



LANDMARK COMMISSION

JUNE 1, 2026

FILE NUMBER: COA-26-000219
LOCATION: 2937 Warren Ave.
STRUCTURE: Non-Contributing
COUNCIL DISTRICT: 7
ZONING: PD-595

PLANNER: Rhonda Dunn, Ph.D.
DATE FILED: May 12, 2026
DISTRICT: Wheatley Place (H/100)
MAPSCO: 46-T
CENSUS TRACT: 0203.00

APPLICANT: Mojica, Pascual

REPRESENTATIVE: N/A

OWNER: EUDY HOMES LLC

REQUEST

A Certificate of Appropriateness to construct a new main residential building on a vacant corner lot – a duplex with a rear detached two-car garage.

STAFF RECOMMENDATION

That the request to construct a new main residential building on a vacant corner lot – a duplex with a rear detached two-car garage be approved in accordance with drawings and specifications dated 05/19/2026 with the following conditions: that foundation be pier and beam or crawlspace with a minimum height of eighteen inches; that windows be all-aluminum (i.e., no cladding) with lite configuration one over one (1 over 1); that front doors be Craftsman style with a minimum of three top lites; that brackets be added to the front gables – a minimum of three (each); that porch columns be two-part with brick bases resting on grade (a minimum of 16 inches across); that a fascia/frieze board be added to all elevations – including above the front porch columns – minimum height eight inches, preferably cedar; that paired windows be added to the left and right side elevations, front 50 percent; that roof eaves be extended to a minimum of 18 inches; that mullion(s) (i.e., trim pieces) of four to six inches in width be added between paired windows; that paint colors for the body and trim be selected from a historic paint color collection; that roof rafter tails be expressed at roof overhangs; and that driveway(s), walkway(s) and steps be of brush finished concrete. Implementation of the recommended conditions would allow the proposed work to be consistent with preservation criteria Section 3.3 under Building Site and Landscaping, and Sections 9.3, 9.6, and 9.7 under New Construction and Additions;

the standards in City Code Section 51A-4.501(g)(6)(C)(ii) for noncontributing structures; and the Secretary of the Interior's Guidelines for Setting (District/Neighborhood).

TASK FORCE RECOMMENDATION

That the request to construct a new main residential building (on a vacant corner lot) with a rear detached two-car garage be approved with the following condition(s)/comment(s):

1. Add additional windows to the living room and bedrooms.
2. Add trim to the windows and to the paired windows add mullions in between.
3. Extend roof eaves to 18 inches.
4. Column bases should be brick and need to be at ground level.
5. Check the color for the siding.
6. Update material sheet.
7. Add brackets on the front façade.
8. Review the side gable(s).

BACKGROUND / HISTORY:

Presently, 2937 Warren Avenue is a vacant interior lot at the intersection of Warren Street and Meyers Street; hence, the proposed main building is identified as non-contributing to the Wheatley Place Historic District.

A previous application for a Certificate of Appropriateness for this project was denied without prejudice by the Landmark Commission on March 2, 2026. The proposed design, two shotgun style houses side by side with a shared driveway was deemed as inappropriate to the district. A Courtesy Review was conducted for this project by the Landmark Commission on Monday, January 5, 2026. Lastly, a Demolition Permit for the subject property was issued on April 29, 1999.

RELEVANT PRESERVATION CRITERIA:

Wheatley Place Historic District (H-100), Ordinance No.: 24432

SEC. 9. NEW CONSTRUCTION AND ADDITIONS

9.2 The elevation of a lot to be used for construction of a new main structure must match the elevation of other lots on the block.

9.3 Construction of new main structures must include a front porch appropriate to the neighborhood.

9.7 New construction and additions must have appropriate color, detailing, fenestration, massing, materials, roof form, shape, and solids-to-voids ratios. New construction should be of the same predominant material. Details can be of other materials, except as otherwise noted.

9.9 Aluminum siding, stucco and vinyl cladding are not permitted.

9.11 Front yard setback for construction of new main structures.

(a) A main structure on an interior lot must have a front yard setback that is within ten feet of the average front yard setback of other structures in the blockface.

RELEVANT SECRETARY OF THE INTERIOR'S STANDARDS FOR THE TREATMENT OF HISTORIC PROPERTIES:

Guidelines for Setting (District / Neighborhood)

- **Recommended:** *Identifying, retaining, and preserving building and landscape features that are important in defining the overall historic character of the setting. Such features can include circulation systems, such as roads and streets; furnishings and fixtures, such as light posts or benches; vegetation, gardens and yards; adjacent open space, such as fields, parks, commons, or woodlands; and important views or visual relationships.*
- **Not Recommended:** *Introducing a new building or landscape feature that is visually or otherwise incompatible with the setting's historic character (e.g., replacing low metal fencing with a high wood fence).*

RELEVANT DALLAS CITY CODE:

Section 51A-4.501. Historic Overlay District

(g) Certificate of Appropriateness.

(6) Standard certificate of appropriateness review procedure.

(C) Standard for approval. The landmark commission must grant the application if it determines that:

(ii) for noncontributing structures, the proposed work is compatible with the historic overlay district.

PROJECT DESCRIPTION & ANALYSIS

The applicant proposes construction of a **new one-story duplex residence** on a **vacant corner lot** at 2937 Warren Avenue, located at the intersection of Warren Avenue and Meyers Street within the Wheatley Place Historic District (H/100). The design consists of two attached single-story units, each containing three bedrooms and two bathrooms, with **front porches oriented toward Warren Avenue**, along with a **rear detached two-car**

garage accessed from the alley. The floor plans indicate **1,357 square feet of conditioned living area per unit, 80-square-foot front porches**, and small rear patios.

The contextual site plan and elevation sheets show that the proposed building form—one story, gabled, and porch-forward—is generally compatible with the residential character of Wheatley Place. Importantly, the architectural drawings already incorporate **gable brackets** on the **front** and **both side elevations**, reinforcing the historic porch-oriented character typical of the district.

