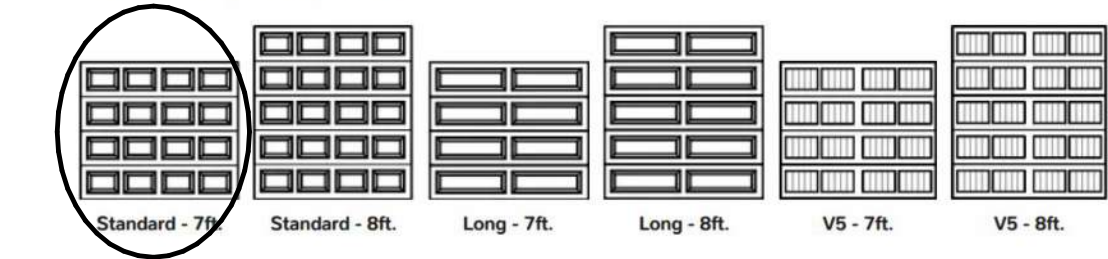
Project number: 23.10-03
Date: 05-18-03

5/18/2024 12:59:14 PM



ROOF

BRAND: GAF
MATERIAL: TIMBERLINE HDZ SHINGLES
OPTIONS: COMPOSITE SHINGLES
BIRCHWOOD COLOR



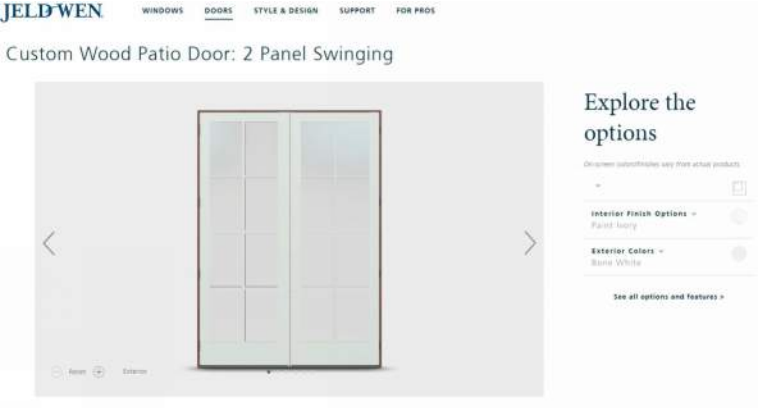
GARAGE DOOR

BRAND: OVERHEAD DOOR
FINISH: PAINTED METAL
OPTIONS: 5' WIDE FOR MOWER AND LARGE MATERIALS



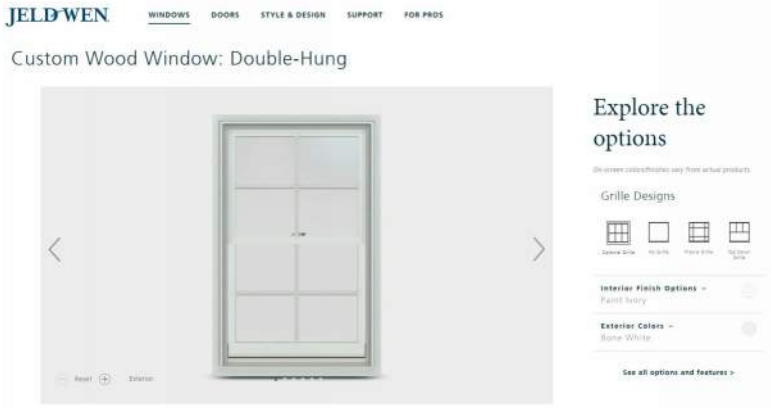
EXTERIOR SCONCE LIGHT

BRAND: LNC
FINISH: OIL RUBBED BRONZE
OPTIONS: WALL MOUNT SINGLE LIGHT



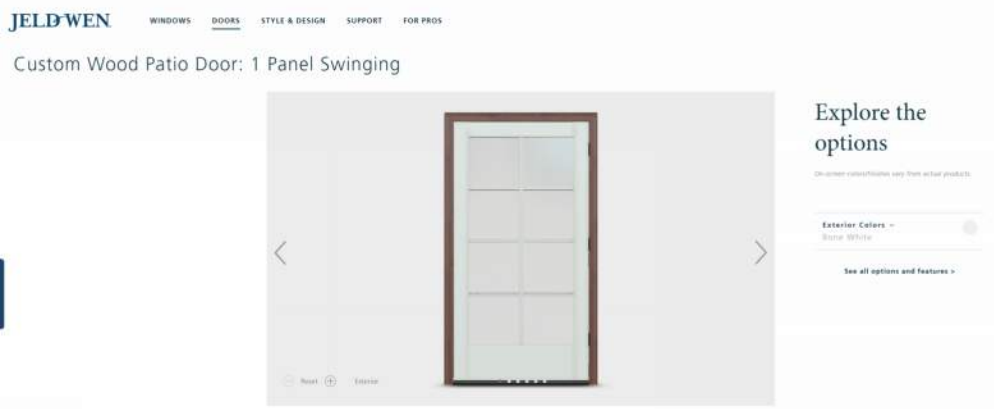
PATIO DOUBLE

BRAND: JELD-WEN
MATERIAL: WOOD
OPTIONS: 10 LITE



DOUBLE HUNG

BRAND: JELD-WEN
MATERIAL: WOOD
OPTIONS: 4-OVER-1 AND 1-OVER-1



PATIO SINGLE DOOR

BRAND: JELD-WEN
MATERIAL: WOOD
OPTIONS: 10 LITE



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75208

SPECIFICATIONS

Project number: 23.10-03

Date: 05-18-03

A-7.01

5/18/2024 12:59:16 PM

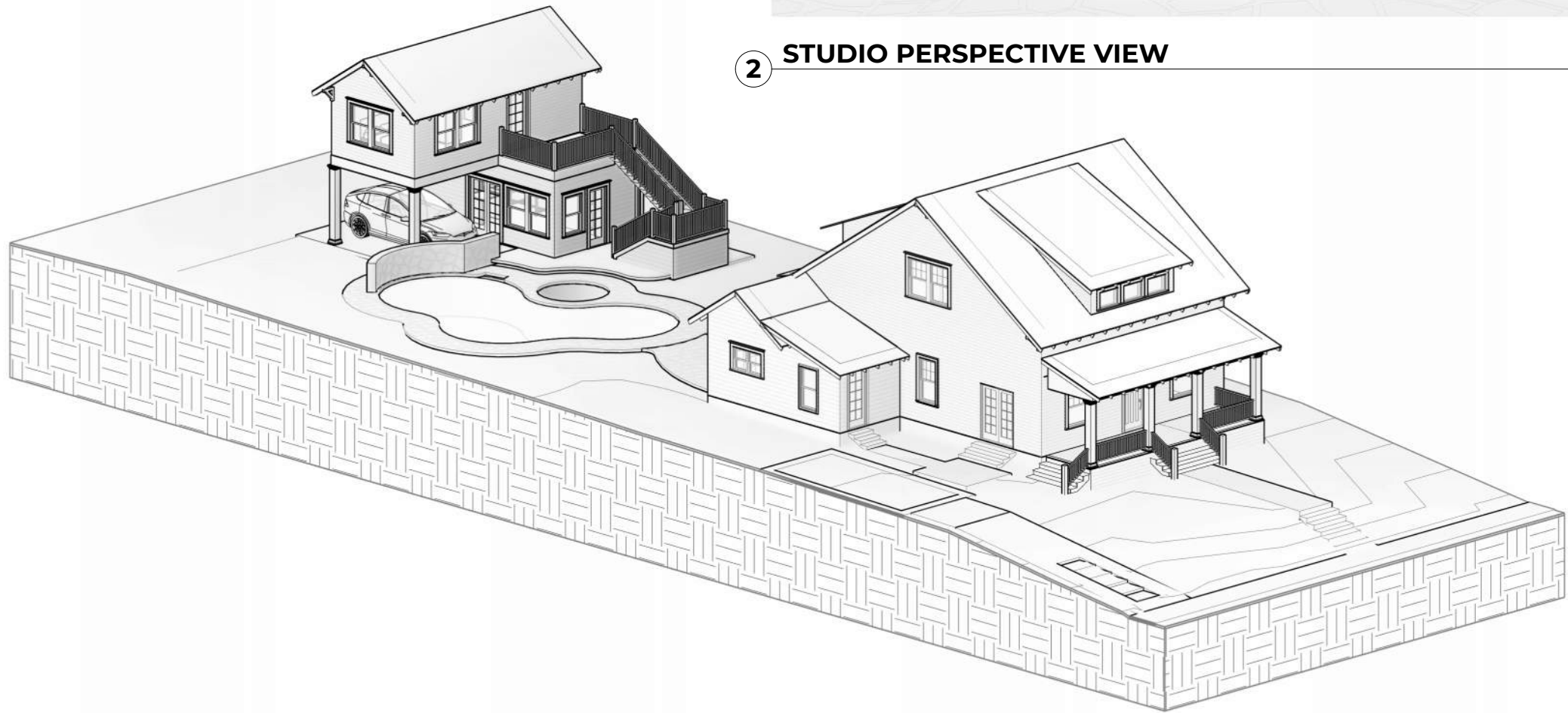


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2 STUDIO PERSPECTIVE VIEW



1 SITE AXONOMETRIC

ANETTE AND DAVID

OWEN

223 N CLINTON DALLAS, TX
75208

3D VIEWS - FOR
REFERENCE

Project number:
23.10-03

Date:
05-18-03

A-9.01



REAR VIEW OF
HOUSE



FRONT VIEW OF HOUSE

SEVERAL HOUSES ON THIS STREET HAD THEIR PORCHES TORN OFF DURING THE 1957 TORNADO. IT IS BELIEVED THAT THIS HOUSE HAD ITS PORCH TORN OFF.



STUDIO SITE - REAR RIGHT CORNER



FRONT VIEW



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ANETTE AND DAVID
OWEN

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75208

EXISTING HOUSE
PICTURES

Project number:
23.10-03

Date:
05-18-03

A-9.02

Memorandum



DATE: May 29, 2024

TO: City of Dallas Landmark Commissioners

FROM: Historic Preservation Office

SUBJECT: Landmark Commission Authorized Hearing

