



LANDMARK COMMISSION

JULY 6, 2026

FILE NUMBER: COA-26-000337
LOCATION: 2937 Warren Ave.
STRUCTURE: Non-Contributing
COUNCIL DISTRICT: 7
ZONING: PD-595

PLANNER: Rhonda Dunn, Ph.D.
DATE FILED: June 2, 2026
DISTRICT: Wheatley Place (H/100)
MAPSCO: 46-T
CENSUS TRACT: 0203.00

APPLICANT: Mojica, Pascual

REPRESENTATIVE: N/A

OWNER: EUDY HOMES LLC

REQUEST

A Certificate of Appropriateness to construct a new main residential building on a vacant corner lot – a duplex, with an accessory structure, a rear detached two-car garage.

STAFF RECOMMENDATION

That the request for a Certificate of Appropriateness to construct a new main residential building on a vacant corner lot – a duplex, with an accessory structure, a rear detached two-car garage be approved in accordance with drawings and specifications dated 06/22/2026 with the following conditions: that foundation be pier and beam or crawlspace with a minimum height of eighteen inches; that windows be all-aluminum (not aluminum cladding) with lite configuration of one over one (1 over 1); that mullion(s) (i.e., trim pieces) of four to six inches in width be added between paired/ganged windows; that paint colors for the body and trim be selected from a historic paint color collection and be approved by staff; and that driveway(s), walkway(s) and steps be of brush finished concrete; and that all revisions be noted on drawings and approved by staff. Implementation of the recommended conditions would allow the proposed work to be consistent with preservation criteria Section 3.3 under Building Site and Landscaping, Sections 9.3, 9.6, and 9.7 under New Construction and Additions, and Sections 10.1, 10.2, 10.3, and 10.4 under Accessory Buildings; the standards in City Code Section 51A-4.501(g)(6)(C)(ii) for noncontributing structures; and the Secretary of the Interior’s Guidelines for Setting (District/Neighborhood).

TASK FORCE RECOMMENDATION

That the request for a Certificate of Appropriateness to construct a new main residential building on a vacant corner lot – a duplex, with an accessory structure, a rear detached two-car garage be approved with the following condition(s)/comment(s):

1. Move (louvered) vents to the main side gables.
2. Raise the main side gable (roof height).
3. Expose rafter tails.
4. The two front gables are lower and narrower.
5. (Front) Porch column tops need to be tapered, with brackets aligned with the column(s) central axis(es).

Note: The applicant has made revisions to comply with task force recommendation(s).

BACKGROUND / HISTORY:

2937 Warren Avenue is a vacant corner lot at Warren Avenue and Meyers Street within the Wheatley Place Historic District (H/100), a historically African American residential neighborhood developed primarily during the 1930s and 1940s. Wheatley Place is distinguished by its cohesive pattern of one-story, modestly sized Craftsman bungalows, which express characteristic features of the district's working-class heritage: side-gabled roof forms, deep eaves with exposed rafter tails, louvered gable vents, front-facing gabled porch projections, tapered wood porch columns on brick bases, wood drop or lap siding, and traditional one-over-one or multi-light wood sash windows. These elements, along with narrow building widths, small footprints, and low-scale massing, collectively define the visual harmony and architectural identity of Wheatley Place.

A Demolition Permit for the former house at this address was issued in 1999, leaving the site undeveloped for more than twenty-five years and resulting in the property being classified as non-contributing within the historic district.

A previous application for new construction at this property was denied without prejudice on March 2, 2026. The proposed design consisted of two shotgun-style houses placed side-by-side with a shared driveway, a configuration determined to be inappropriate for the Wheatley Place Historic District because it conflicted with the historic development pattern of single-family 1930s–40s Craftsman cottages, and lacked the scale, massing, and porch-forward composition essential to district compatibility. A Courtesy Review was also held on January 5, 2026, at which the Landmark Commission emphasized the need for a design aligned with the district's traditional bungalow form and simplified Craftsman detailing.

A second application, submitted for the June 1, 2026, Landmark Commission hearing, was likewise denied without prejudice. Although revised from the March submission, the

June design was still found to be incompatible with the historic character of Wheatley Place. Specifically, it lacked many of the character-defining features of a Craftsman bungalow, including appropriate porch massing, historically scaled gabled porch projections, tapered columns, exposed rafter tails, traditional window proportions, and the modest, low-slung massing typical of 1930s–40s African American cottages in the district. The Commission concluded that the design did not meet the requirements for compatible new infill under Ordinance No. 24432, nor the compatibility standard for noncontributing structures in Dallas City Code § 51A-4.501(g)(6)(C)(ii).

Following the June 1 denial, the applicant substantially revised the architectural plans for reconsideration at the July 6, 2026, hearing. The current proposal introduces a one-story side-gabled duplex, each unit featuring a small dedicated front gabled porch, louvered vents at the tops of the side gables, exposed brackets, and simplified Craftsman-inspired detailing intended to reinforce compatibility with the historic cottages that define the Wheatley Place streetscape. These revisions reflect the applicant's effort to respond to both Task Force feedback and prior Commission findings regarding massing, roof form, porch orientation, and required bungalow features.

RELEVANT PRESERVATION CRITERIA:

Wheatley Place Historic District (H-100), Ordinance No.: 24432

SEC. 9. NEW CONSTRUCTION AND ADDITIONS

9.2 The elevation of a lot to be used for construction of a new main structure must match the elevation of other lots on the block.

9.3 Construction of new main structures must include a front porch appropriate to the neighborhood.

9.7 New construction and additions must have appropriate color, detailing, fenestration, massing, materials, roof form, shape, and solids-to-voids ratios. New construction should be of the same predominant material. Details can be of other materials, except as otherwise noted.

9.9 Aluminum siding, stucco and vinyl cladding are not permitted.

9.11 Front yard setback for construction of new main structures.

(a) A main structure on an interior lot must have a front yard setback that is within ten feet of the average front yard setback of other structures in the blockface.

SEC. 10. ACCESSORY BUILDINGS

10.1 Accessory buildings are permitted only in the rear yard.

10.2 Accessory buildings must be compatible with the scale, shape, roof form, materials, detailing, and color of the main building. Imitation siding is allowed on accessory buildings if consistent with the main structure. Metal storage buildings are allowed if not seen from the street.

10.3 Accessory buildings must be at least eight feet from the main structure.

10.4 Accessory buildings must not exceed 800 square feet in area, unless documentation shows that an original building exceeding this size was previously on the building site.

RELEVANT SECRETARY OF THE INTERIOR'S STANDARDS FOR THE TREATMENT OF HISTORIC PROPERTIES:

Guidelines for Setting (District / Neighborhood)

- **Recommended:** *Identifying, retaining, and preserving building and landscape features that are important in defining the overall historic character of the setting. Such features can include circulation systems, such as roads and streets; furnishings and fixtures, such as light posts or benches; vegetation, gardens and yards; adjacent open space, such as fields, parks, commons, or woodlands; and important views or visual relationships.*
- **Not Recommended:** *Introducing a new building or landscape feature that is visually or otherwise incompatible with the setting's historic character (e.g., replacing low metal fencing with a high wood fence).*

RELEVANT DALLAS CITY CODE:

Section 51A-4.501. Historic Overlay District

(g) Certificate of Appropriateness.

(6) Standard certificate of appropriateness review procedure.

(C) Standard for approval. The landmark commission must grant the application if it determines that:

(ii) for noncontributing structures, the proposed work is compatible with the historic overlay district.

PROJECT DESCRIPTION & ANALYSIS

The applicant proposes the construction of a **new one-story residential duplex** on the vacant corner lot at **2937 Warren Avenue**, situated at the intersection of Warren Avenue and Meyers Street within the Wheatley Place Historic District (H/100). The lot is classified as **non-contributing** due to the demolition of the previous historic structure under a 1999 demolition permit.

The project also includes construction of a **detached two-car garage**, located at the rear (south side) of the lot.

This is the **third iteration** of proposed new construction at this address. The Landmark Commission **denied without prejudice** the first submittal on **March 2, 2026**, finding that the design—two shotgun-style units placed side-by-side—was incompatible with the historic development pattern of **modest, single-story Craftsman bungalows** that define Wheatley Place. A second submittal, reviewed on **June 1, 2026**, was also **denied without prejudice** because the revised design still lacked essential **Craftsman bungalow character-defining features**, including compatible roof massing, porch scale, tapered columns, exposed rafter tails, and traditional window proportions reflective of the district’s 1930s–1940s African American residential character.

The **current June 22, 2026, plans** represent a significantly revised proposal intended to address the Commission’s and Task Force’s concerns. The building now takes the form of a **single-story, side-gabled duplex with two separate front porch projections**, each defined by a **front-facing gabled roof, 19"×19" tapered wood porch columns on brick bases**, and aligned **brackets** beneath the porch gables. Both side gables incorporate **louvered gable vents**, consistent with the widespread use of louvered vents on 1930s–1940s Craftsman cottages throughout Wheatley Place. The roof is shown as a moderately pitched **side-gabled configuration**, matching the dominant historic roof form of the district. Exposed eave brackets appear along the roofline, enhancing compatibility with Craftsman traditions.

The **fenestration pattern** consists primarily of **3'×5' single-hung windows** with consistent head heights of 7 feet, placed at regular intervals on all elevations. Staff recommends incorporating **4–6 inch mullions** between ganged windows to reinforce the visual rhythm and solids-to-voids ratios characteristic of historic Wheatley Place cottages. The revised porch dimensions—narrower and lower than earlier versions—reduce visual mass and better align with the understated, small-scale porch proportions historically found in the district.

The **site plan (C2.01)** shows the **driveway access from Meyers Street**, not from the alley. A concrete driveway along the eastern side of the lot connects directly to the **detached two-car garage**, which sits at the southwest rear corner of the property. Although the lot borders a **12' alley** on the south, the plans show **no alley access** and no paved connection to the alley. This is consistent with **current citywide practice**, as alleys in Dallas are no longer maintained or used for garage access.

While the architectural plans have incorporated many of the elements needed to achieve compatibility—including Craftsman-appropriate porch forms, gable vents, modest massing, and simplified detailing—the **foundation plan (S1.01)** remains a **concrete slab-on-grade system**, consisting of a 5-inch slab and 12-inch reinforced perimeter beams.

Although crawlspace ventilation notes appear on the sheet, the details clearly depict **slab construction**, not a **pier-and-beam or crawlspace foundation**. Wheatley Place historically consists of **raised pier-and-beam cottages with visible grade separation**, and both Staff and the Task Force recommend that new infill construction utilize a **pier-and-beam or crawlspace foundation elevated a minimum of 18 inches** above

grade. This condition is essential to achieving compatibility with the district's historic character under Preservation Criteria **Sections 3.3, 9.2, 9.3, and 9.7**.

Siding is noted only as "**SIDING FINISH AS SPECIFIED**," and paint colors have not been submitted. Ordinance No. 24432 prohibits the use of **stucco, vinyl siding, and aluminum siding** (Section 9.9). Staff further recommends that siding be all **wood millwork pattern #117 or #105 lap siding**, and that body and trim colors be selected from a **historic paint palette** to reinforce compatibility with the 1930s–1940s historic context. **All-aluminum (unclad) one-over-one windows** are considered appropriate for new infill, as they reflect the district's predominant historic sash configuration.

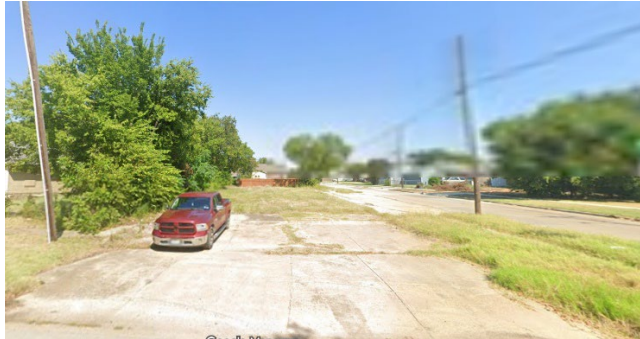
Overall, the revised plans represent a substantial improvement over the March and June 2026 designs. With incorporation of Staff's recommended revisions—most critically, the required **pier-and-beam or crawlspace foundation**, appropriate window mullions, and historically compatible colors and materials—the proposal can meet the Wheatley Place Preservation Criteria and achieve compatibility with the district's development pattern. Subject to these conditions, the project satisfies the standard for approval for noncontributing new construction under **Dallas City Code § 51A-4.501(g)(6)(C)(ii)**.

SITE MAP
2937 Warren Ave.



The yellow rectangle highlights 2937 Warren Ave. The blue shading indicates Wheatley Place Historic District coverage. Basemap Source: Google Earth

CURRENT (& CONTEXT) PHOTO(S)
2937 Warren Ave.



Subject property: Front, southeast elevation. Source: Google Maps, Street View.



Same blockface as subject property – facing northwest. Source: Google Maps, Street View.



Across the street from the subject property – south east side of Warren Ave. Source: Google Maps, Street View.

ATTACHMENTS:

- **Task Force Recommendation Form**
- **Certificate of Appropriateness Application**

TASK FORCE RECOMMENDATION REPORT
WHEATLEY PLACE / TENTH STREET / QUEEN CITY

DATE: 06/09/2026

TIME: **4:00 pm**

MEETING PLACE: **Preservation Dallas/Videoconference**

Applicant Name: Keith Johnson

Address: 2937 Warren Ave. (Wheatley Place/ Tenth St Neighborhood
HD / Queen City)

Date of CA/CD/CR Request: 05/25/2026 (Application Due Date)

RECOMMENDATION:

Approve Approve with conditions Deny Deny without prejudice

Recommendation / comments / basis:

Move vents to the main side gable, raise main side gable, expose rafter tails, and the two

front gables lower & narrow them, porch cols. top need to be tapered, brackets to

be centered with cols.

Task force members present

Barbara Wheeler (Chair) Alonzo Harris Benje Feehan
 Larry Johnson (Vice Chair) Shaní Dixon Jarod
Fancher
 VACANT VACANT

Ex Officio staff members Present: Dr. Rhonda Dunn

Simple Majority Quorum: yes no

Maker: Larry Johnson

2nd: Barbara Wheeler

Task Force members in favor: All

Task Force members opposed: None

Basis for opposition:

CHAIR, Task Force:

DATE: 06/09/2026

The task force recommendation will be reviewed by the landmark commission in Briefing Room 6ES, starting with a Staff briefing. The Landmark Commission public hearing begins at 1:00 pm in Room 6ES, which allows the applicant and citizens the opportunity to provide public comment(s).