Staff identified several **items appropriate for refinement** to ensure the project fully aligns with district-appropriate new construction practices. These include: extending roof eaves to achieve an **18-inch overhang**, adding an **8-inch fascia/frieze board** on all elevations (including above porch columns), adding **paired windows** on the forward halves of the side elevations, and incorporating **4- to 6-inch mullions** between paired windows. Porch columns should be revised to a **two-part assembly with brick bases resting at grade**, consistent with the traditional detailing seen throughout Wheatley Place. Task Force comments also noted that the siding color and materials sheet should be verified for compatibility.

The window schedule in the application identifies standard single-hung window units without material specification. While not mandated by ordinance, **all-aluminum, unclad, one-over-one windows** are regarded as **appropriate and compatible** for new main structures in Wheatley Place due to their scale, finish, and alignment with the district's historic fenestration patterns. Similarly, although the district does not require a particular foundation type, a **pier-and-beam or crawlspace foundation with visible grade separation (minimum 18 inches)** is considered **appropriate and compatible**, supporting a traditional residential appearance. The applicant's current foundation sheets reflect a slab-based system, which would need to be revised to reflect this district-appropriate approach.

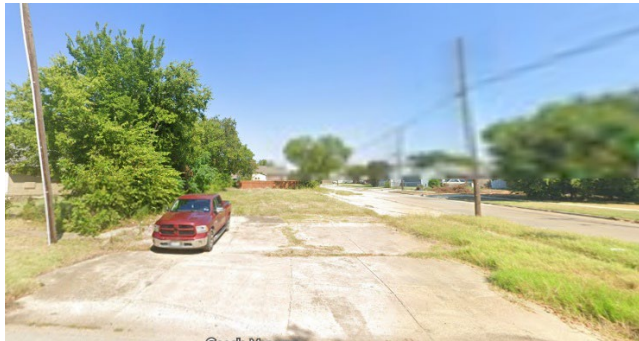
With these refinements, the proposed duplex will respond well to the historic development pattern through compatible massing, porch design, roof form, and detailing. Subject to the recommended conditions, the project is consistent with the Wheatley Place Preservation Criteria and the Secretary of the Interior's Guidelines for Setting, and it meets the standard for approval for noncontributing new construction under Section 51A-4.501(g)(6)(C)(ii).

SITE MAP
2937 Warren Ave.



The yellow rectangle highlights 2937 Warren Ave. The blue shading indicates Wheatley Place Historic District coverage. Basemap Source: Google Earth

CURRENT (& CONTEXT) PHOTO(S)
2937 Warren Ave.



Subject property: Front, southeast elevation. Source: Google Maps, Street View.



Same blockface as subject property – facing northwest. Source: Google Maps, Street View.



Across the street from the subject property – south east side of Warren Ave. Source: Google Maps, Street View.

ATTACHMENTS:

- **Task Force Recommendation Form**
- **Certificate of Appropriateness Application**

TASK FORCE RECOMMENDATION REPORT
WHEATLEY PLACE / TENTH STREET / QUEEN CITY

DATE: 05/12/2026

TIME: **4:00 pm**

MEETING PLACE: **Preservation Dallas/Videoconference**

Applicant Name: Pascual Mojica

Address: 2937 Warren Ave. (Wheatley Place)

(Wheatley Place/ Tenth St Neighborhood

HD / Queen City)

Date of CA/CD/CR Request: 04/27/2026

RECOMMENDATION:

Approve Approve with conditions Deny
 Deny without prejudice

Recommendation / comments / basis:

Add additional windows to the living room and bedrooms

Add trim to the windows and the paired windows add millions in between. 18in roof eaves

Col. base brick need to be at ground level check the color for the siding, update material

sheet, brackets on the front facade, review the side gable

Task force members present

<input type="checkbox"/>	Barbara Wheeler (Chair)	<input type="checkbox"/> Alonzo Harris
<input type="checkbox"/>	Larry Johnson (Vice Chair)	<input checked="" type="checkbox"/> Benje Feehan
<input checked="" type="checkbox"/>	Shaní Dixon	
<input checked="" type="checkbox"/>	Jarod Fancher	
<input type="checkbox"/>	VACANT	
<input type="checkbox"/>	VACANT	

Ex Officio staff members Present: Dr. Rhonda Dunn

Simple Majority Quorum: yes no

Maker: Benje Feehan

2nd: Jarod Fancher

The task force recommendation will be reviewed by the landmark commission in Briefing Room 6ES, starting with a Staff briefing. The Landmark Commission public hearing begins at 1:00 pm in Room 6ES, which allows the applicant and citizens the opportunity to provide public comment(s).

Task Force members in favor: All
Task Force members opposed: None
Basis for opposition:

CHAIR, Task Force:

DATE: 05/12/2026

GENERAL NOTES:

1. ALL WORK INCLUDING WORKMANSHIP AND MATERIALS SHALL CONFORM TO THE REQUIREMENTS OF LOCAL BUILDING CODES, REGULATIONS, LAWS AND ORDINANCES.
2. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS BY MEASUREMENTS TAKEN AT THE JOB SITE, AND SHALL TAKE ANY AND ALL OTHER MEASUREMENTS NECESSARY TO VERIFY THE DRAWINGS AND OR PERFORM HIS WORK PROPERLY. FIELD VERIFY DIMENSIONS PRIOR TO COMMENCEMENT OF WORK.
3. CONTRACTOR SHALL REMOVE ALL TRASH AND DEBRIS FROM THE PREMISES AT THE END OF EACH WORK DAY OR AS APPROVED BY THE OWNER. ALL SUCH MATERIALS SHALL BE DISPOSED OF, OFF SITE IN A LEGAL MANNER. THE WORK AREA OF OPERATION SHALL BE MAINTAINED CLEAN AT ALL TIMES.
4. CONTRACTOR IS RESPONSIBLE FOR HIS WORK DURING CONSTRUCTION. STORAGE, TRANSIT, INSTALLATION AND FINAL OWNER ACCEPTANCE. UPON COMPLETION, THE CONTRACTOR SHALL CLEAN, REPAIR AND REFINISH ALL DAMAGES TO THE SATISFACTION OF THE OWNER AS PART OF THE CONTRACT.
5. CONTRACTOR SHALL SCHEDULE AND EXECUTE ALL WORK TO PREVENT DAMAGE TO BUILDING, FINISHES AND SITE IMPROVEMENTS. CONTRACTOR SHALL PERFORM WORK TO MAINTAIN ALL BUILDINGS IN SAFE CONDITION TO ALLOW BUILDING/OWNER INSPECTIONS AT ANY GIVEN TIME. CONTRACTOR IS TO MAINTAIN AND PRESERVE ANY MATERIALS AT THE JOB SITE ANY DAMAGE CAUSED BY THE CONTRACTOR OR SUB-CONTRACTOR SHALL NOT BE AT THE OWNERS EXPENSE.
6. WHEN MANUFACTURERS OF MATERIAL AND/OR FIXTURES USED ON THIS PROJECT REQUIRE MAINTENANCE, INSTALLATION MANUALS OR DIRECTIONS NOT COVERED IN THE SPECIFICATIONS DETAILED ON THE DRAWINGS. THE CONTRACTOR SHALL FURNISH DIRECTIONS AND SHALL ISSUE APPROPRIATE COPIES TO HIS SUBCONTRACTORS AND OTHER AFFECTED PARTIES.
7. CONTRACTOR/OWNER IS RESPONSIBLE FOR ALL FOUNDATION, FRAMING, AND ANY PHASE OF THE PROJECT REQUIRING A PROFESSIONAL ENGINEER OR LICENSE TRADE PROFESSIONAL.
8. GREAT CARE AND EFFORT HAVE GONE INTO THE CREATION OF THESE BLUEPRINTS. HOWEVER, BECAUSE OF THE VARIANCE IN GEOGRAPHIC LOCATIONS, IT IS THE BUILDER/OWNER RESPONSIBILITY TO VERIFY ANY EASEMENTS, FLOOD PLAINS, SUBSTANDARD UTILITIES, DEED RESTRICTIONS, HOA , CONSERVATION, HISTORICAL OR PLAN DEVELOPMENT DISTRICTS THAT MAY IMPACT THIS PROJECT PRIOR TO CONSTRUCTION OR SUBMITTAL FOR A BUILDING PERMITS.
9. THE CONTRACTOR IS ULTIMATELY RESPONSIBLE FOR THE WARRANTY OF THE CONSTRUCTION AND ALL OR ANY CHANGES MADE PRIOR TO OR DURING CONSTRUCTION.



2937 WARREN AVE
DALLAS, TEXAS 75215



SHEET INDEX

- G0.00** COVER SHEET
- C0.01** CONTEXTUAL SITE PLAN
- C2.01** SITE PLAN
- S1.01** FOUNDATION PLAN
- S6.01** ROOF FRAMING
- S7.00** ROOF FRAMING DETAILS
- A1.01** DEMO FLOOR PLAN
- A1.02** FLOOR PLAN
- A1.03** FLOOR PLAN
- A2.01** ELEVATIONS
- A2.02** ELEVATIONS
- A2.03** ELEVATIONS
- A3.00** DOOR & WINDOW SCHEDULE
- A4.01** ROOF PLAN
- A5.01** 3D ELEVATION
- A5.02** 3D ELEVATION
- A5.03** 3D ELEVATION

BEFORE YOU BUILD

Call 811 to ensure no underground utilities are on property
 Check and Confirm all utility/drainage easements
 Check and confirm all meets and bounds for your lot (using survey)
 Check and confirm all applicable HOA, Historic, Conservation and Deed restrictions

Inspection Check list Phase One

Termite Treatment (Contact third party)
 Form Board Survey (contact your surveyor)
 Uffer Inspection (Electrical Contractor must validate and schedule)
 Plumbing Rough (Plumbing Contractor must validate and schedule)
 Foundation Inspection (Builder Responsibility)

Inspection Check List Phase Two

Electrical Rough in (Electrical Contractor must schedule)
 Mechanical A/C Furnace and duct work must be installed
 Plumbing Top out (Plumbing Contractor must schedule)
 Energy Inspection (insulation, doors, windows)ECC Energy Code
 Framing inspection (all tardes must pass green tag prior to closing any walls)

Inspection Check List Phase Three

Electrical Final (Electrical Contractor must schedule)
 Mechanical Final (Mechanical Contractor must schedule)
 Plumbing Final (Plumbing contractor must schedule)
 Customer Service/Zoning Final (if applicable)
 Building Final (all appliances, ac compressor, must be installed)

DISCLAIMER

THESE PLANS ARE INTENDED TO PROVIDE BASIC CONSTRUCTION INFORMATION NECESSARY TO SUBSTANTIALLY BUILD THIS STRUCTURE. THESE PLANS MUST BE VERIFIED AND CHECKED BY THE BUILDER, HOMEOWNER, AND ALL CONTRACTORS OF THIS JOB PRIOR TO CONSTRUCTION. BUILDER SHOULD OBTAIN COMPLETE ENGINEERING SERVICES, HVAC, AND STRUCTURAL BEFORE BEGINNING CONSTRUCTION OF ANY KIND.

NOTE: ALL FEDERAL, STATE, AND LOCAL CODES AND RESTRICTIONS TAKE PRECEDENCE OVER ANY PART OF THESE PLANS.

DISCLAIMER

GREAT CARE AND EFFORT HAVE GONE INTO THE CREATION OF THESE BLUEPRINTS. HOWEVER, BECAUSE OF THE VARIANCE IN GEOGRAPHIC LOCATIONS, CCI HOUSEPLANS WILL NOT ASSUME LIABILITY FOR ANY DAMAGES DUE TO ERRORS, OMISSIONS, OR DEFICIENCIES ON THESE OWNER/BUILDER MUST COMPLY WITH LOCAL BUILDING CODES PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE PURCHASE OF THESE PLANS ENTITLES THE BUYER TO CONSTRUCT THIS HOUSE ONLY ONCE. ANY COPYING, TRACING, OR ALTERING OF THESE PLANS IS NOT PERMITTED. VIOLATORS WILL BE SUBJECT TO PROSECUTION UNDER COPYRIGHT LAWS.