District 7 Landmark Commissioner, Traswell Livingston III, has requested that the Landmark Commission authorize a public hearing to consider recommending approval of initiating the historic designation process for the Queen City Neighborhood in South Dallas, generally bounded by State Highway 310 (aka S.M. Wright Freeway), Warren Avenue, Malcolm X Boulevard, and Eugene Street. Attached is the statement of intent for your review along with supporting documentation.

This is a hearing to consider initiation of the historic designation process to establish a historic overlay district and not the designation of the area at this time.

Rhonda Dunn, Ph.D.

Rhonda Dunn, Ph.D.
Senior Planner
Historic Preservation Office

Enclosures: (3)

- Statement of Intent
- Public Notices (Published in the Dallas Morning News)
- Community Meetings (2) – Minutes and Transcript

"Our Product is Service"
Empathy | Ethics | Excellence | Equity | Engagement

March 31, 2024

Dr. Rhonda Dunn
Historic Preservation Office
City of Dallas
1500 Marilla
Dallas, TX 75201

RE: Request to consider the granting of a Historic Overlay District for an area known as the Queen City Neighborhood, generally bounded by State Highway 310 (aka S.M. Wright Freeway), Warren Avenue, Malcolm X Boulevard, and Eugene Street; initially settled from 1905 to 1929.

Dear Dr. Dunn,

I, Traswell C. Livingston III, Landmark Commissioner for District 7 (Sunny South Dallas), along with Commissioners Taylor (D-4) and Offutt (D-5), request Dallas' Queen City Neighborhood, nationally known and recognized as a Historic District, be placed on the agendas of the Landmark Commission - Public Hearing on May 6 as well as the Landmark Commission - Public Hearing on June 3. These steps of consideration are at the request of Queen City residents and property owners.