2937 Warren Avenue, Dallas, Texas

Duplex Compatibility & Historic Context Study

Purpose

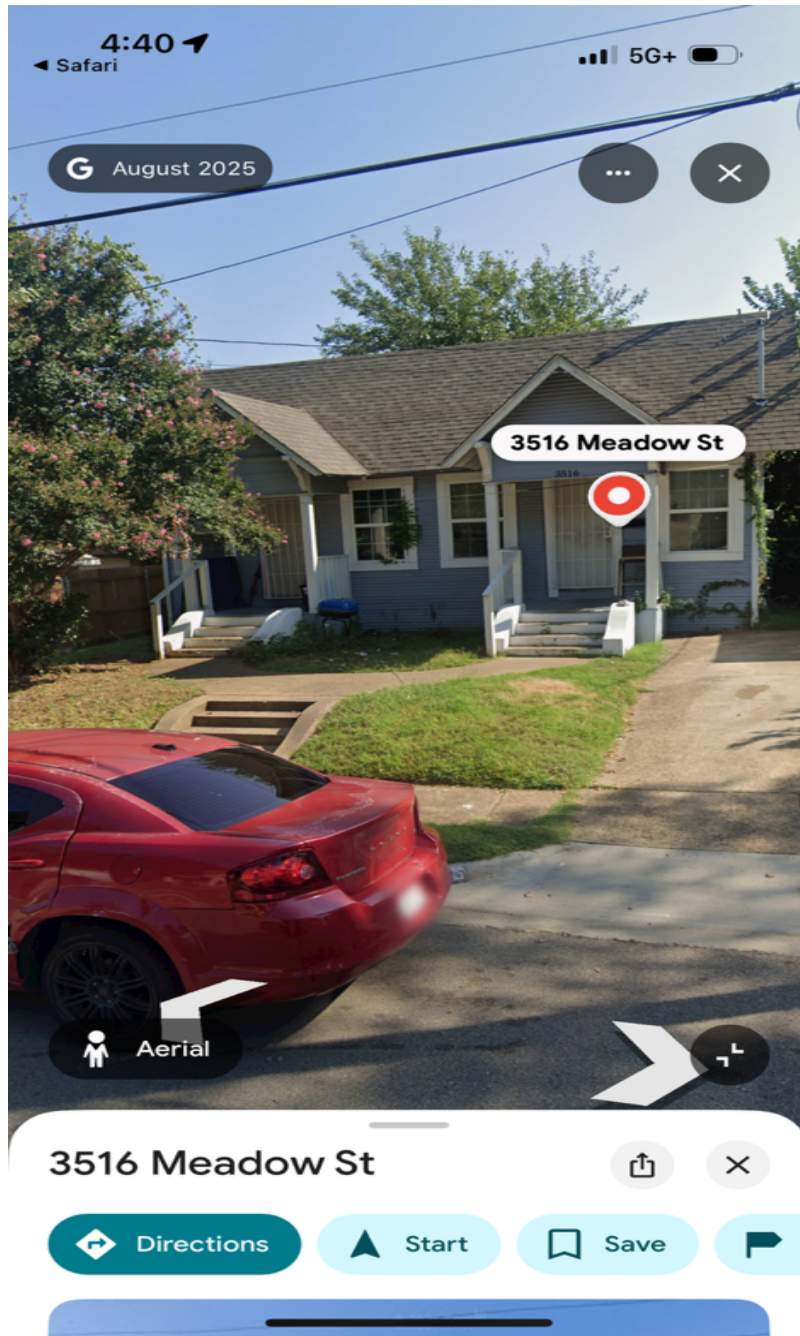
This study documents existing duplex properties within the surrounding neighborhood to demonstrate that two-family residential development is an established housing type compatible with the historic development pattern surrounding 2937 Warren Avenue.

Comparable Property #1 – 2837–2839 Dathe Street



Existing side-by-side duplex with separate entrances and shared building mass. This property demonstrates an established pattern of duplex housing within the neighborhood.

Comparable Property #2 – 3516 Meadow Street



Existing duplex residence with traditional residential scale and appearance. The structure illustrates continued compatibility of duplex housing within the area.

Comparable Property #3 – 2819 Burger Avenue

Existing duplex property identified within the surrounding neighborhood. Additional photo documentation may be added as available.

Conclusion

The presence of duplexes at 2837–2839 Dathe Street, 3516 Meadow Street, and 2819 Burger Avenue demonstrates that duplex residential development is an established component of the

neighborhood. The proposed duplex at 2937 Warren Avenue continues an existing residential pattern and is compatible with surrounding development.

2937 Warren Avenue, Dallas, Texas

Duplex Compatibility & Historic Context Study

Executive Summary

This study documents existing duplex properties within the surrounding neighborhood to demonstrate that duplex housing is an established and historically compatible residential building type.

Comparable Property #3 – 2817–2819 Burger Avenue



Existing duplex with addresses 2817 and 2819. Shared roof structure, symmetrical façade, and two-family residential use provide strong evidence that duplex housing is an established neighborhood development pattern.

Conclusion

The documented duplexes at Dathe Street, Meadow Street, and Burger Avenue support the compatibility of the proposed duplex at 2937 Warren Avenue.

GENERAL NOTES:

1. ALL WORK INCLUDING WORKMANSHIP AND MATERIALS SHALL CONFORM TO THE REQUIREMENTS OF LOCAL BUILDING CODES, REGULATIONS, LAWS AND ORDINANCES.
2. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS BY MEASUREMENTS TAKEN AT THE JOB SITE, AND SHALL TAKE ANY AND ALL OTHER MEASUREMENTS NECESSARY TO VERIFY THE DRAWINGS AND OR PERFORM HIS WORK PROPERLY. FIELD VERIFY DIMENSIONS PRIOR TO COMMENCEMENT OF WORK.
3. CONTRACTOR SHALL REMOVE ALL TRASH AND DEBRIS FROM THE PREMISES AT THE END OF EACH WORK DAY OR AS APPROVED BY THE OWNER. ALL SUCH MATERIALS SHALL BE DISPOSED OF, OFF SITE IN A LEGAL MANNER. THE WORK AREA OF OPERATION SHALL BE MAINTAINED CLEAN AT ALL TIMES.
4. CONTRACTOR IS RESPONSIBLE FOR HIS WORK DURING CONSTRUCTION. STORAGE, TRANSIT, INSTALLATION AND FINAL OWNER ACCEPTANCE. UPON COMPLETION, THE CONTRACTOR SHALL CLEAN, REPAIR AND REFINISH ALL DAMAGES TO THE SATISFACTION OF THE OWNER AS PART OF THE CONTRACT.
5. CONTRACTOR SHALL SCHEDULE AND EXECUTE ALL WORK TO PREVENT DAMAGE TO BUILDING, FINISHES AND SITE IMPROVEMENTS. CONTRACTOR SHALL PERFORM WORK TO MAINTAIN ALL BUILDINGS IN SAFE CONDITION TO ALLOW BUILDING/OWNER INSPECTIONS AT ANY GIVEN TIME. CONTRACTOR IS TO MAINTAIN AND PRESERVE ANY MATERIALS AT THE JOB SITE ANY DAMAGE CAUSED BY THE CONTRACTOR OR SUB-CONTRACTOR SHALL NOT BE AT THE OWNERS EXPENSE.
6. WHEN MANUFACTURERS OF MATERIAL AND/OR FIXTURES USED ON THIS PROJECT REQUIRE MAINTENANCE, INSTALLATION MANUALS OR DIRECTIONS NOT COVERED IN THE SPECIFICATIONS DETAILED ON THE DRAWINGS. THE CONTRACTOR SHALL FURNISH DIRECTIONS AND SHALL ISSUE APPROPRIATE COPIES TO HIS SUBCONTRACTORS AND OTHER AFFECTED PARTIES.
7. CONTRACTOR/OWNER IS RESPONSIBLE FOR ALL FOUNDATION, FRAMING, AND ANY PHASE OF THE PROJECT REQUIRING A PROFESSIONAL ENGINEER OR LICENSE TRADE PROFESSIONAL.
8. GREAT CARE AND EFFORT HAVE GONE INTO THE CREATION OF THESE BLUEPRINTS. HOWEVER, BECAUSE OF THE VARIANCE IN GEOGRAPHIC LOCATIONS, IT IS THE BUILDER/OWNER RESPONSIBILITY TO VERIFY ANY EASEMENTS, FLOOD PLAINS, SUBSTANDARD UTILITIES, DEED RESTRICTIONS, HOA , CONSERVATION, HISTORICAL OR PLAN DEVELOPMENT DISTRICTS THAT MAY IMPACT THIS PROJECT PRIOR TO CONSTRUCTION OR SUBMITTAL FOR A BUILDING PERMITS.
9. THE CONTRACTOR IS ULTIMATELY RESPONSIBLE FOR THE WARRANTY OF THE CONSTRUCTION AND ALL OR ANY CHANGES MADE PRIOR TO OR DURING CONSTRUCTION.



2937 WARREN AVE
DALLAS, TEXAS 75215



SHEET INDEX

- G0.00** COVER SHEET
- C0.01** CONTEXTUAL SITE PLAN
- C2.01** SITE PLAN
- S1.01** FOUNDATION PLAN
- S6.01** ROOF FRAMING
- S7.00** ROOF FRAMING DETAILS
- A1.01** DEMO FLOOR PLAN
- A1.02** FLOOR PLAN
- A1.03** FLOOR PLAN
- A2.01** ELEVATIONS
- A2.02** ELEVATIONS
- A2.03** ELEVATIONS
- A3.00** DOOR & WINDOW SCHEDULE
- A4.01** ROOF PLAN

BEFORE YOU BUILD

Call 811 to locate and mark underground utilities on the referenced property before commencing all types of work.
 Confirm all utility/drainage easements.
 Confirm all meets and bounds for your lot (using survey).
 Confirm all applicable HOA, Historic, Conservation and Deed restrictions.

Please contact the appropriate entity before installation of utilities if you have any detailed inquiries regarding connections and processes:
 Atmos CS Call 1(888)286-6700
 Oncor CS Call 888-313-6862
 Oncor/Emergencies Call 888-313-4747

Inspection Check list Phase One

Termite Treatment (Contact third party)
 Form Board Survey (contact your surveyor)
 Offer Inspection (Electrical Contractor must validate and schedule)
 Plumbing Rough (Plumbing Contractor must validate and schedule)
 Foundation Inspection (Builder Responsibility)

Inspection Check List Phase Two

Electrical Rough in (Electrical Contractor must schedule)
 Mechanical A/C Furnace and duct work must be installed
 Plumbing Top out (Plumbing Contractor must schedule)
 Energy Inspection (insulation,doors,windows)IECC Energy Code
 Framing inspection (all tardes must pass green tag prior to closing any walls)

Inspection Check List Phase Three

Electrical Final (Electrical Contractor must schedule)
 Mechanical Final (Mechanical Contractor must schedule)
 Plumbing Final (Plumbing contractor must schedule)
 Customer Service/Zoning Final (if applicable)
 Building Final (all appliances,ac compressor,must be installed)

BUILDING CODE

01 IRC 2021 INTERNATIONAL RESIDENTIAL CODE

PROJECT AREA CALCULATION U1			
LIVING AREA (AC)		NON CONDITION AREA	
FIRST LEVEL	1,357 SF.	COVD. PORCH	35 SF.
		COVD. PATIO	17 SF.
PROJECT AREA CALCULATION U2			
LIVING AREA (AC)		NON CONDITION AREA	
FIRST LEVEL	1,357 SF.	COVD. PORCH	35 SF.
		COVD. PATIO	17 SF.
		DETACHED NON AC	
		GARAGE	512 SF.
LOT AREA CALCULATION			
TOTAL LIVING AREA (AC)	2,714 SF.	LOT AREA	7,200 SF.
TOTAL UNDER ROOF	2,818 SF.	NON ROOF AREA	4,382 SF.
FOOTPRINT	2,818 SF.	% OF LOT	39.13 %

DISCLAIMER

THESE PLANS ARE INTENDED TO PROVIDE BASIC CONSTRUCTION INFORMATION NECESSARY TO SUBSTANTIALLY BUILD THIS STRUCTURE. THESE PLANS MUST BE VERIFIED AND CHECKED BY THE BUILDER, HOMEOWNER, AND ALL CONTRACTORS OF THIS JOB PRIOR TO CONSTRUCTION. BUILDER SHOULD OBTAIN COMPLETE ENGINEERING SERVICES, HVAC, AND STRUCTURAL BEFORE BEGINNING CONSTRUCTION OF ANY KIND.

NOTE: ALL FEDERAL, STATE, AND LOCAL CODES AND RESTRICTIONS TAKE PRECEDENCE OVER ANY PART OF THESE PLANS.

DISCLAIMER

GREAT CARE AND EFFORT HAVE GONE INTO THE CREATION OF THESE BLUEPRINTS. HOWEVER, BECAUSE OF THE VARIANCE IN GEOGRAPHIC LOCATIONS, CCI HOUSEPLANS WILL NOT ASSUME LIABILITY FOR ANY DAMAGES DUE TO ERRORS, OMISSIONS, OR DEFICIENCIES ON THESE OWNER/BUILDER MUST COMPLY WITH LOCAL BUILDING CODES PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE PURCHASE OF THESE PLANS ENTITLES THE BUYER TO CONSTRUCT THIS HOUSE ONLY ONCE. ANY COPYING, TRACING, OR ALTERING OF THESE PLANS IS NOT PERMITTED. VIOLATORS WILL BE SUBJECT TO PROSECUTION UNDER COPYRIGHT LAWS.

IT IS THE BUILDER/OWNER RESPONSIBILITY TO VERIFY ANY EASEMENTS OR DEED RESTRICTIONS THAT MAY IMPACT THIS PROJECT PRIOR TO CONSTRUCTION.