IT IS THE BUILDER/OWNER RESPONSIBILITY TO VERIFY ANY EASEMENTS OR DEED RESTRICTIONS THAT MAY IMPACT THIS PROJECT PRIOR TO CONSTRUCTION.

BUILDING CODE

01 IRC 2021 INTERNATIONAL RESIDENTIAL CODE

PROJECT AREA CALCULATION U1

LIVING AREA (AC)		NON CONDITION AREA	
FIRST LEVEL	1,357 SF.	COVD. PORCH	80 SF.
		COVD. PATIO	17 SF.

PROJECT AREA CALCULATION U2

LIVING AREA (AC)		NON CONDITION AREA	
FIRST LEVEL	1,357 SF.	COVD. PORCH	80 SF.
		COVD. PATIO	17 SF.
		DETACHED NON AC	
		GARAGE	512 SF.

LOT AREA CALCULATION

TOTAL LIVING AREA (AC)	2,714 SF.	LOT AREA	7,200 SF.
TOTAL UNDER ROOF	3,420 SF.	NON ROOF AREA	3,780 SF.
FOOTPRINT	3,420 SF.	% OF LOT	47.5 %

SEAL

PROJECT/PLAN ID

2937 WARREN AVE

DATE:

5/8/26

DRAWN BY:

KR/TA

CHECKED BY:

ER

DESCRIPTION:

**ONE STORY
 DUPLEX RESIDENCE;
 3 BEDROOMS, 2 BATHROOMS P/UNIT**

SCALE:

NTS

SHEET TITLE:

COVER PAGE

SHEET #:

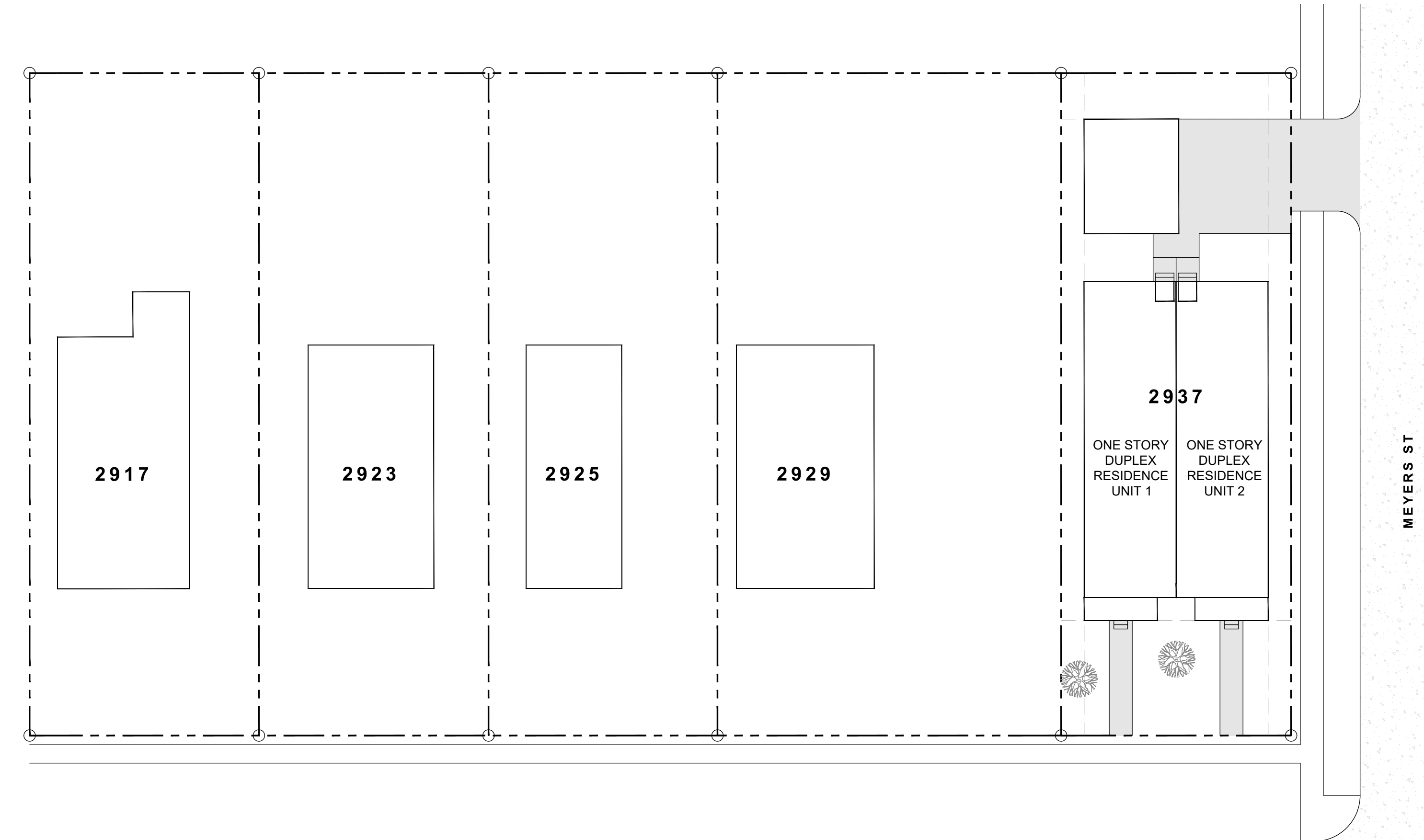
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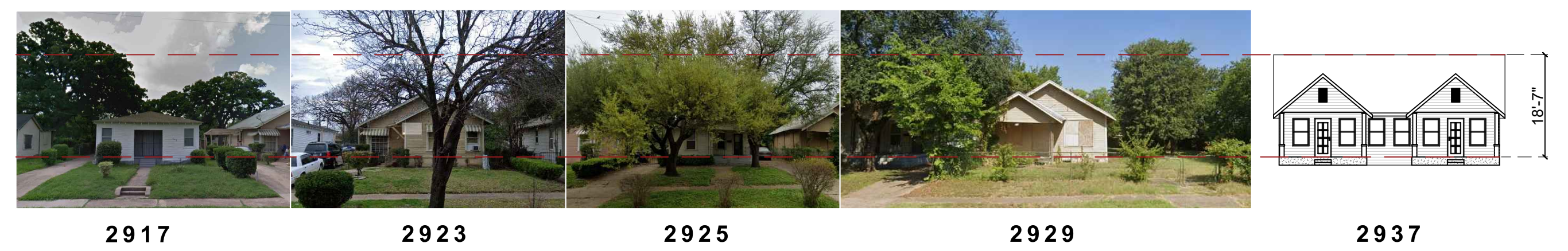
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WARREN AVE
75215 DALLAS, TX