Queen City is a significant enclave with a rich history deeply intertwined with the African American suburban development of South Dallas. Established between circa 1905 and 1945, the district served as a pivotal hub for the community's residential expansion during this period. Situated approximately two miles southeast of downtown Dallas, Queen City lies just a few blocks south of the historical "color line" that demarcated African American residential areas from segregated white neighborhoods to the north and west prior to World War II.

The district's architectural landscape primarily comprises modest vernacular and Craftsman-influenced domestic buildings. These structures, characterized by their modesty and craftsmanship, are emblematic of the era's architectural trends and reflect the socio-economic dynamics of the community at the time of their construction.

Geographically, Queen City is bounded by Warren Avenue to the north, Eugene Street to the south, State Highway 310 (aka S.M. Wright Freeway) to the west and Malcolm X Boulevard to the east. The heart of the district lies along Atlanta Street, with the 3700 block of Dildock Street running parallel to Atlanta Street. Notably, the area's dense layout, narrow streets, and small building setbacks contribute to its distinct character and sense of community.

Throughout its history, Queen City has witnessed both periods of prosperity and challenges. While many of its buildings have endured and remain in fair condition, some have fallen into disrepair due to neglect or lack of maintenance. Nevertheless, the district's architectural

integrity persists, offering a glimpse into its storied past and serving as a testament to its resilient spirit.

In recognition of its historical significance, the heart of Queen City has been designated and has been placed on the National Register of Historic Places, with 94 buildings comprising its architectural fabric. Among these, 47 are classified as contributing buildings, representing structures that retain their historic character and add to the district's overall ambiance. Conversely, the remaining 47 buildings are categorized as noncontributing, often due to significant alterations or post-1945 construction that detracts from the district's historical integrity.

As efforts to preserve and revitalize Queen City continue, the district remains a cherished landmark, embodying the cultural heritage and community pride of South Dallas. Through ongoing restoration initiatives and community engagement, Queen City's legacy endures, ensuring that its story continues to inspire future generations.

Queen City Designation Criteria

The preservation criteria identify the merit(s) for designation. Queen City meets seven (7) of the ten (10) preservation criteria.

1. History, heritage, and culture: Represents the historical development, ethnic heritage or cultural characteristics of the city, state, or country.
2. Historic context: Relationship to other distinctive buildings, sites, or areas which are eligible for preservation based on historic, cultural, or architectural characteristics.
3. National and state recognition: Eligible for or designated as a National Historic Landmark, Recorded Texas Historic Landmark, State Archeological Landmark, American Civil Engineering Landmark, or eligible for inclusion in the National Register of Historic Places.
4. Historic Education: Represents an era of architectural, social, or economic history that allows an understanding of how the place or area was used by past generations.
5. Architecture: Embodiment of distinguishing characteristics of an architectural style, landscape design, method of construction, exceptional craftsmanship, architectural innovation, or contains details which represent folk or ethnic art.
6. Unique visual feature: Unique location of singular physical characteristics representing an established and familiar visual feature of a neighborhood, community or the city that is a source of pride or cultural significance.
7. Significant Persons: Identification with a person or persons who significantly contributed to the culture and development of the city, state, or country.

Respectfully Submitted,



Traswell C. Livingston III
District 7 Commissioner
Dallas Landmark Commission

Cc: Commissioner Taylor, Commissioner Offutt

NOTICE OF THE LANDMARK COMMISSION PUBLIC HEARING

The Landmark Commission of the City of Dallas, Texas will hold a public hearing at 1:00 p.m., **Monday, May 6, 2024**, via videoconferencing and in the Briefing Room, 6ES at City Hall, to determine whether or not Chapter 51, Chapter 51A, and Chapter 51P of the Dallas City Code, as amended, should be amended by the granting of the following applications.

The City of Dallas will make "Reasonable Accommodations" to programs and/or other related activities to ensure all residents have access to services and resources to ensure an equitable and inclusive meeting. Anyone requiring auxiliary aid, service, and/or translation to fully participate in the meeting should notify the Board Coordinator by calling (214) 670-4206 or TTY (800) 735-2989, at least seventy-two (72) hours (3 days) in advance of the scheduled meeting. A video stream of the meeting will be available two business days after adjournment by visiting <https://dallascityhall.com/government/Pages/Live.aspx>.

La Ciudad de Dallas llevará a cabo "Adaptaciones Razonables" a los programas y/u otras actividades relacionadas para garantizar que todos y cada uno de los residentes tengan acceso a los servicios y recursos para garantizar una reunión equitativa e inclusiva. Cualquier persona que necesite ayuda auxiliar, servicio y/o traducción para participar de forma plena en la reunión, debe notificar al Departamento llamando al (214) 670-1786 o TTY (800) 735-2989, por lo menos setenta y dos (72) horas (3 días) antes de la reunión programada. Una transmisión de video de la reunión estará disponible dos días hábiles luego del levantamiento de la reunión visitando <https://dallascityhall.com/government/Pages/Live.aspx>.

The public may listen to the meeting as an attendee at the following videoconference link: <https://dallascityhall.webex.com/dallascityhall/j.php?MTID=m2a605adba1083e2476532868ae0656db>

Individuals and interested parties wishing to speak must register with the Historic Preservation Office by emailing Phyllis.hill@dallas.gov one hour prior to the meeting date start time.

Las personas y las partes interesadas que deseen hablar deben registrarse en la Oficina de Preservación Histórica enviando un correo electrónico a Phyllis.hill@dallas.gov una hora antes de la fecha de inicio de la reunión.

To request an interpreter, please email phyllis.hill@dallas.gov at least 72 hours (3 days) in advance of a meeting. Late requests will be honored, if possible.

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Zoning Case

This notice authorizes the Landmark Commission to consider recommending approval of initiating the historic designation procedure. The historic landmark designation will not change the land use.