SEAL

PROJECT/PLAN ID
2937 WARREN AVE

DATE:
6/22/26

DRAWN BY:
KR/TA

CHECKED BY:
ER

DESCRIPTION:
**ONE STORY
DUPLEX RESIDENCE;
3 BEDROOMS, 2 BATHROOMS P/UNIT**

SCALE:
NTS

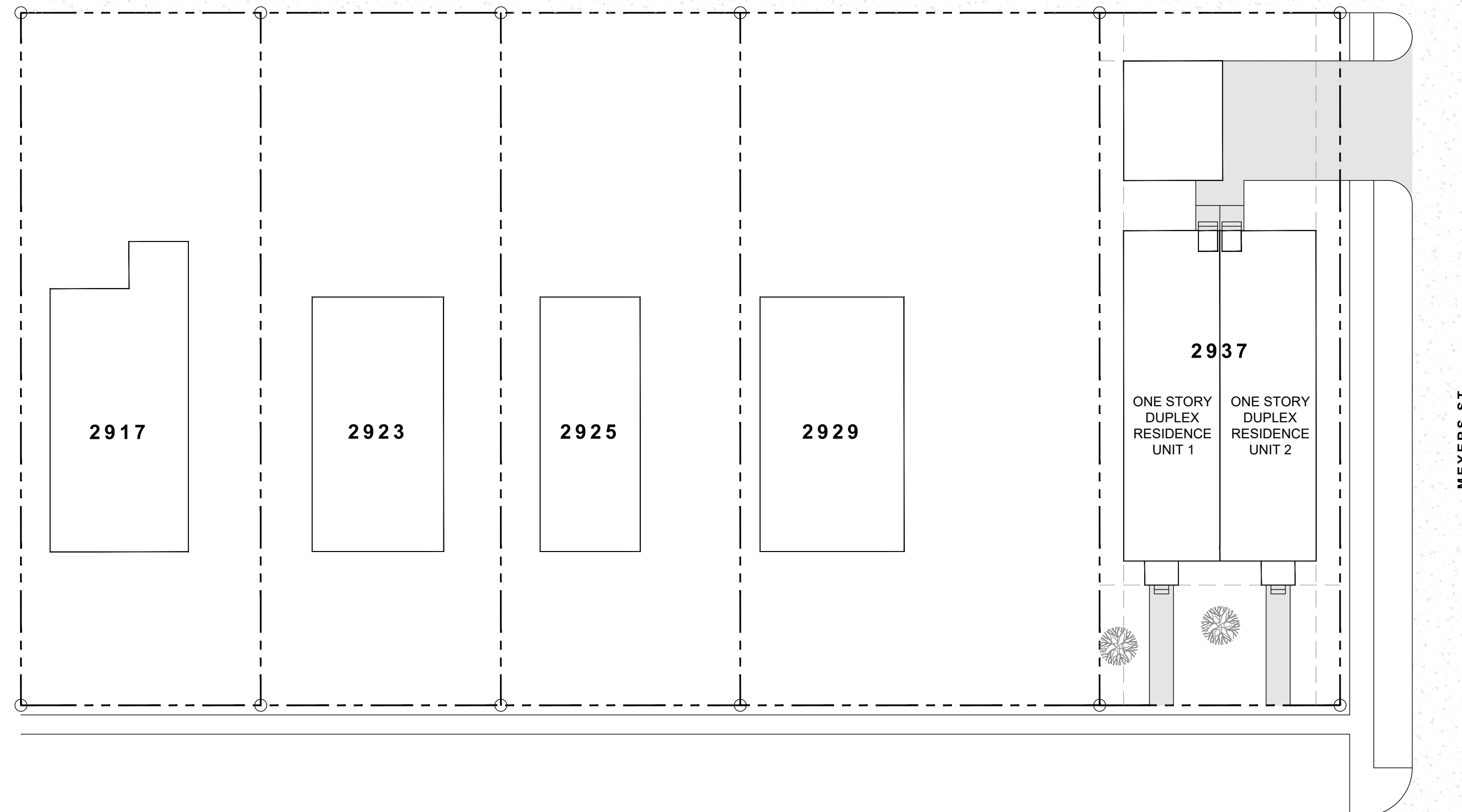
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COVER PAGE

SHEET #:
G0.00

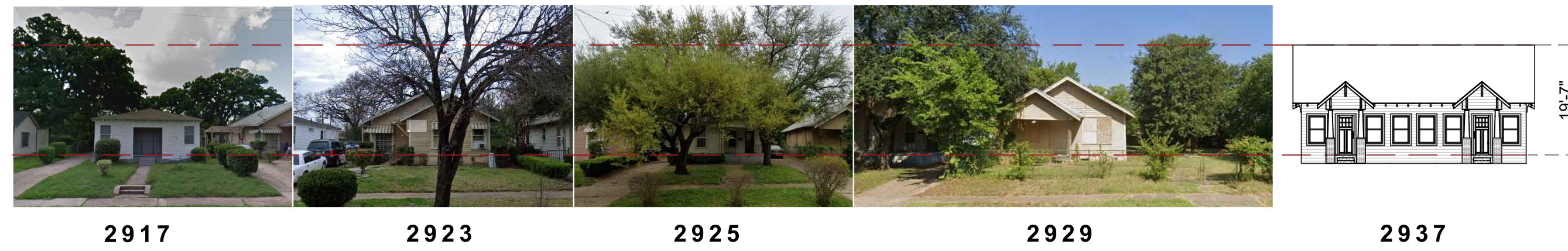
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SEAL



WARREN AVE
75215 DALLAS, TX



PROJECT/PLAN ID
2937 WARREN AVE

DATE:
6/22/26

DRAWN BY:
KR/TA

CHECKED BY:
ER

DESCRIPTION:
**ONE STORY
DUPLEX RESIDENCE;
3 BEDROOMS, 2 BATHROOMS P/UNIT**

SCALE:
1" = 20' - 0"

SHEET TITLE:
CONTEXTUAL SITE PLAN

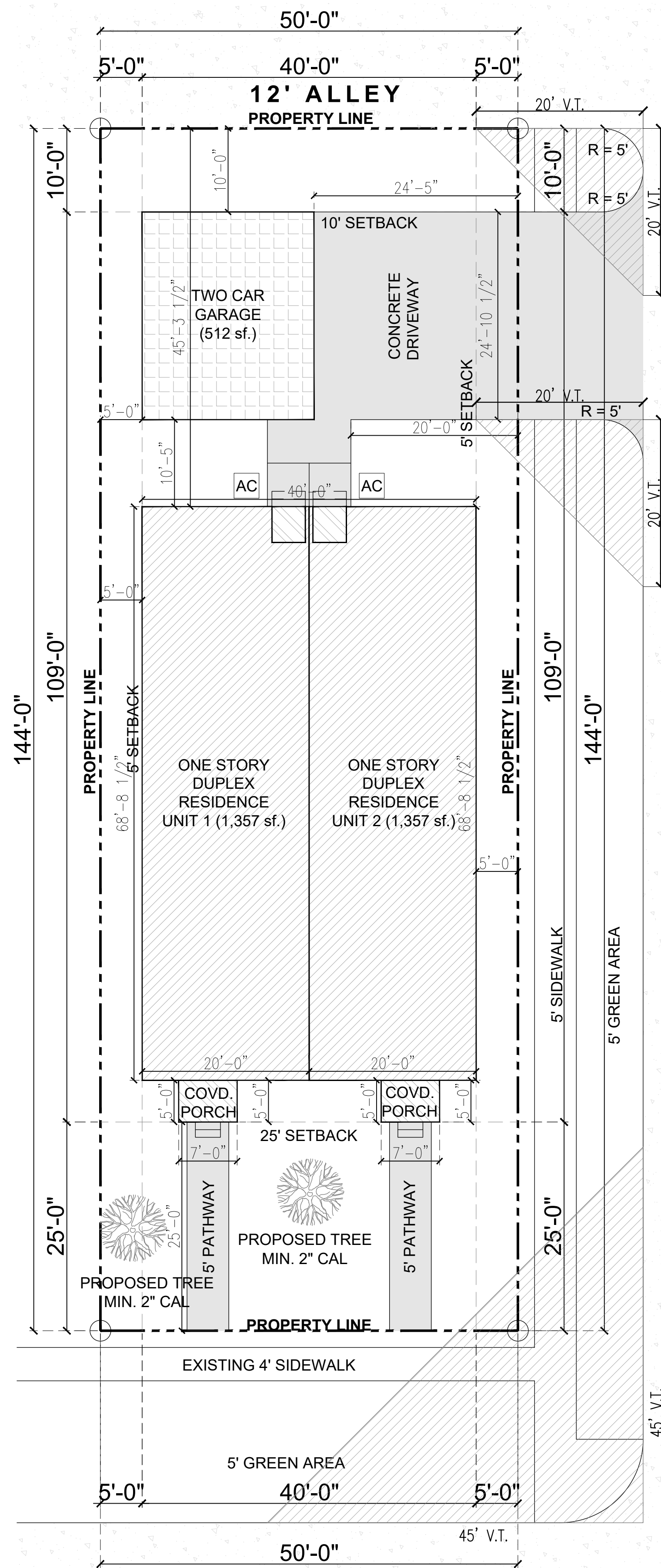
SHEET #:
C0.01

FILE NAME:
C2.01_CONTEXTUAL SITE PLAN

1 CONTEXTUAL SITE PLAN **WINCHESTER PLACE**
C0.01 1" = 20' - 0" **BLK 20/1374 LTS 37&38**

NOTE: All new residential homes require a drive approach and sidewalk installation. Unless an existing, compliant drive approach and sidewalk are already present on the lot. Drive approach, sidewalk and right of way (ROW) permits to be pulled simultaneously. Minimum of two site trees required. Please refer to the city site tree specifications to comply with the applicable jurisdictional requirements. Should a fence permit need to be added to your drawings, an additional fee will apply. Please contact our customer service team at 214-946-4300.

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**2937 WARREN AVE
75215 DALLAS, TX
WINCHESTER PLACE
BLK 20/1374 LTS 37&38**

SITE PLAN LEGEND	
---	PROPERTY LINE
- - -	SETBACK / BL
▭	BUILDING FOOTPRINT
---	EASEMENT
⋯	LOT SUBDIVISION
⊕	WOOD FENCE
⊖	IRON FENCE
○	LOT CORNER
⊕	UTILITY POLE
⊖	ELECTRIC POLE
⊕	WATER METER
⊖	MAN HOLE
▨	LIVING AREA
▩	GARAGE / CARPORT
▧	PORCH / PATIO
▦	CONCRETE PAVING
▤	PAVING

PROJECT INFORMATION	
ZONING	PD 595
LEGAL DESCRIPTION	WINCHESTER PLACE BLK 20/1374 LTS 37&38
TYPE	V-(B)
CLIMATE ZONE	ZONE 2A (WARM HUMID)
PROJECT DESCRIPTION	ONE STORY DUPLEX RESIDENCE 3 BEDROOMS, 2 BATHROOMS P/UNIT



2 VICINITY MAP
C2.01 NTS

PROJECT AREA CALCULATION U1			
LIVING AREA (AC)		NON CONDITION AREA	
FIRST LEVEL	1,357 SF.	COVD. PORCH	35 SF.
		COVD. PATIO	17 SF.

PROJECT AREA CALCULATION U2			
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		DETACHED NON AC	
		GARAGE	512 SF.

LOT AREA CALCULATION			
TOTAL LIVING AREA (AC)	2,714 SF.	LOT AREA	7,200 SF.
TOTAL UNDER ROOF	2,818 SF.	NON ROOF AREA	4,382 SF.
FOOTPRINT	2,818 SF.	% OF LOT	39.13 %

SEAL

PROJECT/PLAN ID
2937 WARREN AVE

DATE:
6/22/26

DRAWN BY:
KR/TA

CHECKED BY:
ER

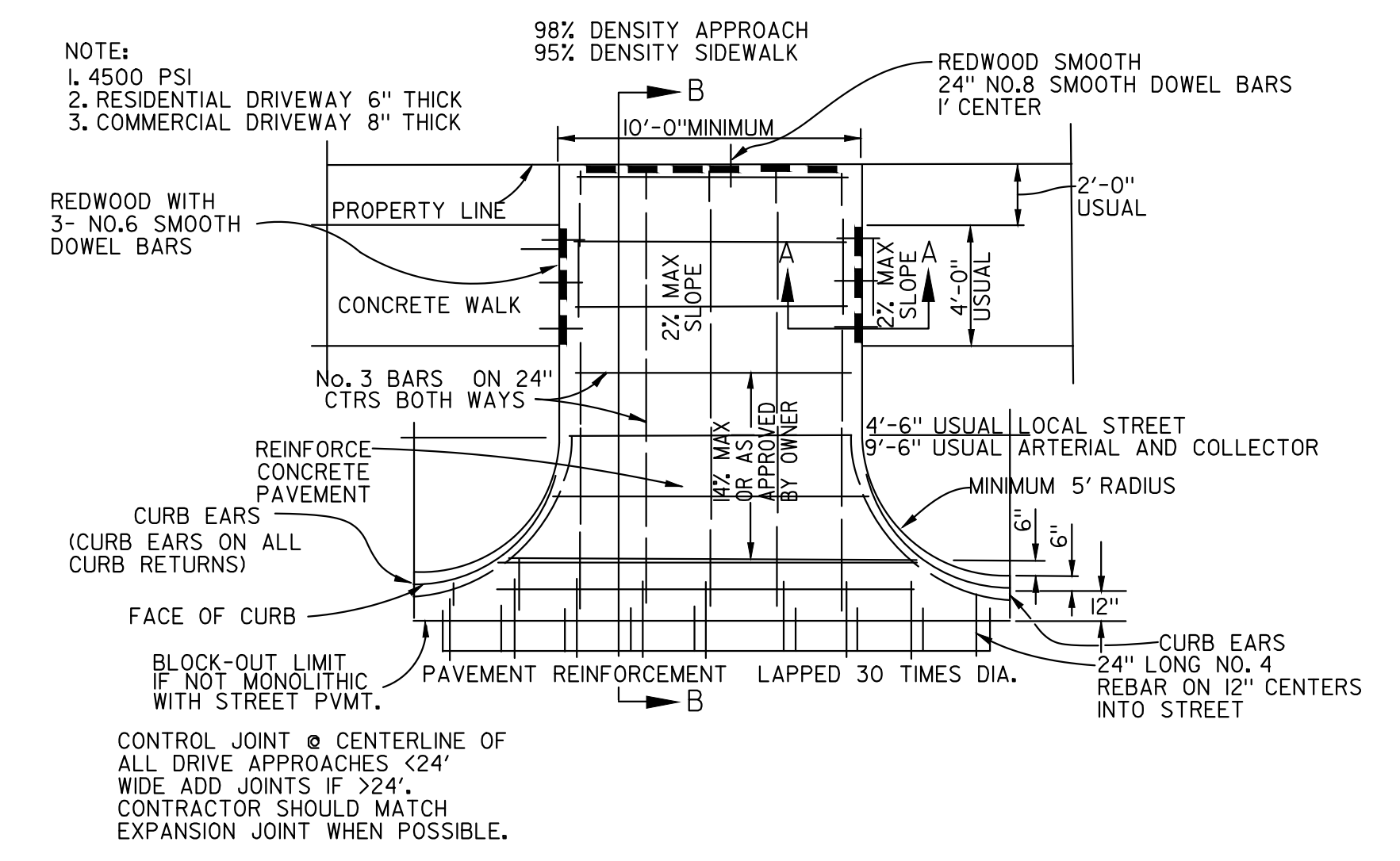
DESCRIPTION:
**ONE STORY
DUPLEX RESIDENCE;
3 BEDROOMS, 2 BATHROOMS P/UNIT**

SCALE:
1" = 10' - 0"