PROJECT/PLAN ID
2937 WARREN AVE

DATE:
5/8/26

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KR/TA

CHECKED BY:
ER

DESCRIPTION:
**ONE STORY
DUPLEX RESIDENCE;
3 BEDROOMS, 2 BATHROOMS P/UNIT**

SCALE:
1" = 20' - 0"

SHEET TITLE:
CONTEXTUAL SITE PLAN

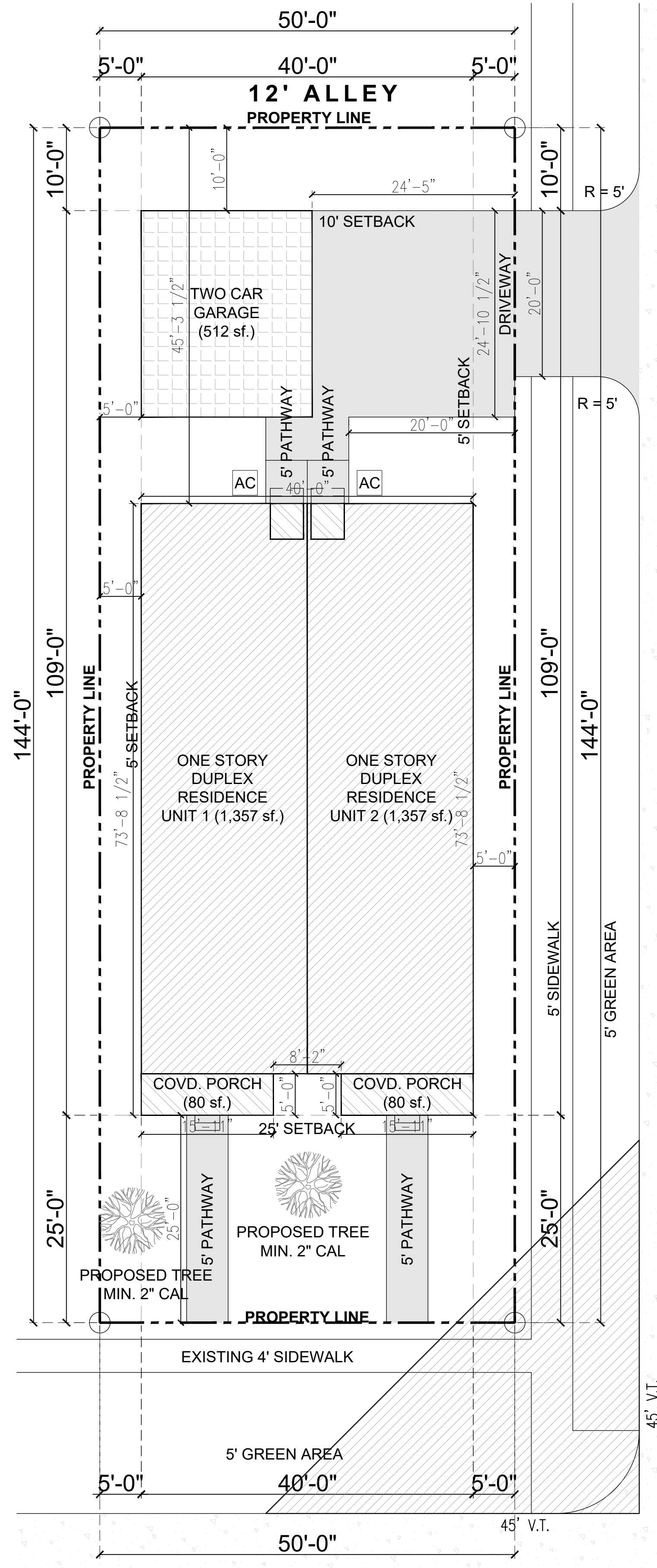
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C0.01

FILE NAME:
C2.01_CONTEXTUAL SITE PLAN

1 CONTEXTUAL SITE PLAN **WINCHESTER PLACE**
C0.01 1" = 20' - 0" **BLK 20/1374 LTS 37&38**

NOTE: All new residential homes require a drive approach and sidewalk installation. Unless an existing, compliant drive approach and sidewalk are already present on the lot. Drive approach, sidewalk and right of way (ROW) permits to be pulled simultaneously. Minimum of two site trees required. Please refer to the city site tree specifications to comply with the applicable jurisdictional requirements. Should a fence permit need to be added to your drawings, an additional fee will apply. Please contact our customer service team at 214-946-4300.