Request – A Landmark Commission authorized hearing to consider initiating the historic designation procedure to establish a historic overlay district, on property constituting a subdistrict within Planned Development District No. 595, an area known as the Queen City Neighborhood, generally bounded by State Highway 310 (aka S.M. Wright Freeway), Warren Avenue, Malcolm X Boulevard, and Eugene Street.

The purpose of this request is to consider initiating the historic designation procedure and provide for preservation criteria to preserve the neighborhood's historical, cultural, and architectural importance.

Speakers at the meeting are allowed a maximum of three minutes to speak. For further information, call the Historic Preservation Office at (214) 670-4206.

The public may attend the meeting virtually; however, City Hall is available for those wishing to attend the meeting in person.

Location for in-person attendance:

1500 MARILLA STREET, DALLAS, TEXAS, 75201, THE DALLAS CITY HALL BRIEFING ROOM, 6ES

NOTICE OF THE LANDMARK COMMISSION PUBLIC HEARING

The Landmark Commission of the City of Dallas, Texas will hold a public hearing at 1:00 p.m., **Monday, June 3, 2024**, via videoconferencing and in the Briefing Room, 6ES at City Hall, to determine whether or not Chapter 51, Chapter 51A, and Chapter 51P of the Dallas City Code, as amended, should be amended by the granting of the following applications.

The City of Dallas will make "Reasonable Accommodations" to programs and/or other related activities to ensure all residents have access to services and resources to ensure an equitable and inclusive meeting. Anyone requiring auxiliary aid, service, and/or translation to fully participate in the meeting should notify the Board Coordinator by calling (214) 670-4206 or TTY (800) 735-2989, at least seventy-two (72) hours (3 days) in advance of the scheduled meeting. A video stream of the meeting will be available two business days after adjournment by visiting <https://dallascityhall.com/government/Pages/Live.aspx>.

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Location for in-person attendance:

1500 MARILLA STREET, DALLAS, TEXAS, 75201, THE DALLAS CITY HALL BRIEFING ROOM, 6ES

Queen City Neighborhood Association Meeting
Salem Institutional Baptist Church
3819 Crozier
April 18, 2024
Meeting Minutes

The meeting was called to order by Ms. Eva Jones at 6:07 pm, prayer little Ms. Journey, granddaughter of Ms. Janice. Welcome by Ms. Eva and thank you to our special guests from the city and the Landmark Commission. Thank you for helping us to advance Queen City (QC) to the neighborhood (NH) that we have strived and are striving to build.

YMCA update by representative: Ms. Janice, the land has been cleared, all underground work has been finalized and the contractors are scheduled to begin to work. Everything is going as planned. As for the programs at the Y, the seniors are currently at the cultural center on RB Cullum. The camp for seniors will be on May 3-4 in Collin County at the Adventure Camp 1180 W Houston St, Anna, TX 75409. The teen program is currently at the Mildred Dunn on 2nd Ave next to JJ Rhodes school. The small children ages 3-5 years old are at the preschool at 3901 Latimer St.

Dr. Dunn, Historical Preservation gave us handouts that we should read and develop questions to bring back to the next meeting. There was a meeting last night and the Designation Committee met and has determined that QC met 7 out of 10 requirements to be Historically designated locally and become a local landmark. All we needed was 3.

On the handout we received tonight, we are meeting to introduce us to the LM commissioners that have prepared our application to the LM commission. Read and prepare your questions.

The LM public hearing will be on Monday May 6th at 1:00 pm at City Hall. Everyone is welcome to attend to support our efforts to be Historically designated. The next QC meeting will be May 16, 2024, at 6:00 pm at Salem Church. The next LM meeting will be on June 3, 2024, at 1:00 pm. Please attend to support the process. These are the steps (meetings) needed on the journey to the initiation.

The statement is also in the handout from Commissioner Livingston, the ordinances that apply to historical designation are also in the handout, the benefits of being a historical District, the process to go through and what's needed to make alterations or changes to your home once the process is complete.

The third thing in the handout is the Tax information, tax benefits to being a contributing property within a Historical District. If you rehabilitate your home, the cost of the rehab has to be a percentage of the value of your home, participating in the program can allow you to zero out the city portion of your taxes for up ten years.

Commissioner Traswell Livingston III lives in District 7 and has served as commissioner for less than 1 year. He currently lives in the South Blvd & Park Row neighborhood, born in Oak Cliff, baptized at St. Paul Baptist Church on Baxer St. His 1st house out of college was behind Lincoln on Oak Dale in 1999. The first house he purchased after college and has lived in for 14 years. He's learned a lot about Sunny South Dallas and is sure he can learn more.

As Commissioner, he is charged with preservation. It's only fighting to make every attempt to preserve the history of the neighborhood and character of QC.

No matter where you go these days, you can see changes in the neighborhood. We have all seen the construction in the NH & often time that construction does not consider the historical context, as we know from SM Wright, to I75. Preservation helps with a tool of the local government to preserve our history, not only in architecture but also in residential significance, things that have helped in the NH, people that have lived in the NH, change that was made in the NH, that's why he says that's important, specifically so we will know that the decision is not a decision that he takes lightly as a recommendation, but no more importantly we need to know and he's sure we already know that QC is a very significant NH in Dallas history and it's important for us to maintain the significant record of our history despite the value of a property, sometimes there are things more important than the price of a home. It's what happened in the NH, who lived in the home & that is what QC represents because sometimes when we as developers come in, we only think of just how much money we can make on the redevelopment. So again, that 's where preservation comes into play.

He was able to use the tax abatement when he had to replace his roof due to a storm and it was a qualifying event and a qualifying amount of \$1,500. It's all based on the percentages based on the property value listed on the CAD and not Zillow. In the South Blvd & Park Row area, they were a voice in what came into their NH. People come in from all over the country to build and all they see is how much they can save and make. They don't care about anything but the cost, their bottom line. They just want to build, get paid and move on to the next project.