SHEET TITLE:
SITE PLAN

SHEET #:
C2.01

FILE NAME:
C2.01_SITE PLAN



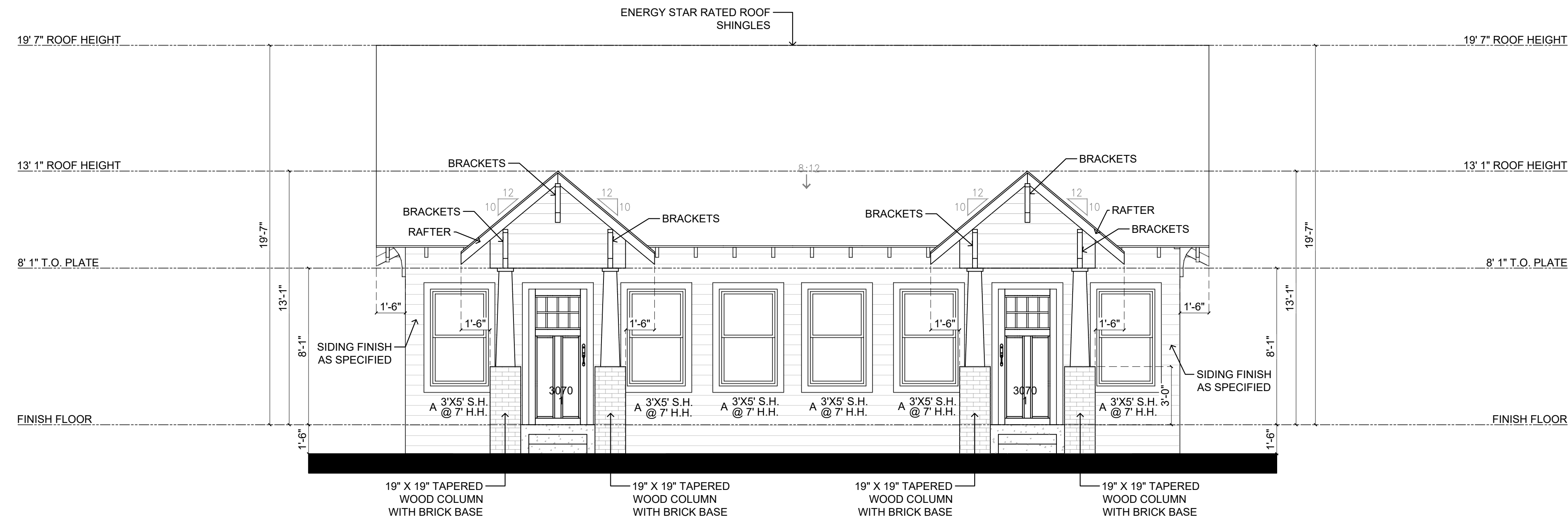
DRIVEWAY PAVING DETAILS

1 SITE PLAN
C2.01 1" = 10' - 0"

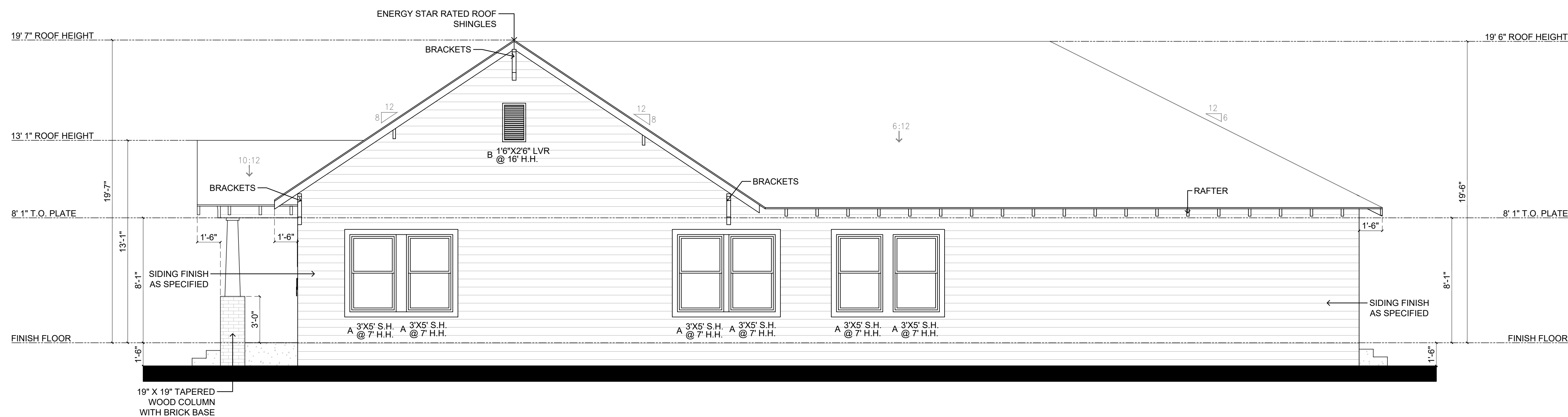
NOTE: All new residential homes require a drive approach and sidewalk installation. Unless an existing, compliant drive approach and sidewalk are already present on the lot. Drive approach, sidewalk and right of way (ROW) permits to be pulled simultaneously. Minimum of two site trees required. Please refer to the city site tree specifications to comply with the applicable jurisdictional requirements. Should a fence permit need to be added to your drawings, an additional fee will apply. Please contact our customer service team at 214-946-4300.

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SEAL



1 FRONT ELEVATION
A2.01 1/4" = 1' - 0"



2 RIGHT ELEVATION
A2.01 1/4" = 1' - 0"

PROJECT/PLAN ID
2937 WARREN AVE

DATE:
6/22/26

DRAWN BY:
KR/TA

CHECKED BY:
ER

DESCRIPTION:
**ONE STORY
DUPLEX RESIDENCE;
3 BEDROOMS, 2 BATHROOMS P/UNIT**

SCALE:
1/4" = 1' - 0"

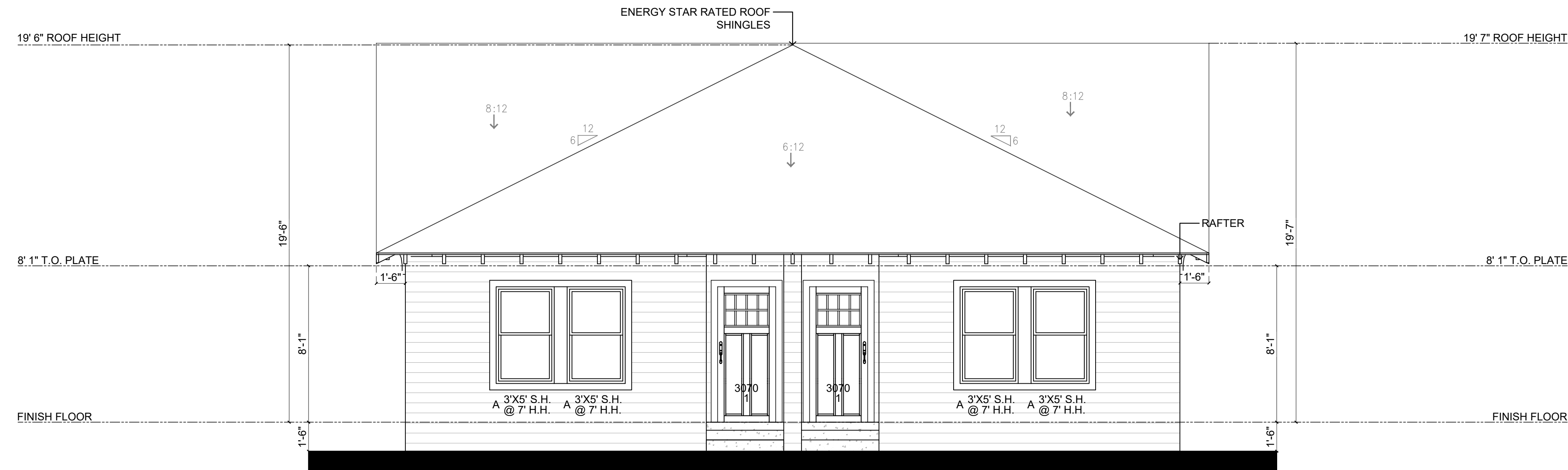
SHEET TITLE:
ELEVATIONS

SHEET #:
A2.01

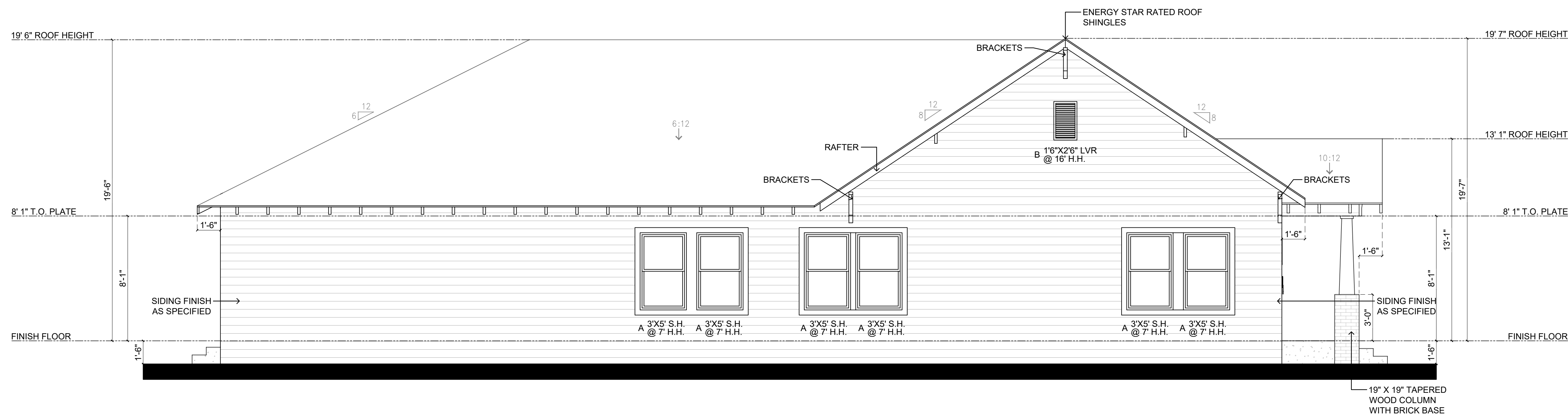
FILE NAME:
A2.01_ELEVATIONS

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SEAL



1 REAR ELEVATION
 A2.02 1/4" = 1' - 0"



2 LEFT ELEVATION
 A2.02 1/4" = 1' - 0"

PROJECT/PLAN ID
2937 WARREN AVE

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KR/TA

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DESCRIPTION:
**ONE STORY
 DUPLEX RESIDENCE;
 3 BEDROOMS, 2 BATHROOMS P/UNIT**

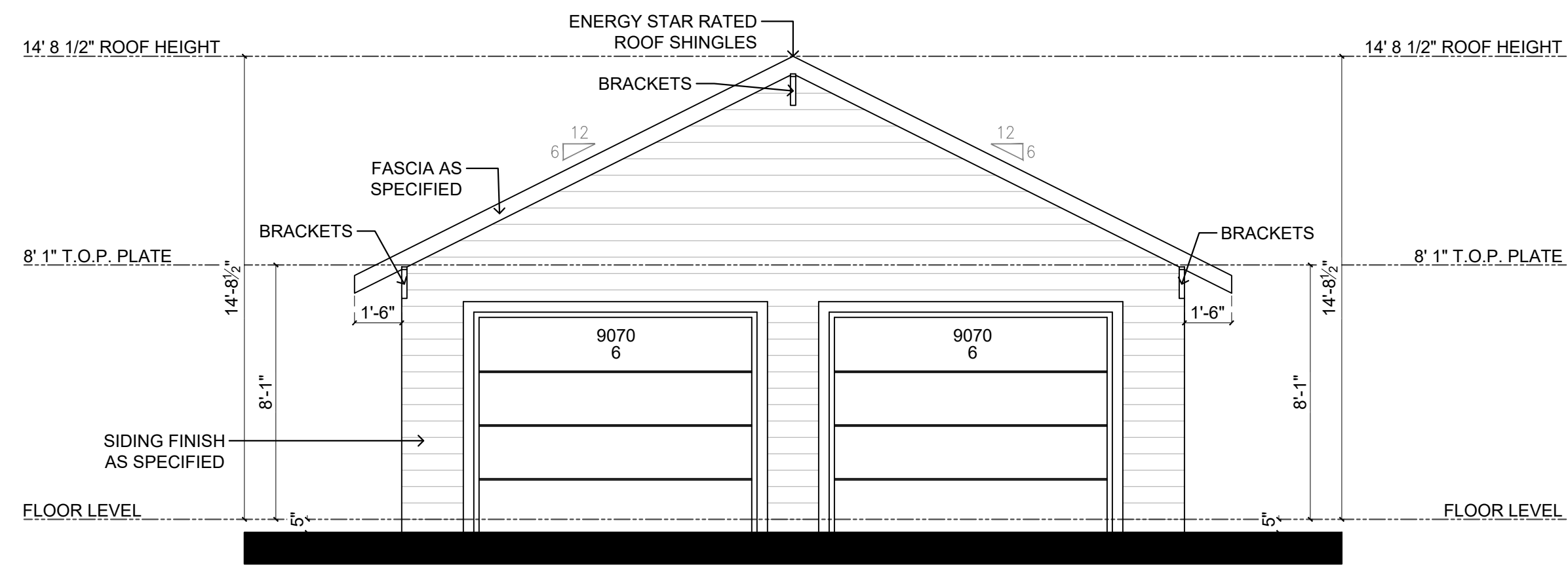
SCALE:
1/4" = 1' - 0"