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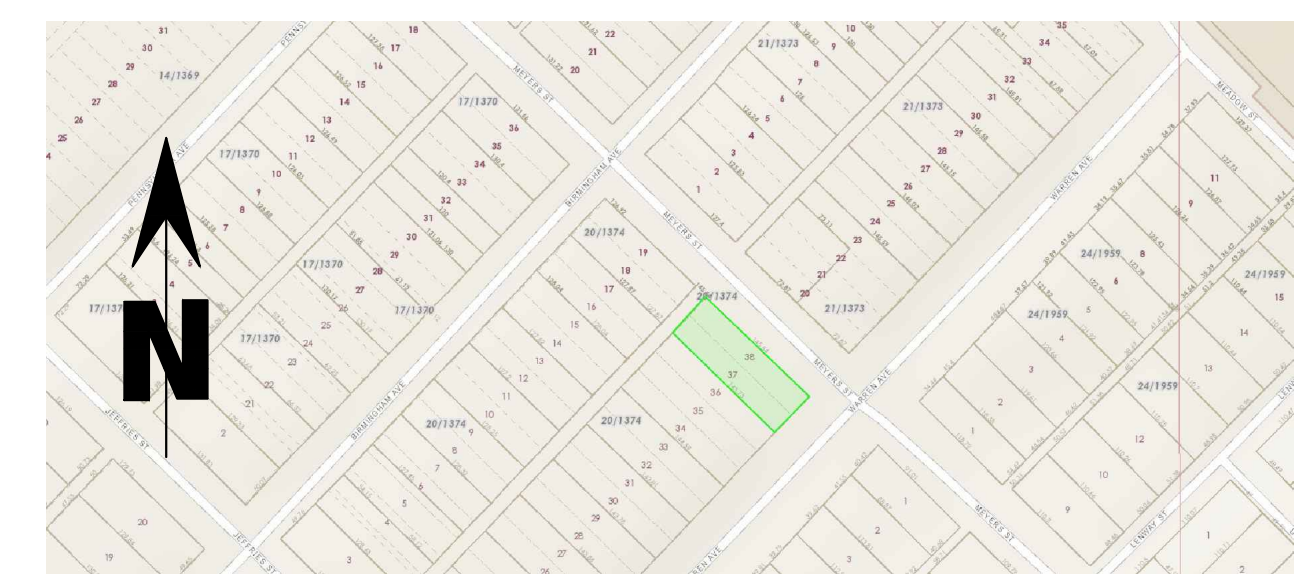
2937 WARREN AVE
75215 DALLAS, TX
WINCHESTER PLACE
BLK 20/1374 LTS 37&38

SITE PLAN LEGEND

- PROPERTY LINE
- - - SETBACK / BL
- BUILDING FOOTPRINT
- - - EASEMENT
- LOT SUBDIVISION
- WOOD FENCE
- IRON FENCE
- LOT CORNER
- UTILITY POLE
- ELECTRIC POLE
- WATER METER
- MAN HOLE
- ▨ LIVING AREA
- ▨ GARAGE / CARPORT
- ▨ PORCH / PATIO
- ▨ CONCRETE PAVING
- ▨ PAVING

PROJECT INFORMATION

ZONING	PD 595
LEGAL DESCRIPTION	WINCHESTER PLACE BLK 20/1374 LTS 37&38
TYPE	V-(B)
CLIMATE ZONE	ZONE 2A (WARM HUMID)
PROJECT DESCRIPTION	ONE STORY DUPLEX RESIDENCE 3 BEDROOMS, 2 BATHROOMS P/UNIT



2 VICINITY MAP
C2.01 NTS

PROJECT AREA CALCULATION U1

LIVING AREA (AC)	NON CONDITION AREA
FIRST LEVEL 1,357 SF.	COVD. PORCH 80 SF.
	COVD. PATIO 17 SF.

PROJECT AREA CALCULATION U2

LIVING AREA (AC)	NON CONDITION AREA
FIRST LEVEL 1,357 SF.	COVD. PORCH 80 SF.
	COVD. PATIO 17 SF.
	DETACHED NON AC
	GARAGE 512 SF.

LOT AREA CALCULATION

TOTAL LIVING AREA (AC) 2,714 SF.	LOT AREA 7,200 SF.
TOTAL UNDER ROOF 3,420 SF.	NON ROOF AREA 3,780 SF.
FOOTPRINT 3,420 SF.	% OF LOT 47.5 %