As a commissioner he has staff that support him and ensures they stay compliant, they can't be involved in every event if they have personal knowledge of certain conversations. They may have to recuse themselves from voting. His term as Commissioner is 2 years & will be up in May of 2025 unless his term is renewed. Ms. Eva thanked him for what he has done and is doing for this district. The home he is in now was boarded up when he and his wife bought it. They did their best to preserve it by doing the work themselves, the wood floors, the windows to keep the character of the home & 14 years later they are still there. He is a Real Estate Broker and his office is at 2822 MLK.

He has a non-profit and can provide low-income housing for those that qualify based on their income and for individuals living with HIV, this includes affordable housing as well.

Commissioner Livingston has been through the struggles, poverty and hard times of South Dallas & he wants to be here through all the progress & all the good times as well. One way to do this is by maintaining affordability & sometimes in conservation with the preservation tools it helps us to maintain affordability because we've seen the YMCA development, we see SM Wright being leveled, we know what's happening at Forest Theatre, we see what's happening at the State Fair. This neighborhood is changing and changes cost money. In Real Estate it costs someone to develop & redevelop properties.

Conservation just puts some requirements in there so when someone thinks about redevelopment, they have some types of mandate or requirement to consider conservation and preservation. Be thoughtful of the climate of the NH, the aesthetics of the existing houses and try to maintain the character.

Question: Celeste asked, what are the boundaries and how are they determined?

Dr. Dunn: the boundaries are decided based on historical maps dating back to 1922. The boundaries can change – The Sanborn Insurance map is used and that's the area they have as to where QC is today. There is a railroad along Warren Ave to the North that separates QC from the next NH. To the West there is another railroad that is a central RR which is what it is called over to the west and there is Eugene to the South. Then a space between QC and the next NH. Then you have Malcolm X which used to be Oakland Ave to the East.

Question: If you want to renovate your home, what is the process when we are designated as a Historical District?

First, once we are initiated we will be under what is called a 2 year pre designation moratorium, basically what that is, at that point you will have to start turning in what they call a certificate of appropriateness application for renovations and it depends on the degree of renovation, i.e.; changing a fence, a roof or painting as long as you keep the same color, it will go for a staff review. Whomever the planner assigned to your NH, that person can turn it around in about 7 to 10 days. If it is something major, new addition to your home, all windows replaced, it has to go through the Landmark Commission, and this usually can take up to 6 weeks. These are only exterior changes. If you are changing your windows to the same window, they still want to see your plans to ensure they are the same, you will send them pictures of the current window, and from the catalog pages or store where you are buying them from so they can make sure you are staying with something compatible with what you already have now.

Question: Would that be an additional cost to have them reviewed? No additional costs for the reviews, the current fees they have are for new construction, i.e., a vacant lot you want to build on or you need to demolish a structure already there. If you don't follow the process and a neighbor calls it in to Code Compliance, someone can pay you a visit and possibly give you a fine for unauthorized work.

Once we are initiated, you will get what is called a development flag for your area, so that when you request permits the NH will be flagged & you won't get the permit without going through the correct process.

I did not get Celeste's next question. But someone stated that there were families that moved from the 10th Street area into QC and some of the streets were named after these people. It was asked that someone that may have information on this topic to bring it to the next meeting. Finding out who may have bought homes in QC to keep up with history. The moratorium starts as soon as the initiation process is complete.

The ladies from Councilman Bazaldua's office brought a lot of information on events coming and they will get a copy of the contact list and send that information to you.

Salem Church had a successful wellness event at the Exline Recreational Center, they are in partnership with CVS and their mammogram unit. As well as a new partnership with Colgate to provide free dental exams for children 12 & under. Keep your eye out for their mobile unit, Dental exams on wheels. There were some people that had illnesses that they were not even aware of and were able to get information from the nurse practitioners on site. This event is held every April. It is normally held at the YMCA but due to the construction, it was held at Exline.

Ms. LaSheryl, Director of Community Engagement for Forest Forward, the groundbreaking was held on April 4, on a very hot day, but we got through it. Thank those that were able to attend. Now the work begins and when you pass that area, you will see changes renderings of what will be, they cannot do any more tours, the asbestos abatement was just completed, and construction is about to start. Money is still being raised, \$24,000,000 is still needed to meet the goal of \$80,000,000. Construction completion is expected to be in December 2025. There will be a ribbon cutting and grand opening if you missed the groundbreaking. Follow them on Facebook, Instagram or their website @forestforward. There are photos on FB and IG, the event was super nice, with special guests: Royce West, Jasmine Crockett, Councilman Bazaldua, and the Major. Keep watching.

Dallas Police Office: Darius Johnson. It was a very busy weekend for the police. There were 3 major shootings in the SE, which have been doing pretty good compared to the rest of the city, murders have been down. The only crime that has been up are stolen vehicles. Spoke too soon, there was a shooting at 4500 Collins and now that area has been designated as a mandatory hot spot and an officer is there all day every day until further notice. One person died and 8 others were shot during this incident. During this same weekend there was another shooting on Malcolm X with females getting into a fight and the shooting started. Another shooting on South Blvd. Very busy weekend for the police. Ok, summer is coming, and the majority of the crime is coming from young children under 18 and as young as 11, 12 & 13. So, gear up for summer programs to get the children involved, there is no reason that a child that young should be out at 1:00 am. A passenger in an Uber vehicle shot the driver and the car crashed, but the police will never really know what happened in cases like this. It was brought to the attention of Officer Johnson that there is a rape suspect that is living close to where there are children. He will be given the location and will see what can be done about this person in proximity of children.

Code Compliance Officer Corey Watts: 205 violations for March. Top 5 are: Litter 79, outside storage 42, high weeds 37, junk motor vehicles 12, and illegal land use 7. There is a new state agriculture policy that says roosters are not legal in the city limits. A barn can now be erected in a residential area with farm animals and code compliance cannot address this issue.

Finally, Ms. Jessica Jolly the MLK Representative with upcoming events: May 11 the Magnificent Mom with free food, swag bags, and an all-around good time. Next month is Older Americans Month resource fair on May 24th from 9:00 am – 12:00 noon at the MLK Library and lastly, another event happening at Fair Park. We will get that out to everyone. It will be placed on the FB page. If you have any concerns about your property taxes, you may contact Ms. Diane Ragsdale at ICDC for help with that.