SHEET TITLE:
ELEVATIONS

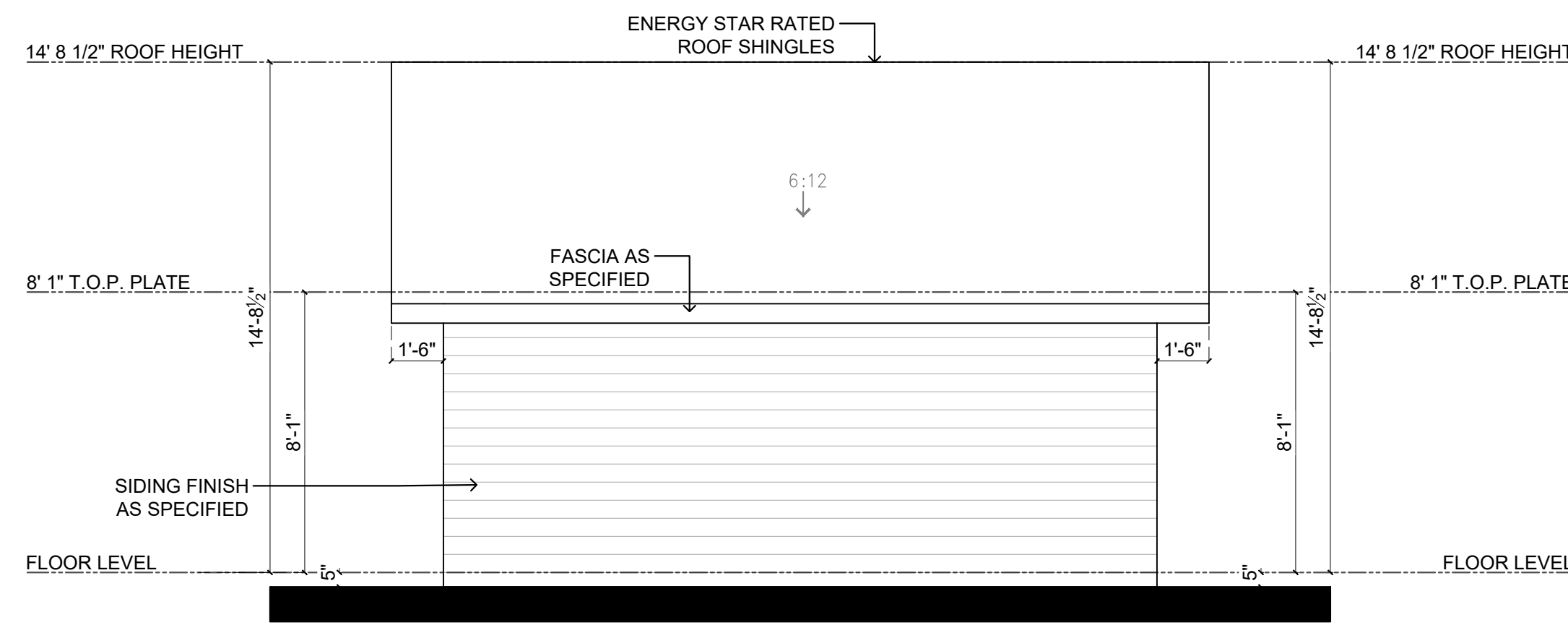
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A2.02

FILE NAME:
A2.02_ELEVATIONS

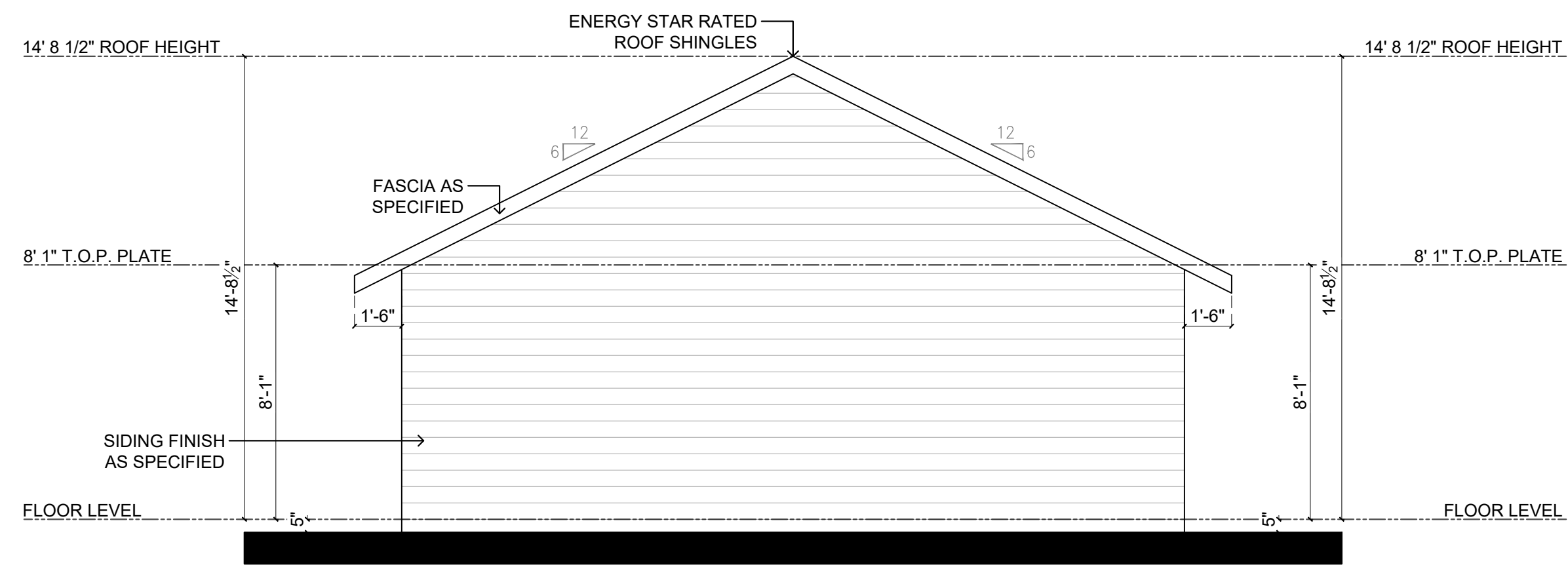
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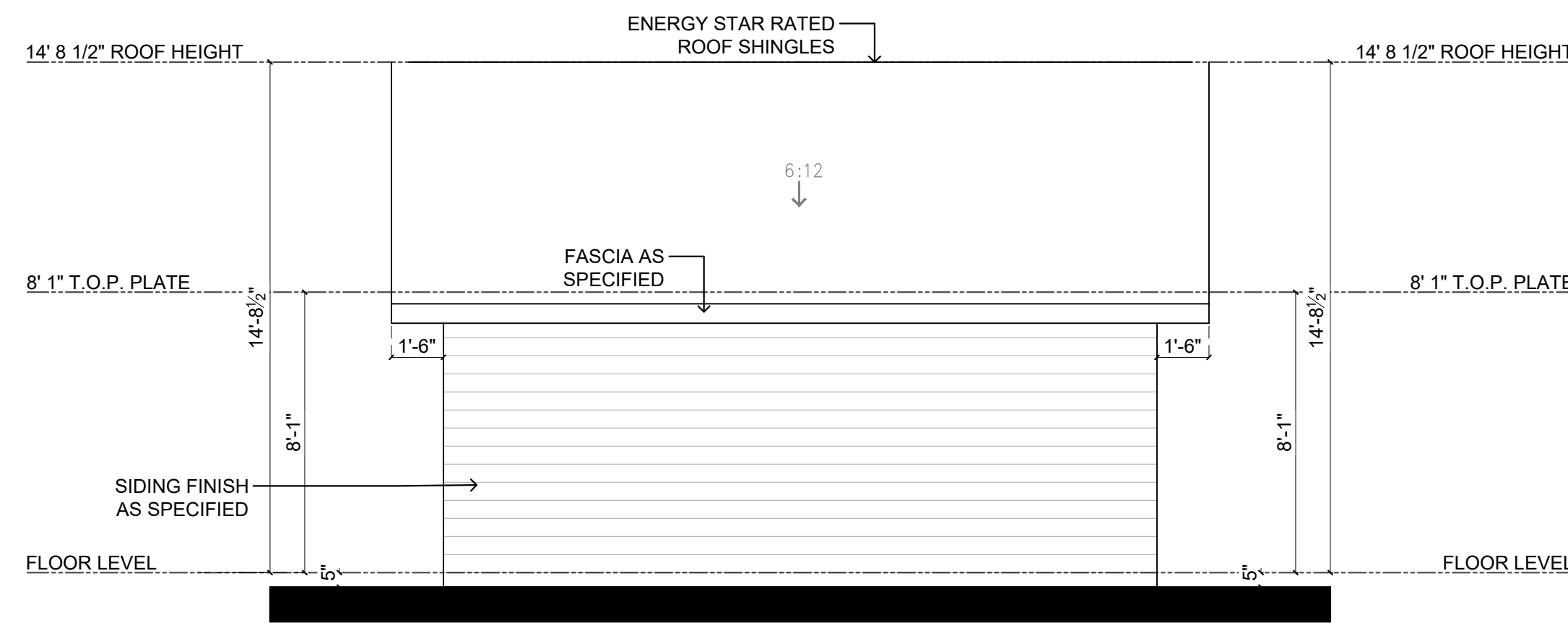
1 FRONT ELEVATION CAR GARAGE
A2.03 1/4" = 1' - 0"



2 RIGHT ELEVATION CAR GARAGE
A2.03 1/4" = 1' - 0"



1 REAR ELEVATION CAR GARAGE
A2.03 1/4" = 1' - 0"



2 LEFT ELEVATION CAR GARAGE
A2.03 1/4" = 1' - 0"

SEAL

PROJECT/PLAN ID
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DESCRIPTION:
**ONE STORY
DUPLEX RESIDENCE;
3 BEDROOMS, 2 BATHROOMS P/UNIT**

SCALE:
1/4" = 1' - 0"

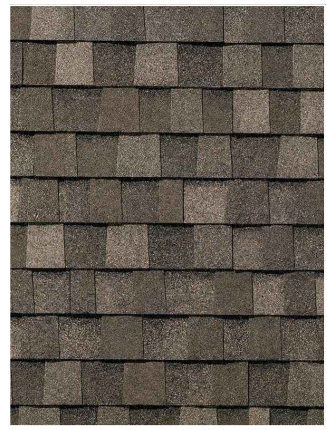
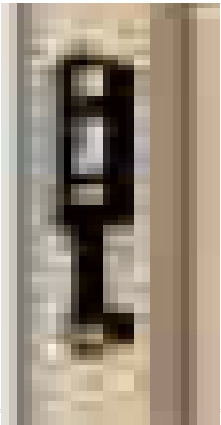



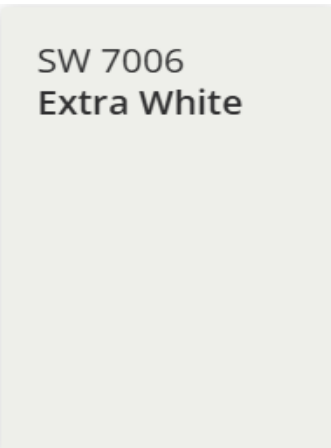
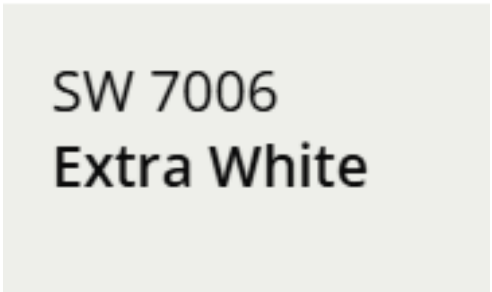

SHEET TITLE:
ELEVATIONS

SHEET #:
A2.03

FILE NAME:
A2.03_ELEVATIONS

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SEAL

MATERIAL SCHEDULE			MATERIAL SCHEDULE		
LOCATION	MATERIAL DESCRIPTION	PICTURE REFERENCE	LOCATION	MATERIAL DESCRIPTION	PICTURE REFERENCE
ROOF COATING	30 YEAR WEATHERED WOOD COMPOSITION SHINGLES		EXTERIOR DOOR HARDWARE	SCHLAGE GEORGIAN AGED BRONZE KEYED ENTRY DOORKNOB WITH BROOKSHIRE TRIM	
EXTERIOR SIDING TYPE	105 LAP WOOD SIDING		DRIVEWAY	STANDARD CONCRETE DRIVEWAY, NON-STAMPED COMPLIANT WITH HISTORIC DISTRICT	
WINDOWS	EXAMPLES OF PROPOSED FINISHED WINDOWS, SHINGLE AND DOUBLE. ALUMINUM WINDOWS WITH CUSTOM WOOD TRIM		EXTERIOR SIDING PAINT	SHERWIN WILLIAMS DUSTBLU SW9161	
PORCH POST PEDESTAL	8"x8" WOOD COLUMN; BASE & CAPITAL 12"x12"		TRIM AND ACCENT PAINT	SHERWIN WILLIAMS EXTRA WHITE SW7006	
EXTERIOR TRIM TYPE	WOOD		FRONT DOOR PAINT	SHERWIN WILLIAMS EXTRA WHITE SW7006	
EXTERIOR LIGHTING	STANDARD RECESSED LIGHTING-NO FIXTURE		FRONT ACCESS DOOR	MASONITE 6-LITE CRASFTSMAN	

PROJECT/PLAN ID
2937 WARREN AVENUE

DATE:

DRAWN BY:

CHECKED BY:

DESCRIPTION:

SCALE:
NTS

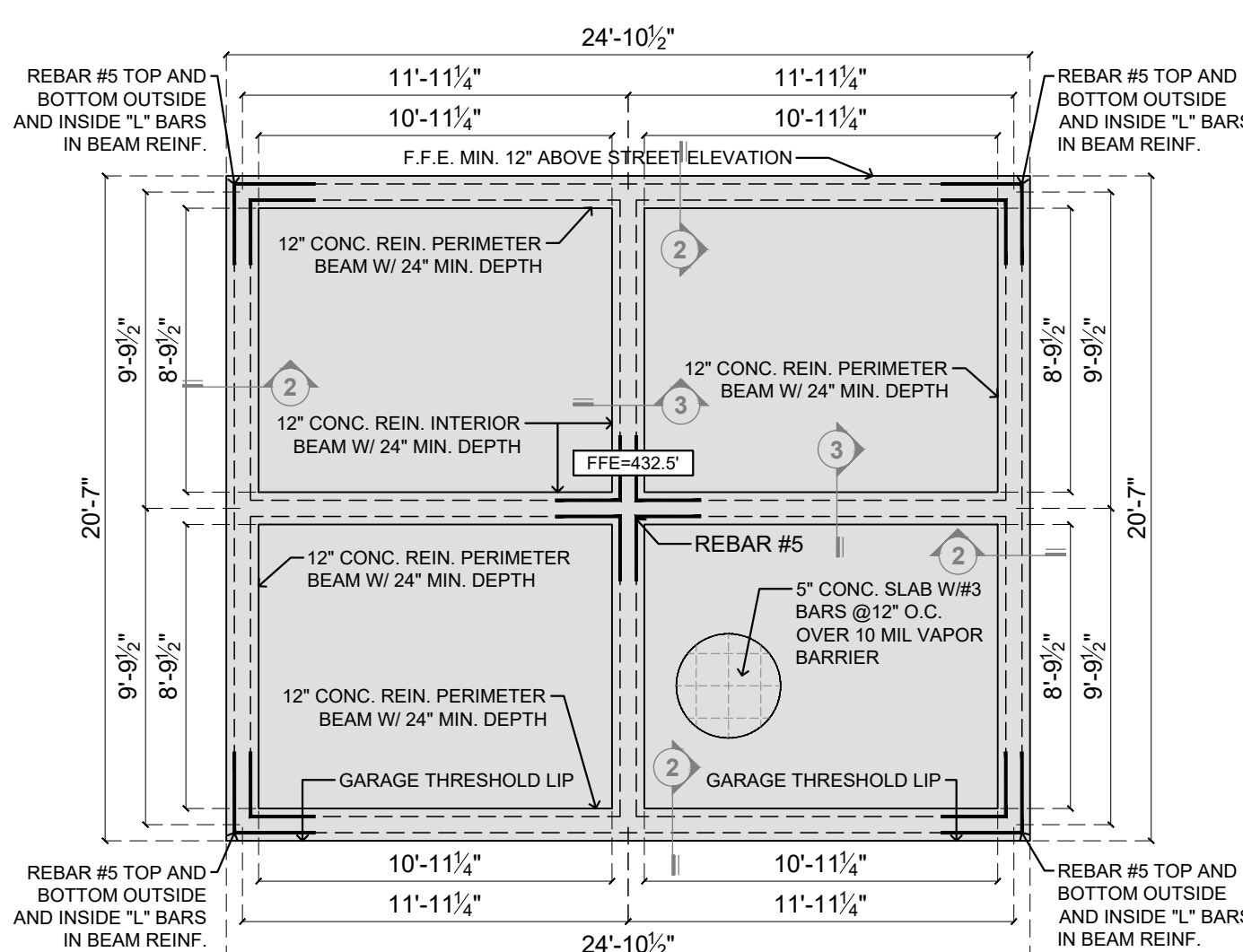
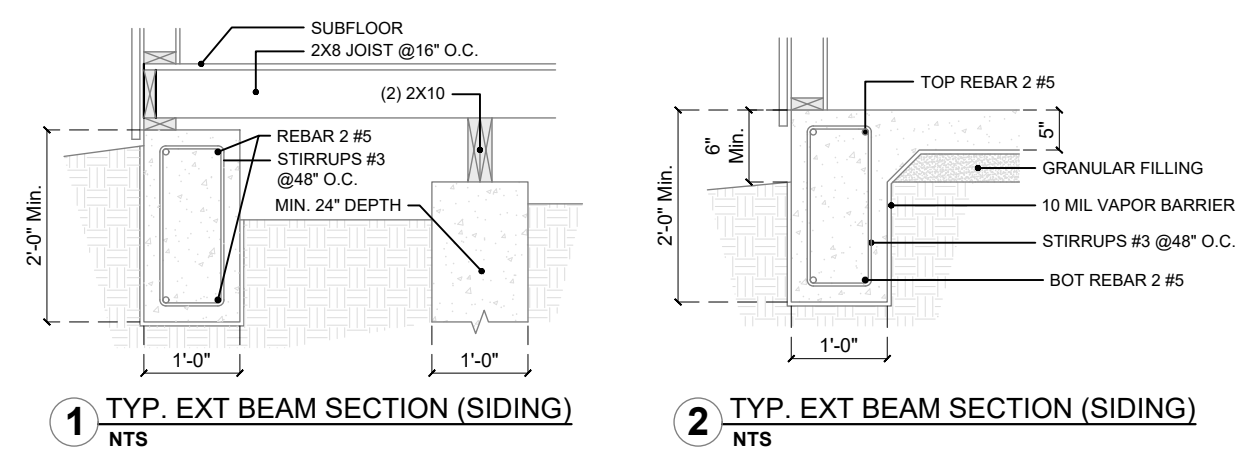
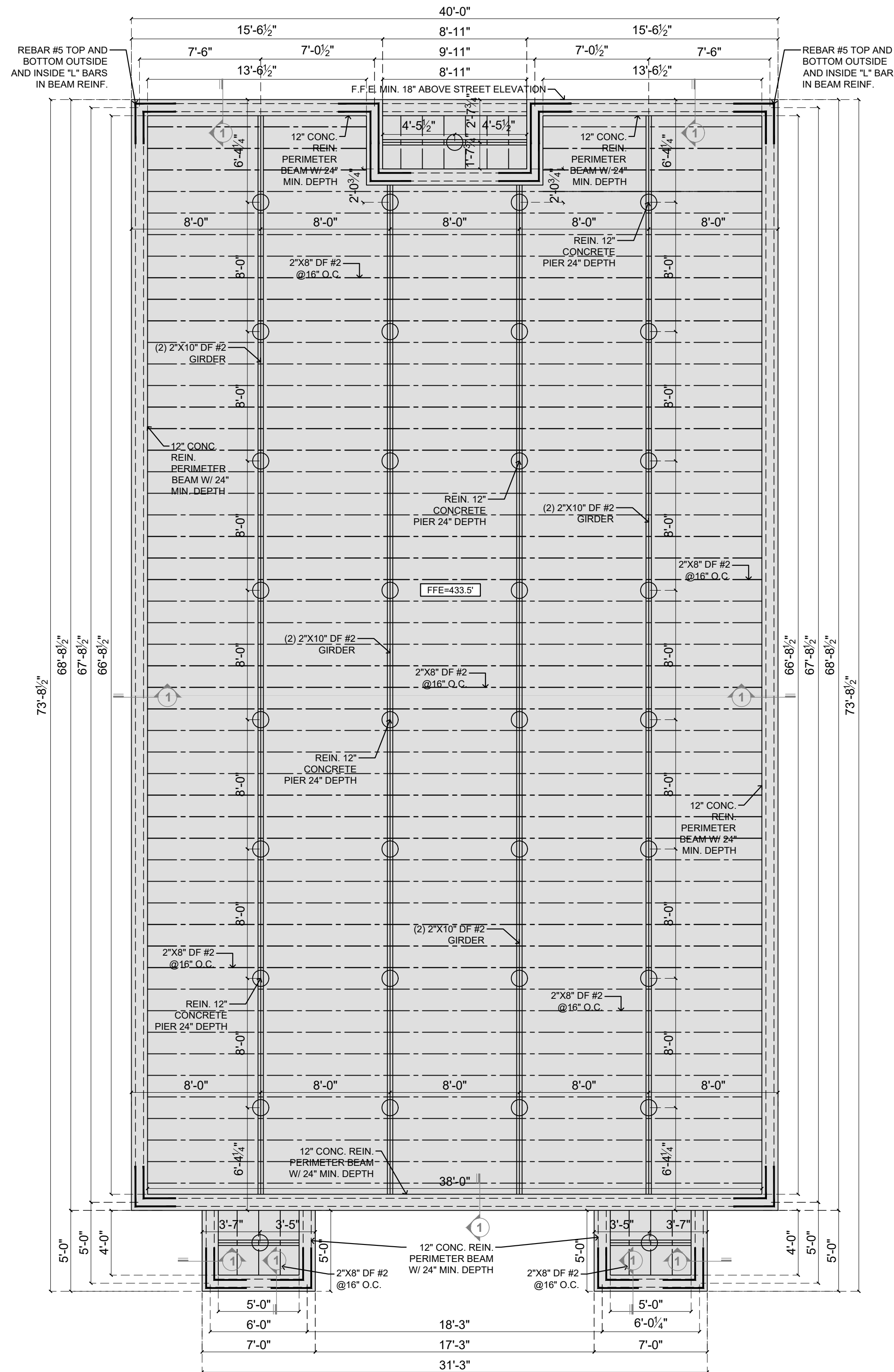
SHEET TITLE:
MATERIAL SCHDL

SHEET #:
A6.01

FILE NAME:
A6.01_MATERIAL SCHEDULE

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1 MATERIAL SCHEDULE
A6.01 NTS



FOUNDATION NOTES IRC
 DESIGN IN ACCORDANCE WITH INTERNATIONAL RESIDENTIAL CODE

- [R401.1-R403.1.9] - GENERAL FOUNDATION DESIGN
- [R408.1-R408.1.9] - DRAIN SPACE VENTILATION AND ACCESS
- [R405.1 R406.1] - FOUNDATION WATERPROOFING/DRAINAGE
- THE FLOOR SLABS SHOULD BE PLACED ON A MINIMUM OF 2 FEET OF COMPACTED AND TESTED SELECT FILL DUE TO THE HIGHLY PLASTIC NATURE OF INSITU SOIL.
- IT IS RECOMMENDED THAT THE EXISTING SOIL BE STRIPPED TO A DEPTH OF 2 FEET BELOW THE BOTTOM OF ALL FOUNDATION ELEMENTS. PRIOR TO PLACING ANY ADDITIONAL FILL MATERIAL, WE RECOMMEND THAT ALL EXPOSED SURFACES BE SCARIFIED TO A DEPTH OF ABOUT 5 TO 8 INCHES. MOISTURE CONDITIONED TO A MOISTURE CONTENT RANGING BETWEEN 2 TO 5 PERCENTAGE POINTS ABOVE THE OPTIMUM MOISTURE CONTENT AS DEFINED BY ASTM D 698 (STANDARD PROCTOR TEST), AND COMPACTED BETWEEN 93 AND 98 PERCENT OF THEIR MAXIMUM DRY DENSITY.
- OVER-EXCAVATIONS SHOULD EXTEND A MINIMUM OF 2 FEET BEYOND ALL SIDES OF THE PERIMETER FOOTINGS OR BEAMS.
- WE RECOMMEND THAT PROOFROLLING OF EXPOSED SUBGRADE PRIOR TO BACKFILLING AND THE COMPACTION OF STRUCTURAL FILL OPERATION BE OBSERVED AND DOCUMENTED BY A GEOTECHNICAL ENGINEER OR QUALIFIED REPRESENTATIVE OF THE GEOTECHNICAL ENGINEER (RGE).
- ALL FILL SHALL BE SPREAD IN LAYERS NOT EXCEEDING EIGHT (8) INCHES. WATERED AS NECESSARY, AND COMPACTED TO OBTAIN A MOISTURE CONTENT AT THE TIME OF COMPACTION SHALL BE WITHIN 2 PERCENT OF OPTIMUM MOISTURE CONTENT. COMPACTION OF THE FILL SHALL BE ACCOMPLISHED TO OBTAIN A DENSITY OF NOT LESS THAN 98 PERCENT OF MAXIMUM DRY DENSITY.
- A MINIMUM OF 10 MIL POLYETHYLENE VAPOR BARRIER (PVB) SHOULD BE PLACED ON TOP OF THE PREPARED SUITABLE SUBGRADE TO MITIGATE MOISTURE MIGRATION THROUGH THE SLABS. THE INTEGRITY OF THE PVB MUST BE MAINTAINED DURING SLABS CONSTRUCTION. A 2-INCH TO 4-INCH THICK CUSHION LAYER CONSISTING OF FINE SAND CAN BE PLACED BELOW THE PVB FOR LEVING PURPOSES.
- MATERIALS CONSIDERED SATISFACTORY AS SELECTED FILL OR TRENCH BACKFILL MATERIALS ARE CLASSIFIED AS SM, SP, SW, SP-SM, SC, SW-SM, GM, GP, GW, GP-GM AND GW-GM IN ACCORDANCE WITH THE UNIFIED SOIL CLASSIFICATION.
- THE OWNER/CONTRACTOR REQUESTED THAT THE UNITED STATES DEPARTMENT OF AGRICULTURE SOILS REPORT FOR DALLAS COUNTY, TEXAS BE USED FOR THE EVALUATION OF THE SOIL CONDITION FOR THE SITE. FOR FOUNDATION DESIGN PURPOSES, BASED ON THE SOIL'S REPORT, THE DESIGN ENGINEER ASSUMES A 4-INCH POTENTIAL VERTICAL MOVEMENT FOR THE SITE AND A PLASTICITY INDEX OF 40. THE OWNER AGREES TO INDEMNIFY AND HOLD HARMLESS THE DESIGN ENGINEER FOR ANY POOR PERFORMANCE OF THE FOUNDATION THAT MAY BE CAUSED BY THE USE OF THE REPORT. THE CONTRACTOR IS ULTIMATELY RESPONSIBLE FOR WARRANTY OF THE CONSTRUCTION.