SEAL

PROJECT/PLAN ID
2937 WARREN AVE

DATE:
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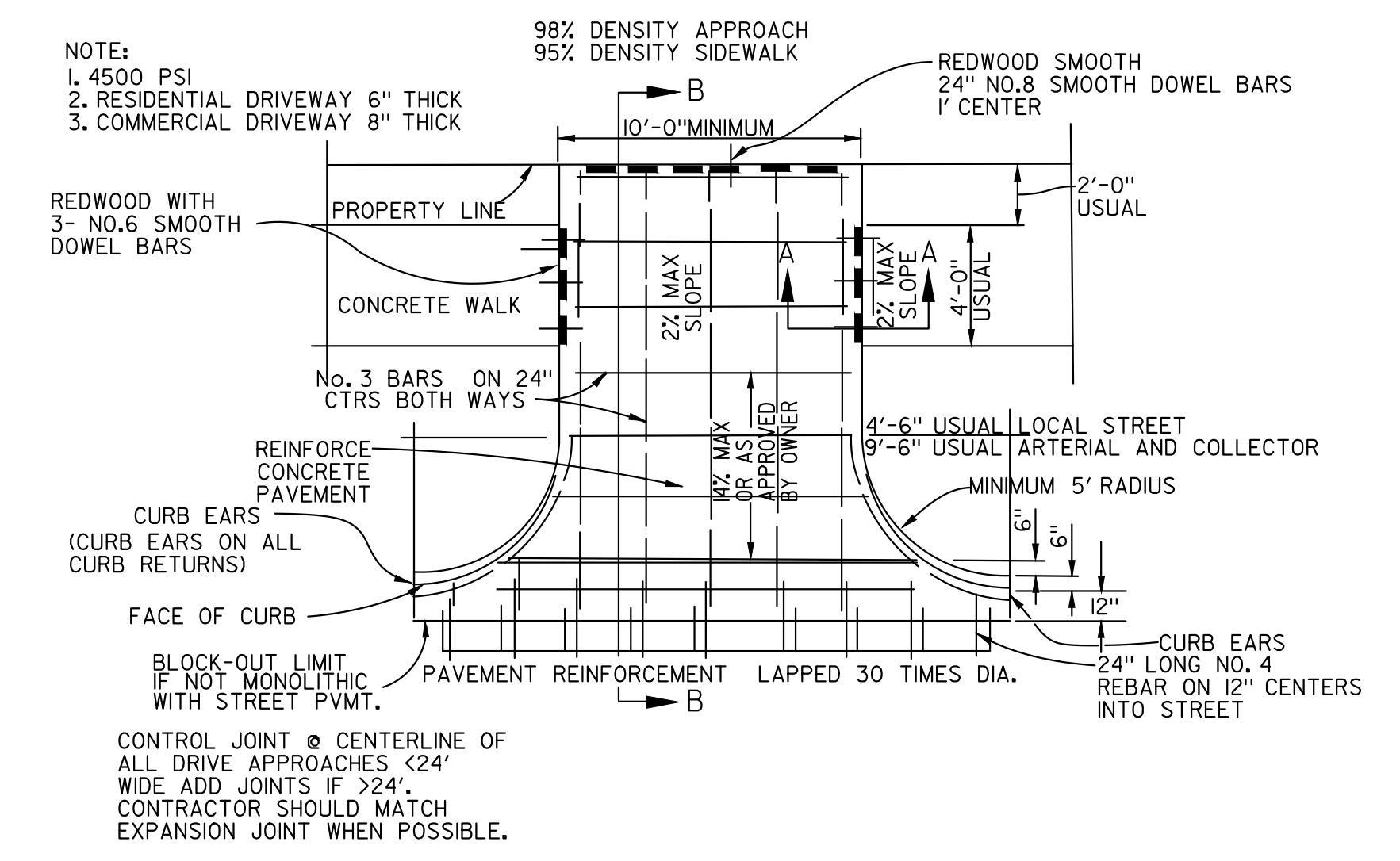
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**ONE STORY
 DUPLEX RESIDENCE;
 3 BEDROOMS, 2 BATHROOMS P/UNIT**

SCALE:
1" = 10' - 0"

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SITE PLAN

SHEET #:
C2.01

FILE NAME:
C2.01_SITE PLAN

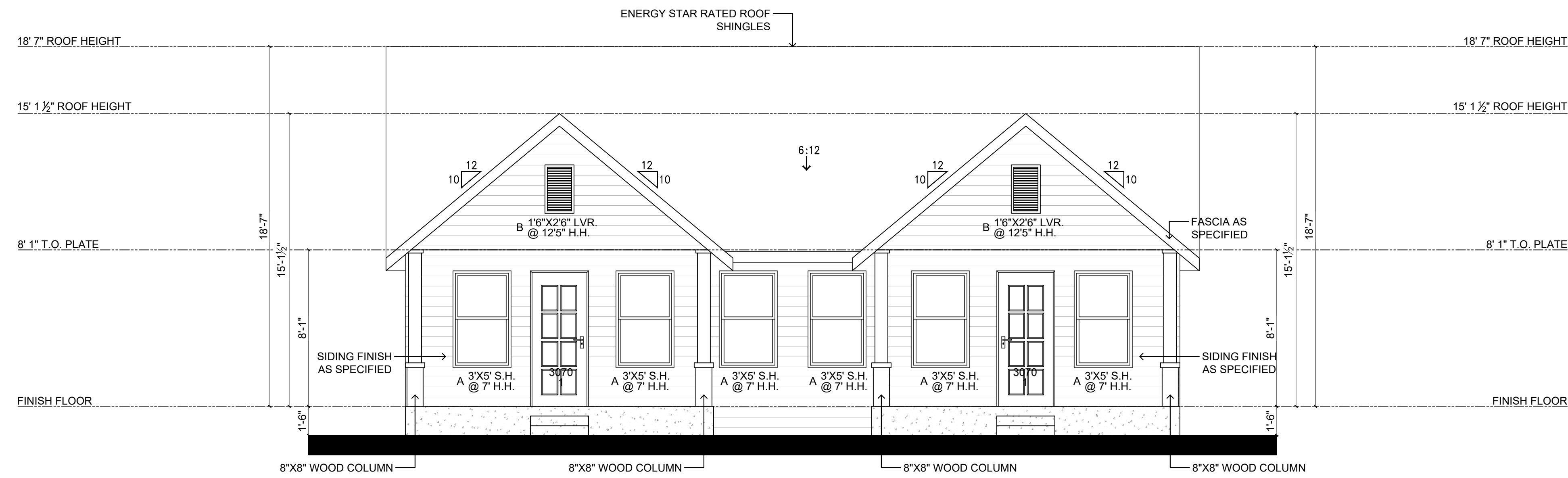


DRIVEWAY PAVING DETAILS

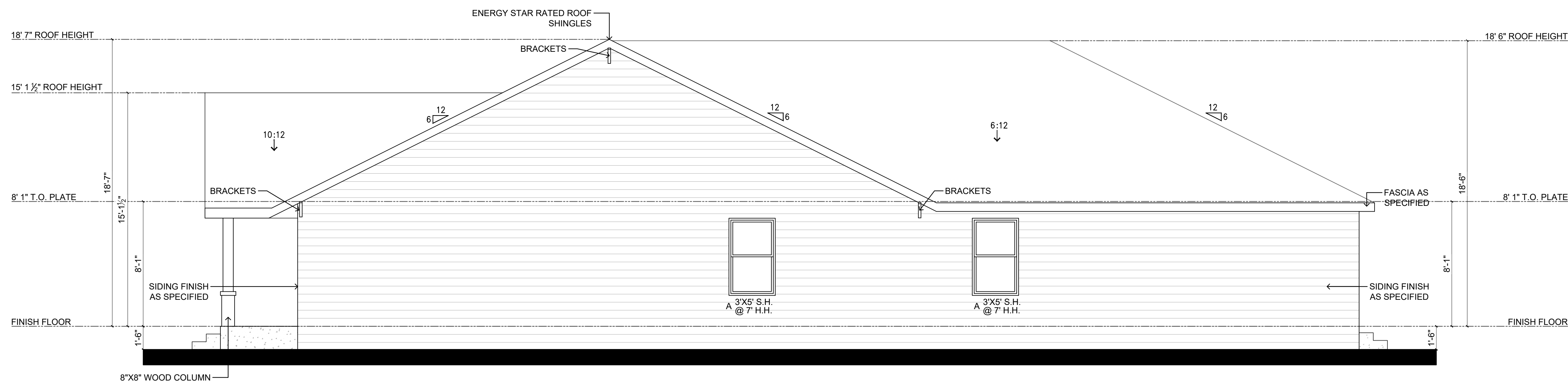
1 SITE PLAN
C2.01 1" = 10' - 0"