It's time to vote again. The school board, the bond package, and monies for housing. These meeting minutes are submitted by Ms. Shirley Linwood, secretary of Queen City Neighborhood Association. If I left anything out or there are any corrections or changes, please let me know.

Queen City Neighborhood Association Meeting
May 16, 2024
Ms. Eva Jones President
Transcription by: Ms. Shirley Linwood Secretary

Prayer by Pastor Atkins.

The meeting was called to order at 6:06 pm by Ms. Eva Jones.

Commissioner Livingston grew up in Dallas. He knows the struggle. He is the President and CEO of a non-profit called ASD Aids Services of Dallas. They are a housing provider for people living with HIV or impacted by HIV. They develop housing and build apartments and they provide service on the site of those properties. They have built five apartment complexes over the last thirty-seven years. Most recently in 2022 and another one coming in 2025.

His background is in housing and development. One of his properties is a 1933 old boutique hotel where migrant workers would come in, stay at the hotel and work at the Trinity River located on Colorado in North Oak Cliff. Most of the properties are just east of the Bishop Arts area in that historic part of Lake

Cliff neighborhood. The Commissioner started his career at the Dallas Housing Authority.

His entire career has been in affordable housing developments which include the services and compliance of affordable housing developments for about twenty-six years.

His passion is affordable housing because of the way he grew up. He continues to learn. His undergrad degree is in Sociology, and his master's degree is in Business Administration. He learned the challenges of non-profit and for-profit business. He also learned the significance of culture and the times we must go through from segregation to Jim Crow to our modern-day housing development what that means socially for our [food/foot?] communities, the socioeconomic differences of the communities and who is disparaged and who is not. This is why he became interested in preservation. It was for homes in neighborhoods, the communities to be maintained, the historical context of those communities that no one had a voice to maintain.

This brought him to finding his own neighborhood, South Boulevard/Park Row where he now resides formally. He became the President of their neighborhood association, along with his

wife, and advocacy and learning and bumping his head on ordinances and trying to get a tax incentive.

He learned all this on preservation by circumstance and this is what got him into landmark. This is his background so the group would know who he is and his ability to help Queen City. Commissioner Traswell is passionate about & he loves this community.

This brings us to step 2 of 3 of this initiation process which is a neighborhood gathering such as this one today to talk through questions, concerns and to hear from the community stakeholders, to discuss what the pros and cons are. There was a meeting at Landmark on the 1st Monday of May as there always is. There were several residents from District 7 that attended and spoke to the Landmark Commissioners as to why it is important to preserve Queen City & this was well received. It makes such a difference when we show up & show our support about what is ours, Queen City has one of the strongest neighborhood associations. When things happen, it is the community stakeholders that make decisions for the betterment of the community. It is difficult to corral the residents due to work schedules, small children, and life in general. We have embarked upon a historic

journey and once it is and if it is finalized, it will be in the historic records of who was a part of this advocacy, who's on the sign in sheet, so their grandchildren and whomever are looking at how did Queen City get preserved and started as a neighborhood association. Commissioner Traswell, trust me, the neighbors who come in and buy homes will look through those archives, they'll see the names, they'll look at the photos of you and I can tell you that happens because that is what I did. I looked at South Blvd/Park Row, I researched my home, I researched the history of my home, who used to live there, and I saw all the newspaper articles of when the neighborhood association was started, the 2nd one. The second historic Neighborhood Association is South Blvd/Park Row in the city of Dallas. This makes it significant, meaning you are a part of history.

Now we want to go through and talk about the packet that was handed out at the last meeting, it includes the statement of intent letter.

Dr. Dunn: If you missed the last meeting, pick up the packet on the back to make note of the upcoming meeting dates and times. After tonight's meeting there is one more step for initiation, which will be the landmark commission hearing, public hearing

on June 3, 2024. Those that want to attend are strongly encouraged to do so at 1:00 pm. The meeting will be at city hall in room 6ES. Join the conversation and share your enthusiasm about the project.

If you have questions from the last meeting, you may ask them now.

Q: Can anyone that attends be able to speak

Ans: Yes, you will get a green form to fill out, you must show up early to register to speak. The address is in the packet.

The first packet has the schedule for the initiation process, it has the statement of intent which is your application written by Commissioner Traswell Livingston as well as Commissioner Larry Offutt and Commissioner Jay Taylor who is on the zoom call. This is the application that was presented for the landmark commissioners and will be presented again on June 3rd with updates from what was discussed tonight. Also, in the letter of intent the landmark commission has listed the 7 criteria, and the landmark commission agrees to the 7 criteria out of 10 that your neighborhood meets, as was discussed before. You only needed to meet 3 criteria out of 10 but you met 7 out of 10.

Commissioner Livingston: to break down the criteria, there are only 3 needed, you met 7, it is black and white and obvious why you qualify. This is important to know so you are empowered when you speak, you don't feel as if you are asking or begging for something that you do not qualify to have. It is a common-sense eligible neighborhood. Now whether you decide to opt in or not is your choice, but you can't defend whether it is eligible or not because it is more than eligible by having 7 of the bullets already acknowledged out of the 3 that were required.

Dr. Dunn will assist in the preparation of the certificate of appropriateness so hold your questions on this for later. The benefits of becoming a historic overlay district & the process for when you start to make repairs to your homes, additions to your home or someone wants to build a new construction, what the process they must go through in order to get that approved. The last section is the tax incentives. To qualify for the tax incentives, you must be a contributing property. The incentive amount is determined by how much you spend on repairs, updates and the value of your home. You must spend a certain percentage of your property value. This is only on the house and not the land. It is the improvement value and not the land value.

Meeting Minutes continue:

It is only the improvement that is negotiable through this form.

Q: Is this also the governments of the association that's proposed as far as what they decided or say is acceptable on setbacks, trims, and colors?