GENERAL NOTES

- THE CONTRACTOR SHALL COORDINATE THE FOUNDATION PLAN WITH DRAWINGS FOR OPENINGS, DROPS, INSERTS, AND RELATED ITEMS. CONTRACTOR SHALL ALSO VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD BEFORE CONCRETE IS PLACED.
- THE CONTRACTOR SHALL VERIFY, PRIOR TO CONSTRUCTION, THAT THE NEW CONSTRUCTION WILL NOT CONFLICT WITH ANY EXISTING UTILITIES. IF CONFLICTS ARISE, THE CONTRACTOR SHALL NOTIFY THE JURISDICTION AND SHALL STOP UNTIL AN APPROPRIATE SOLUTION TO THE CONFLICTS IS FOUND.
- TYPICAL DETAILS AND NOTES SHALL APPLY UNLESS SPECIFICALLY SHOWN OR NOTED OTHERWISE. CONSTRUCTION DETAILS NOT FULLY SHOWN OR NOTED SHALL BE SIMILAR TO DETAILS SHOWN FOR SIMILAR CONDITIONS.
- DUE TO THE INTRICACIES OF CONSTRUCTION, IT IS IMPRACTICAL TO SPECIFY OR SHOW EVERY DETAIL. IF A CONDITION IS NOT SHOWN, A SIMILAR DETAIL OR THE CURRENT RULES OF GOOD CONSTRUCTION PRACTICES SHALL BE PRACTICES SHALL BE FOLLOWED.
- SITE GRADINGS AND DRAINAGE AROUND THE FOUNDATION SHALL BE MAINTAINED AT ALL TIMES IN SUCH A MANNER THAT SURFACE OR GROUND WATER WILL NOT COLLECT UNDER OR ADJACENT TO THE SLAB. MOISTURE CONTENT SHOULD BE KEPT CONSISTENT AND PROPER DRAINAGE AWAY FROM SLAB IS REQUIRED.
- DRAINAGE: THE FINAL GRADE AROUND THE FOUNDATION SHALL BE 6\"/>

DESIGN

- ALL REINFORCING BARS SHALL BE GRADE 60 AND CONFORM TO A.S.T.M. A615-60
- BARS SHALL BE CLEAN AND SUPPORTED ON CHAIRS AND TIED AT ALL INTERSECTIONS TO PREVENT VERTICAL AND HORIZONTAL MOVEMENT DURING CONCRETE PLACEMENT. USE 4 FT. MAXIMUM SUPPORT CENTERS ALONG EACH BAR. LAP BARS A MINIMUM OF 12\"/>

1 FOUNDATION PLAN
 S1.01 3/16" = 1' - 0"

1 FOUNDATION PLAN CAR GARAGE
 S1.01 3/16" = 1' - 0"

DISCLAIMER
 THE CONTRACTOR SHOULD THOROUGHLY REVIEW THE PLANS PRIOR TO CONSTRUCTION AND NOTIFY THE DESIGN ENGINEER IN WRITING IF THERE IS ANYTHING PROVIDED OR NOT PROVIDED ON THE PLAN THAT WOULD PREVENT THE CONTRACTOR FROM WARRANTING THE CONSTRUCTION. THE CONTRACTOR IS ULTIMATELY RESPONSIBLE FOR THE WARRANTY OF THE CONSTRUCTION.

SEAL

PROJECT/PLAN ID
2937 WARREN AVE

DATE:
6/22/26

DRAWN BY:
KR/TA

CHECKED BY:
ER

DESCRIPTION:
**ONE STORY
 DUPLEX RESIDENCE;
 3 BEDROOMS, 2 BATHROOMS P/UNIT**

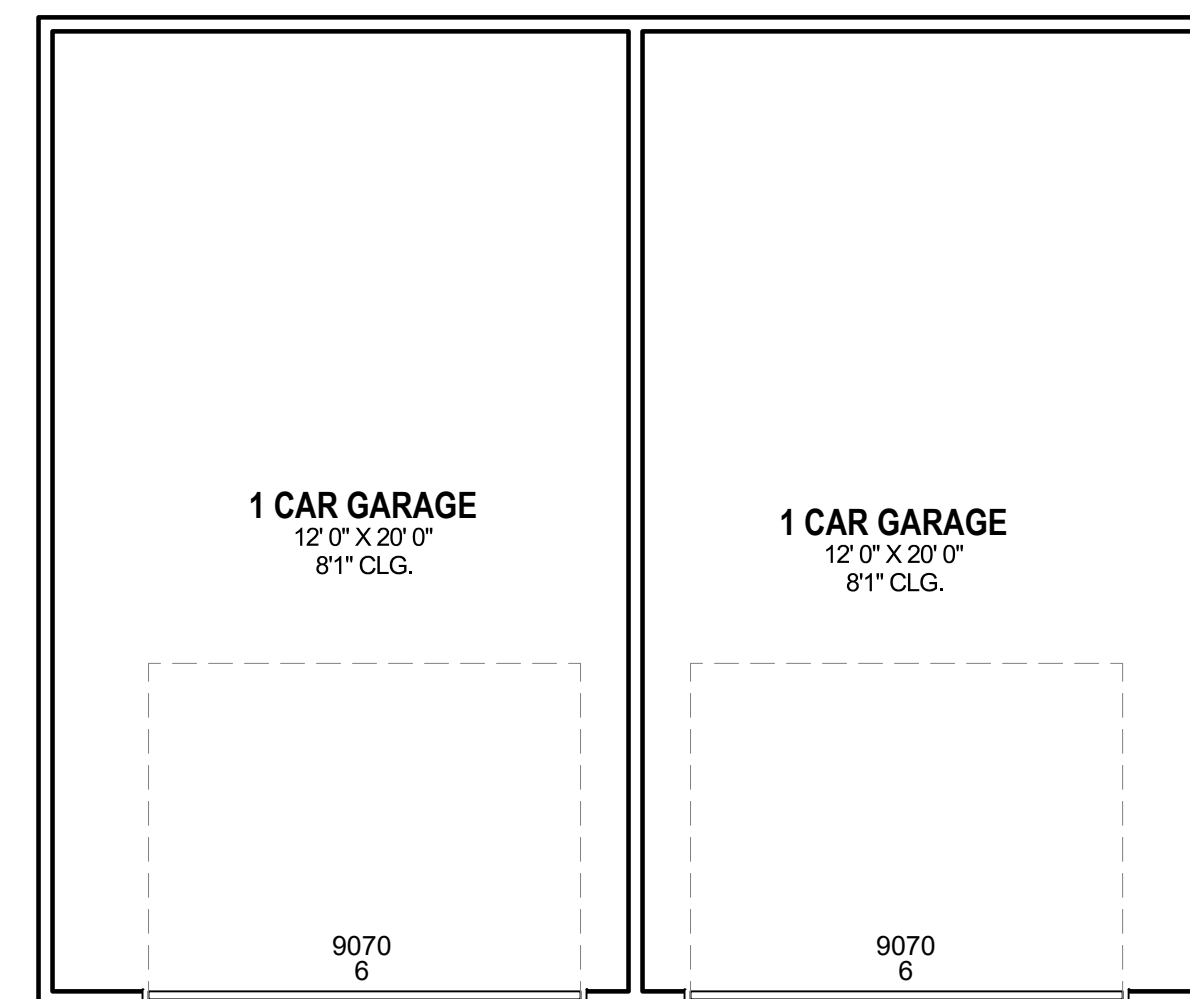
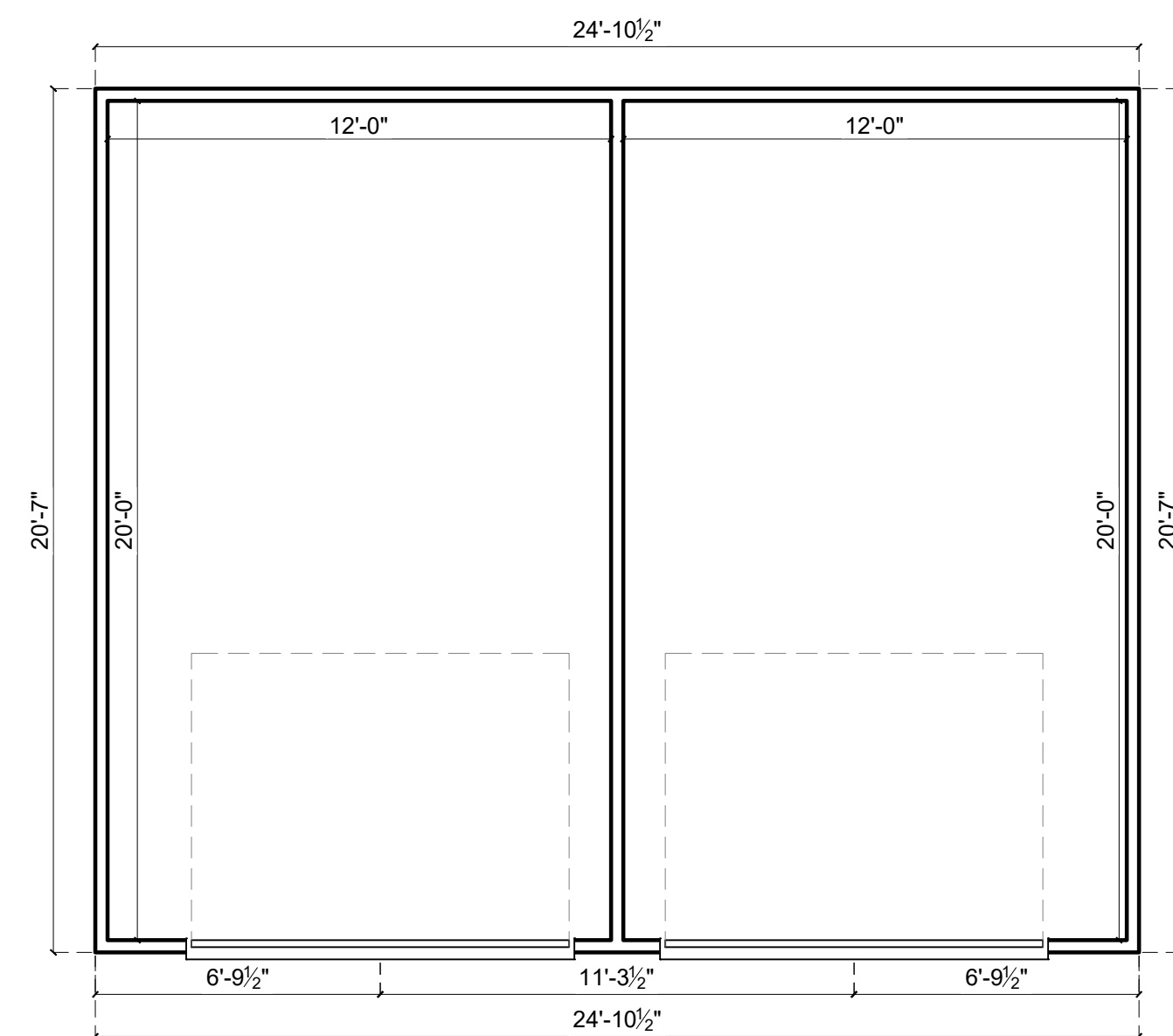
SCALE:
3/16" = 1' - 0"

SHEET TITLE:
FOUNDATION PLAN

SHEET #:
S1.01

FILE NAME:
S1.01_FOUNDATION

SEAL



PROJECT/PLAN ID
2937 WARREN AVE

DATE:
6/22/26

DRAWN BY:
KR/TA

CHECKED BY:
ER

DESCRIPTION:
**ONE STORY
DUPLEX RESIDENCE;
3 BEDROOMS, 2 BATHROOMS P/UNIT**

SCALE:
1/4" = 1' - 0"

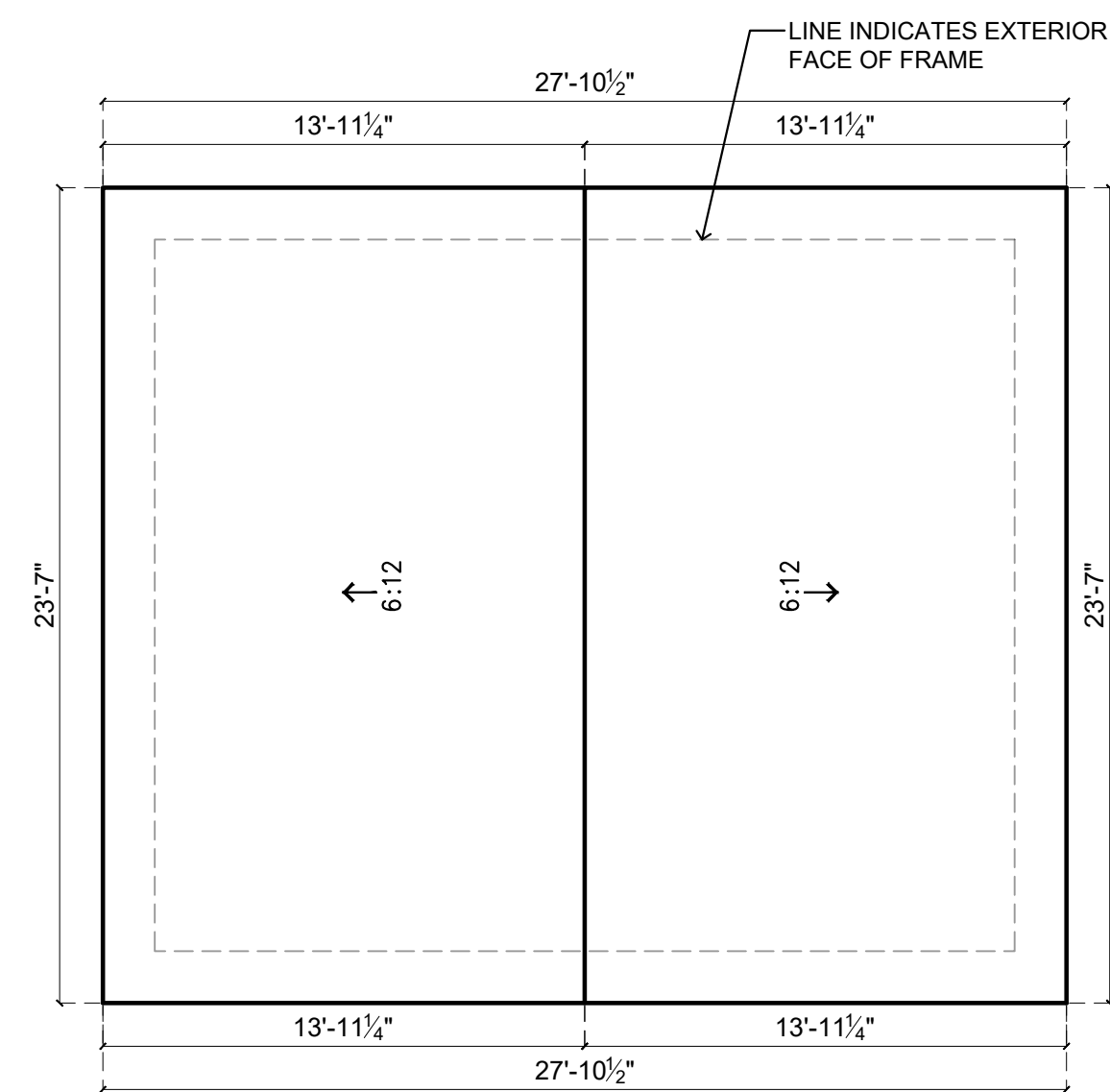
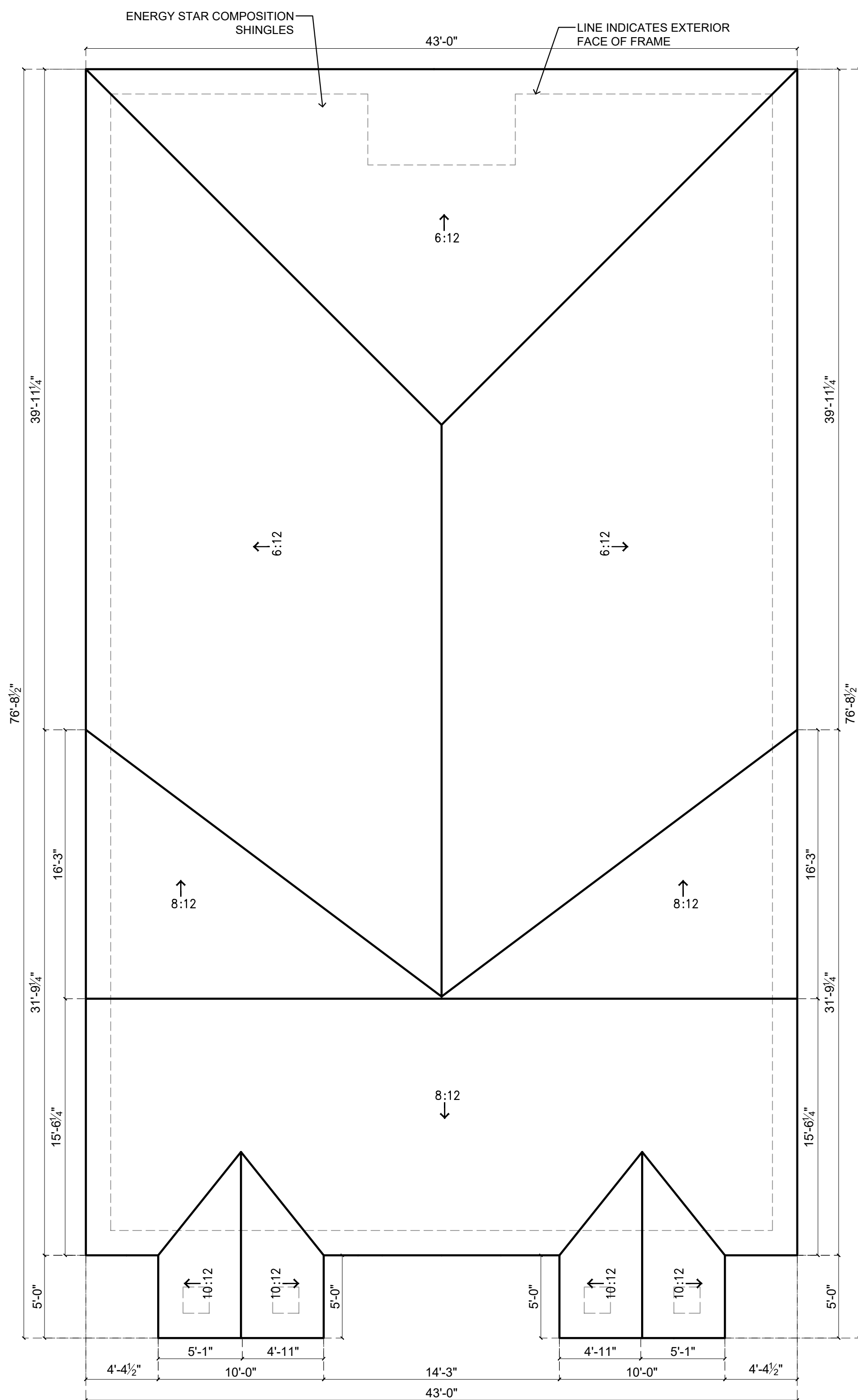
SHEET TITLE:
FLOOR PLAN