Ans: This is a part of preservation criteria which will be discussed later, to be determined. More specifics will be given later when you do the certificate of appropriateness, there are some specifics that tell you in black & white what you can and can't do. More on this later. The deadline to appeal for your tax valuation was May 15, 2024, in Dallas for Homeowners. This is a big deal because taxes have been going up in value significantly every year. If you are an owner, you have seen & felt these increases. Queen City will fall under the revitalizing historic Districts category on page 21 of your packet in simple terms, you fill out the application, there is a 2-step process to submit to the staff. The application can go retroactive for up to 3 years, 2023, 2024 & 2025 if this gets approved through to this summer. You can go back to adjust, the adjustment is on the City of Dallas's Tax portion when you get your tax bill from Dallas County, Parkland, DISD and Dallas

County and your total tax bill is only 15% of your total bill. This will go away for up to 10 years if it is approved. This is very significant since taxes continue to escalate. To be able to now save that money, you would need to update the certificate every year stating that you still want to have this incentive 10 times.

Q: What is the time to get approved at the city?

Dr. Dunn was not able to offer an exact answer but once you submit your certificate of appropriateness, she has seen it take up to 3 months for it all to go through. They get your application then it must be reviewed, brought before the landmark commission, they must approve it, there are fees on the schedule as well. So, she would say 3-6 months.

Q: Are the improvements on the inside & the outside?

Dr. Dunn: the inside improvements are relevant to built-ins only, cabinetry, counters, etc.

Q: If you are having issues with the city and they have pointed out items that need addressing at your home and you have been given a warning to get it done, general repairs, how will it work with the new process?

Dr. Dunn does not get involved until the certificate of appropriateness is submitted as long as what code compliance has

asked you to do is on the CA and they can track it, you have your receipts, and it gets approved then you can go forward with the work. Our code compliance officers work very closely with the landmark commission and are really in sync with the neighborhood.

Ms. Eva: Let's get rid of the elephant in the room. The reason & driving force for this historical overlay is to preserve our neighborhood from gentrification, we are already behind and if we don't get something done as quickly as possible, then we won't be talking about housing period because we will be out of our own homes. This is why the neighborhood or the group of residents that work together decided that this could possibly be the best answer for the wealth of our children and grandchildren. The question was asked about restrictions and later redefined as protections. Each association has its own protections that are put together with a good attorney are to be rules you want to overlay into the preservation, like preventing builders from building homes that are too large for the area they are in and i.e., These shotgun houses. These stipulations can be added into your protections.

Ms. Ragsdale asked about when will the issuance of new permits of new building permits stop.

That will be June 3, 2024. Once we are initiated the issuance of new permits will stop. So, no more said shotgun houses can be erected.

Ms. Eva: We will decide what we want for our historical regulations. We need to stop the builders. Example: the Elm Thicket area is seeing \$2 - \$3 million dollar homes right next door to a home where grandmother lived in. These residents will not be able to continue living there with the continuing increases in taxes. So, we will use all the tools in the tool kit to prevent this happening in our backyard. Now if a builder already has a building permit, it cannot be cancelled. This relates to new permits to split a lot, that will not be approved.

Ms. Ragsdale is reenforcing what Ms. Eva stated that Queen City neighbors will be able to guide the direction of their neighborhood and determine what new homes exist and how they are designed. This is so important in preventing displacement.

In the You Are Invited Packet, once you have design standards and preservation criteria established, then that will control what new buildings are built in your neighborhood. The protections

that were discussed earlier are Queen City's way of designing what you want in your neighborhood.

Now on to the next.

3 Definitions that you must know are:

Period of Significance: This is the era in which the neighborhood became ordained Historical according to reports of the National Register Nomination, Queen City's period of significance goes through to 1945, the national nomination was written in the late 1990's. Now up to the Civil Rights movement can be included to 1970.

The Contributing Structure: These are properties that were here or built during the above stated times and it still looks the same way it did in that time period, then it is a contributing property.

A Non-Contributing Structure: This is a home that was not here when the neighborhood gained its historical & cultural significance. Built from 1971 to today.

There are some general guidelines that will have to be met, but not as many protections as a contributing structure.

Contributing structures are eligible for the historical tax incentives program. Newer homes are not eligible.

What applies to you depends on if you are a contributing or a non-contributing structure or if a new construction, building a new addition or an accessory building to your home. Everything discussed today applies to new repairs, new alterations, new construction and new replacements. Whatever your property is now, you cannot receive a ticket from Dr. Dunn's office, things like colors and trim. When you want to make changes after June 3rd, then you will discuss new guidelines. The historical designation committee starts with a template for all neighborhoods, but it will be customized to fit what you are asking for, see page 3 – 11 for what they start with for design standards. Everything in the template except under new construction & additions would apply to a contributing property. In all this, you will want your property to be as close to what it was during the period of significance. Not everything in the template will apply, some items will be taken out and some items will be added in based on what your neighborhood's concerns are. Look at planning goals and then look at special considerations. Under special considerations the elderly and disabled, access can be considered and whatever is needed for this group of people can be added to the preservation criteria. Safety, interior burglar bars

that have the key on the inside of the window are suggested. If you are on an interior lot, you can have bars on the left and right sides of your home, they are not recommending that bars be on the front. If safety is an issue, it can be added to the criteria.

Economic and Financial Hardship: If something is recommended that the homeowner cannot afford, Dr. Dunn will go to the Landmark Commission and request it be considered. Financial & Economic hardship can be included in the preservation criteria.

Q: Would the takeaway from the template put us in another bracket.

Dr. Dunn said no it would not.

Solar Panels & Weatherization: The preservation Committee does not allow every solar panel salesperson to come into our community. Solar panels are very heavy and should not be placed on every house. Some of the homes are over 100 years old and cannot support solar panels, they are not safe for that homeowner. Be careful who you do business with. If solar panels are allowed, it is recommended that they go on the rear roof, about 50% of the roof space. Whatever zoning rules are already in place will stay in place. Attorney Calvin Johnson asked if there could be a visual

of the process and a flow chart created to show the steps in all this process to get a better understanding. Anything that you have now is grandfathered in and you don't have to change it. Only when you want to make changes do you have to abide by the proposed new rules & the city staff can assist.

Shanita Cleveland: Tesla has a solar panel system that can be placed on your garage wall, and it is very space efficient. Whatever you do inside of your home is your business. When making changes to the outside, just send the certificate of appropriateness application to Dr. Dunn with a description of what you are doing, she will go over it with you, you get your own contractor and if everything is good, she or the landmark commission will send it back to you and you can begin the work. Routine maintenance has to be turned around in 7-10 business days. Major items such as adding new additions, replacing all the windows, a new driveway, these items have to go before the landmark commission which can take up to six weeks.

Commissioner Livingston: Let the record show the reason you are doing this is to preserve and keep the monumental homes from being built around you at a rapid pace. This is causing financial concern; you also have to remember to lean on the staff for help

with crafting the guidance that you want that work for Queen City. The reason is all of South Dallas, all these streets, all these houses, because it is unique to Queen City. So just like you are involved in meetings and all those things, use that same energy to come up with a specific ordinance & guidance that you want that's unique from South Blvd/Park Row, unique from Wheatly Place or Tenth street but specifically for Queen City based on how y'all feel in 2024. The reason I say that is, I will just tell you the last time our neighborhood ordinances were updated, I was in elementary school. That means that modern day things that we would do in a house are not in our ordinance because we didn't update it. He wants the record to show in 6 months, 3 years, no one can say: Mr. Livingston you didn't tell us, well yes, he is and yes, he did. You make the ordinance the way you want it, you live here, you drive on these streets, you pay for the homes, you come in and out of your doors every day. Whatever y'all want to put it in there, then the process for communicating back and forth with the city, you need to eat, drink and sleep and understand that you have jewel in Dr. Dunn. She is rare in my opinion. I have dealt with several staff representatives, Dr. Dunn is very knowledgeable, very patient, she is very responsive, these are critical situations

when you are pressed for time, you must build, have something broken, you need somebody that is responsive, who's patient and understands. That is rare but the city is the city, anything can change, sometime when people see a good thing they snatch them up so while we have her, you need to engage her and get a good foundation, get your foundation together which is all your ordinances and your language that is unique to you because you are going to need it and that's all I have to say about that.

Dr. Latrice Atkins: she is a resident of Rose Garden and a neighbor of Queen City. She agrees with what was said of how inspiring Queen City is. She acknowledges other members from sister associations that are on the zoom call with us. Queen City is not alone, they stand with you and are excited to support you. Her question is: Is it possible to have your cake and eat it too? If the residents of Queen City are super excited about the protections that will be provided through the historic preservation district overlay, can they opt out if they don't want their own property to participate, can you push forward and opt out later?

Dr. Dunn. By state law, once you decide as a neighborhood, individuals cannot opt out.

Our last 2 items:

Concerns: With the department of Housing & Neighborhood revitalization, which is the department that repairs the homes and that's the department that gets the grants, a problem has come up in the past, that is an issue with clear titles. The other problem has been unplatted lots. When Dr. Dunn spoke with the representative from the Department of Housing, if you could show your name on the homeowner's insurance and the utility bills, that was enough to go forward in showing ownership. She does not know if it will be the same going forward. She cannot guarantee it will be the same. This is what was done with the COVID money.

Ms. Eva: How long will this program be in place; she feels as if this is something that needs to be done expeditiously as possible to keep the wealth for the next generations intact.

Dr. Dunn: It's not so much a program, for a while the city was working with a Real Estate attorney to clear up titles, she's not sure if that program is still in place anymore. This comes up when grant money starts to flow. The people Dr. Dun has spoken with do not seem to have any money right now. They are applying for an overlay that includes our district. Every city council representative just got hundreds of thousands of dollars for their office accounts that they can use in their districts. Ask for the

money. Commissioner Offutt, of the landmark commission in district 5 confirmed that in the last budget and bond elections this money was received in district 7. This is unrestricted funds they can use how they need to in their districts and for their residents. Great speed bumps are needed on Waldron Ave because of the speeders. There are children on this street, and we don't want to wait till tragedy strikes to determine if they are needed. There should be no need for a petition.

A lady did confirm also that this money is available, she has been placed first on the list to get some much needed street lights repaired in her alley and the alley also cleaned up because her street was missed in the previous go round. The money is real.

Questions about fencing:

Remember whatever development rules the city has in place will remain in place. The fence height for the front of the home can be 3'6", the side and rear of the home the fence can be 8' privacy fencing board on board.

There are 2 situations when it comes to unplatted lots:

When Dr. Dunn spoke with the city surveyor, he stated that when a property has never been platted, you need to go through the City of Dallas process. She thinks the other is deed splitting. This is

when a family gets a lot that is large enough for 2 structures, they just split the lot in half. By state law this is illegal. In Dallas it is done but it is very problematic. Talk to Dr. Dunn and she will tell you who you need to speak further with. Google: City of Dallas Platting process. There are fees and the process is not easy.

Our last section is:

Goals & Objections: We are trying to promote neighborhood stabilization and maintain the neighborhood's historic character. Everything discussed tonight will be in Dr. Dunn's report that goes before the Landmark Commission on June 3rd. Send any questions not asked tonight to Rhonda.Dunn@dallas.gov. This meeting is also open to the public and all your concerns will become a part of the City's public records forever.

Last but certainly not least Ms. Janice with the YMCA update:

The construction of the new YMCA is coming along as planned, they are getting the foundation for the parking lot, all summer programs for the children are coming together. They are being house at 3901 Latimer at the preschool, the teenagers will be at the Midred Dunn Recreation Center 3322 Reed Ln, next of JJ Rhodes. The seniors are located at the South Dallas Cultural Center. YMCA members can utilize other facilities. Swimming

lessons for the children are at T Boone Picket YMCA. Applications for the 3–5-year-olds can be found at 3901 Latimer location.

Closing Prayer by Pastor Atkins and we are dismissed.

The meeting was adjourned at 7:41 pm.