SHEET #:
A1.03

FILE NAME:
A1.03_FLOOR PLAN 3

1 DIMENSION PLAN CAR GARAGE
A1.03 1/4" = 1' - 0"

2 FLOOR PLAN CAR GARAGE
A1.03 1/4" = 1' - 0"



1 ROOF PLAN
A4.01 3/16" = 1' - 0"

1 ROOF PLAN CAR GARAGE
A4.01 3/16" = 1' - 0"

SEAL

PROJECT/PLAN ID
2937 WARREN AVE

DATE:
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ER

DESCRIPTION:
**ONE STORY
DUPLEX RESIDENCE;
3 BEDROOMS, 2 BATHROOMS P/UNIT**

SCALE:
3/16" = 1' - 0"

SHEET TITLE:
ROOF PLAN

SHEET #:
A4.01

FILE NAME:
A4.01_ROOF PLAN

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GREEN/ENERGY CODE COMPLIANCE OUTLINE 2021 IECC

1. WATER EFFICIENCY:
 - 1.1. ALL LAV, FAUCETS TO HAVE AN AVERAGE FLOW OF 2.0 GAL./MIN. OR LOWER.
 - 1.2. ALL SHOWER HEADS TO HAVE AN AVERAGE FLOW OF 2.0 GAL./MIN. OR LOWER.
- 1.3. ALL TOILETS TO BE 1.3 GAL. PER FLUSH OR DUAL FLUSH OR WATER SENSE.
2. STORM WATER:
 - 2.1. 70% OF NON-ROOF AREA MUST BE LANDSCAPED, HAVE PERMEABLE PAVING AND SLOPED FOR RUNOFF TO FILTRATION FEATURE.
3. POLY SEAL:
 - 3.1. WINDOWS AND DOORS MUST BE SEALED WITH FOAM OR CAULK.
 - 3.2. SILL PLATE MUST BE SEALED ON THE INSIDE WITH FOAM OR CAULK.
 - 3.3. ALL PENETRATIONS OF TOP PLATE/CEILING INTO ATTIC, MUST BE SEALED WITH FOAM OR CAULK.
 - 3.4. ALL WALL PENETRATIONS TO THE EXTERIOR MUST BE SEALED WITH FOAM OR CAULK.
 - 3.5. BLOWER DOOR TESTING IS MANDATORY, NOT TO EXCEED 4 AIR CHANGES PER HOUR AT 50 PASCALS.
 - 3.6. DUCT TIGHTNESS TESTING IS MANDATORY, TESTED AT 25 PASCALS, TOTAL LEAKAGE, LESS THAN OR EQUAL TO 4FT³/MIN PER 100 SQUARE FOOT OF CONDITIONED FLOOR AREA.
 - 3.6.1. EXCEPT, WHEN THE DUCTS AND AIR HANDLERS ARE ENTIRELY WITHIN THE BUILDING THERMAL ENVELOPE.
4. INSULATION:
 - 4.1. 2/2 OR GREATER SLOPED ROOFS MUST BE ENERGY STAR QUALIFIED OR MAY USE A RADIANT BARRIER OR USE SPRAY FOAM INSULATION AT THE ROOF DECK OR BE A VEGETATED ROOF.
 - 4.2. ALL PIER AND BEAM/RAISED FLOORS MUST BE INSULATED WITH R-19 INSULATION OR HIGHER.
 - 4.2.1. EXCEPT, UNVENTED CRAWL SPACE WALLS MUST BE INSULATED R-SCONTINUOUS OR R-13 CAVITY INSULATION, WITH VAPOR BARRIER OVER EXPOSED EARTH.
 - 4.3. ALL EXTERIOR WALLS MUST BE INSULATED WITH R-20 CAVITY OR R-13 CAVITY WITH R-5 CONTINUOUS INSULATION OR HIGHER.
 - 4.4. CEILINGS MUST BE INSULATED WITH R-49 IF THERE IS ATTIC SPACE AND R-30 IF NO ATTIC SPACE (GATHEDRAL) AND THAT IS LIMITED TO 500 SQ. TOTAL OR 20% OF CEILING WHICHEVER IS LESS.
 - 4.5. ATTIC ACCESS LADDERS AND OR HATCHES, MUST BE INSULATED THE SAME AS THE ATTIC AND HAVE WEATHER SEAL.
5. HVAC/SERVICE WATER:
 - 5.1. ALL DUCTS IN UNCONDITIONED SPACE/ATTICS MUST USE R-8 DUCTING.
 - 5.2. MECHANICAL SYSTEM PIPING CARRYING FLUID OVER 104"OR BELOW 55" MUST BE INSULATED WITH R-13 INSULATION.
6. WINDOWS AND DOORS
 - 6.1. MUST HAVE A U-FACTOR OF .32 OR LESS.
 - 6.2. MUST HAVE A SHGC OF .25 OR LESS.
7. LIGHTNING:
 - 7.1. ALL CAN LIGHTS MUST BE AIR-TIGHT TYPE.
 - 7.2. MINIMUM OF 75% OF LIGHTNING MUST BE EFFICIENCY (ANYTHINGBUT INCANDESCENT).

GENERAL NOTES:

1. REPORT ANY AND ALL DISCREPANCIES, ERRORS OR OMISSIONS IN THE DOCUMENTS TO THE BUILDER PRIOR TO THE ORDERING OF ANY MATERIALS AND/OR THE COMMENCEMENT OF CONSTRUCTION.
2. ALL WORK MUST BE DONE ACCORDING TO MANUFACTURE'S SPECIFICATIONS & INDUSTRY STANDARDS.
3. ALL WORK MUST BE DONE ACCORDING TO ALL CONCERNED CODE & REGULATIONS.
4. A STRUCTURAL ENGINEER MUST BE CONSULTED FOR ALL CONSTRUCTION DETAILS.
5. CONTRACTOR TO FIELD VERIFY BUILDING ELEVATIONS AND EXISTING UTILITIES.
6. VERIFY CLEARANCES ARE REQUIRED FOR ALL EQUIPMENT.
7. BEFORE PROCEEDING WITH ANY WORK OR ORDERING ANY MATERIALS, THE CONTRACTOR AND/OR SUBCONTRACTOR SHALL VERIFY ALL MEASUREMENTS AND LOCATIONS OF BUILDING COMPONENT AND THEIR INTERRELATIONSHIP AT THE BUILDING SITE, AND SHALL BE RESPONSIBLE FOR THEIR CORRECTNESS.
8. CONTRACTOR AND/OR SUBCONTRACTOR IS ULTIMATELY RESPONSIBLE FOR VERIFYING AND MAKING ADJUSTMENTS TO ANY DISCREPANCIES BETWEEN THE PLANS AND THE BUILDING SITE.
9. ALL DIMENSIONS TO BE VERIFIED AT JOBSITE.
10. SLIGHT ADJUSTMENT IN WALL LOCATIONS, UP TO 1" SHALL BE MADE IN ORDER TO GET PLUMBING IN WALLS SO LONG AS IT DOES NOT AFFECT THE FUNCTION OF FLOOR, OR ROOF TRUSSES. THIS DOES NOT RELIEVE THE PLUMBER OF LIABILITY IF NOT DONE.
11. DOOR AND WINDOW ROUGH OPENINGS SHALL BE SUCH THAT OUTSIDE EDGES OF ADJACENT, UNLESS OTHERWISE NOTED.
12. WINDOW SIZES GIVEN ARE APPROXIMATE UNIT SIZES, VERIFY ACTUAL SIZES AND ROUGH OPENING REQUIREMENTS WITH MANUFACTURER.
13. U.N.O. ALL DOORS TO BE 6'-8" HIGH.
14. U.N.O. ALL ANGLED WALLS TO BE AT 45° DEGREES.
15. FRAME ALL DOORS 3" FROM CORNERS WHERE POSSIBLE U.N.O.
16. U.N.O. HEADER HEIGHTS SHALL BE AS FOLLOWS:
 8" PLATE: 6'-10"
 9" PLATE: 7'-10"
 10" PLATE: 8'-10"
17. ALL INTERIOR AND EXTERIOR CORNERS SHALL HAVE MOIST-STOP RAN VERTICALLY UNDER THE SHEATHING.
18. PROVIDE ATTIC VENTING AT REAR OR SIDE OF ROOF ARE REQUIRED PER PLANS AND CODE
20. ALL BATHROOM MIRRORS TO BE INSERTED 1" FROM EDGE OF COUNTERTOPS.
21. SEE BUILDER SPECIFICATIONS FOR ADDITIONAL INFORMATION.

DESIGN IN ACCORDANCE WITH INTERNATIONAL RESIDENTIAL CODE

- a. [R304.1] – MINIMUM ROOM AREAS (≥70 SQ FT)
- b. [R305.1] – CEILING HEIGHT (≥7'-0")
- c. [R310.1] – EMERGENCY ESCAPE & RESCUE OPENINGS (BEDROOMS)
- d. [R311.7] – STAIRWAYS
- e. [R302.5] – GARAGE SEPARATION
- f. [R314, R315] – SMOKE/CO ALARMS
- g. [R311.2] – EGRESS DOOR REQUIREMENTS
- h. [R308.4] – SAFETY GLAZING AT REQUIRED LOCATIONS
- i. [N1102.1.1 (R402.1.1)] – THERMAL PERFORMANCE FOR FENESTRATION
- j. [R311.2] – MEANS OF EGRESS
- k. [R302.5] – GARAGE SEPARATION
- l. [R312.1-312.2] – GUARDS AND HANDRAILS

DISCLAIMER:
 The door and window dimensions and details provided herein are representative and intended for general planning purposes only. They do not constitute final specifications or material selections for the residence. Actual product types, finishes, brands, and installation details are subject to change based on design development, client preferences, budgetary adjustments, and availability at the time of construction.

1 DR & WIN SCHEDULE
A3.00 NTS

Door Schedule Per Unit				
Key	Opening Size		Description	Count
	Width	Height		
1	3'-0"	7'-0"	EXTERIOR WOOD DOOR	2
2	3'-0"	7'-0"	INTERIOR WOOD SOLID DOOR	3
3	4'-0"	7'-0"	INTERIOR WOOD SOLID SLIDING DOOR	1
4	2'-6"	7'-0"	INTERIOR WOOD SOLID DOOR	4
5	5'-0"	7'-0"	INTERIOR WOOD SOLID DOUBLE DOOR	1
6	9'-0"	7'-0"	GARAGE DOOR	2
7	2'-0"	7'-0"	INTERIOR WOOD SOLID DOOR	1

Window Schedule Per Unit				
Key	Opening Size		Description	Count
	Width	Height		
A	3'-0"	5'-0"	SINGLE HUNG	11
B	1'-6"	2'-6"	LOUVER	1

SEAL

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2937 WARREN AVE

DATE:
6/22/26

DRAWN BY:
KR/TA

CHECKED BY:
ER

DESCRIPTION:
**ONE STORY
 DUPLEX RESIDENCE;
 3 BEDROOMS, 2 BATHROOMS P/UNIT**

SCALE:
NTS

SHEET TITLE:
DR-WN SCHEDULE

SHEET #:
A3.00

FILE NAME:
A3.00_DR-WN SCHED

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