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SEAL



1 FRONT ELEVATION
A2.01 1/4" = 1' - 0"



2 RIGHT ELEVATION
A2.01 1/4" = 1' - 0"

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2937 WARREN AVE

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5/8/26

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DESCRIPTION:
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DUPLEX RESIDENCE;
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SCALE:
1/4" = 1' - 0"

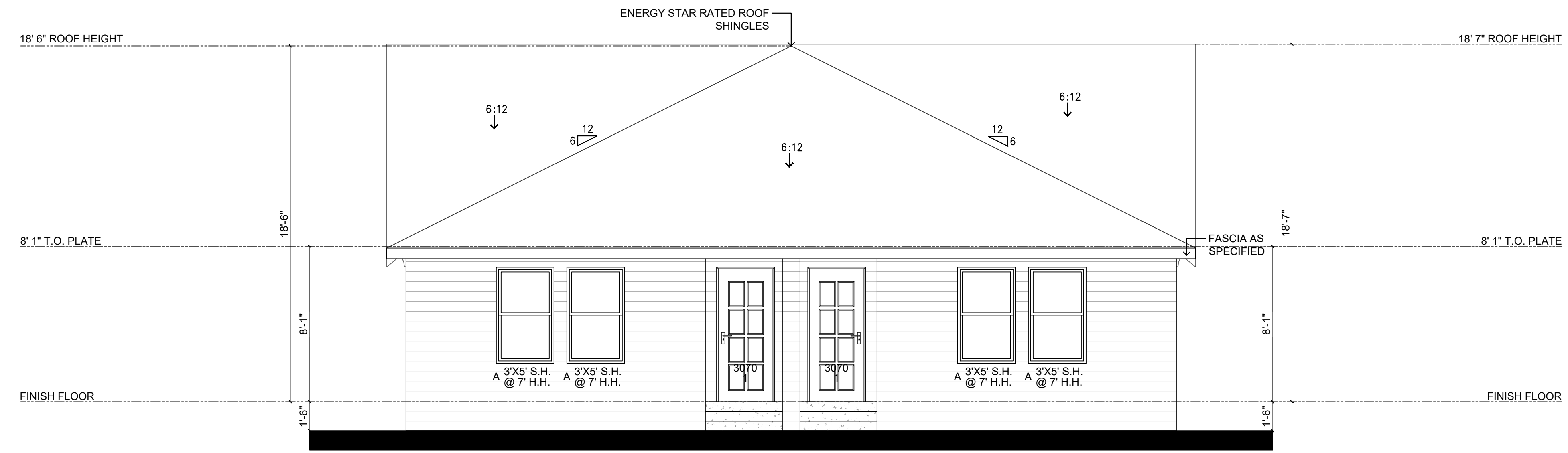
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ELEVATIONS

SHEET #:
A2.01

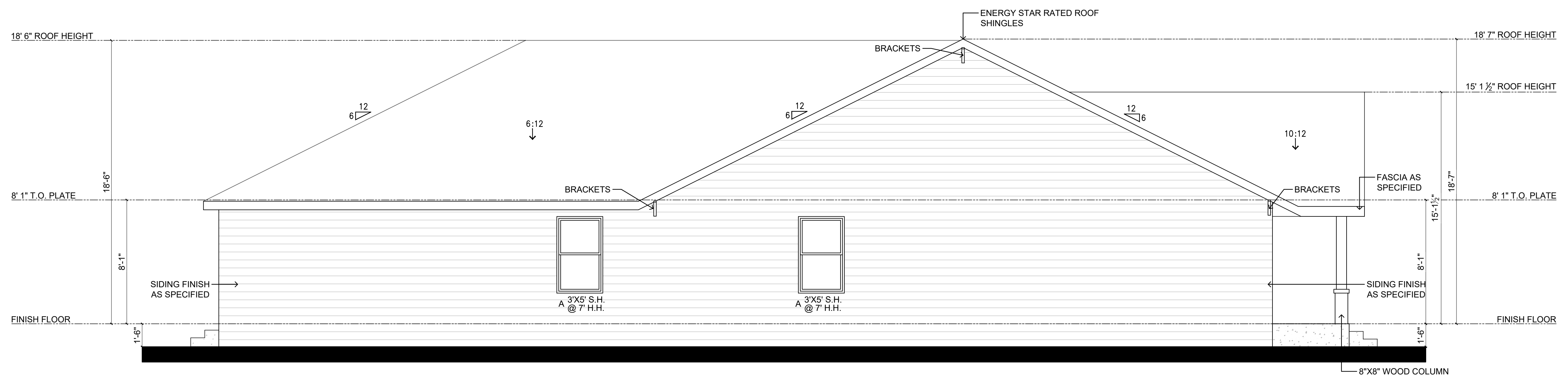
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SEAL



1 REAR ELEVATION
 A2.02 1/4" = 1' - 0"



2 LEFT ELEVATION
 A2.02 1/4" = 1' - 0"

PROJECT/PLAN ID
2937 WARREN AVE

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5/8/26

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ER

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**ONE STORY
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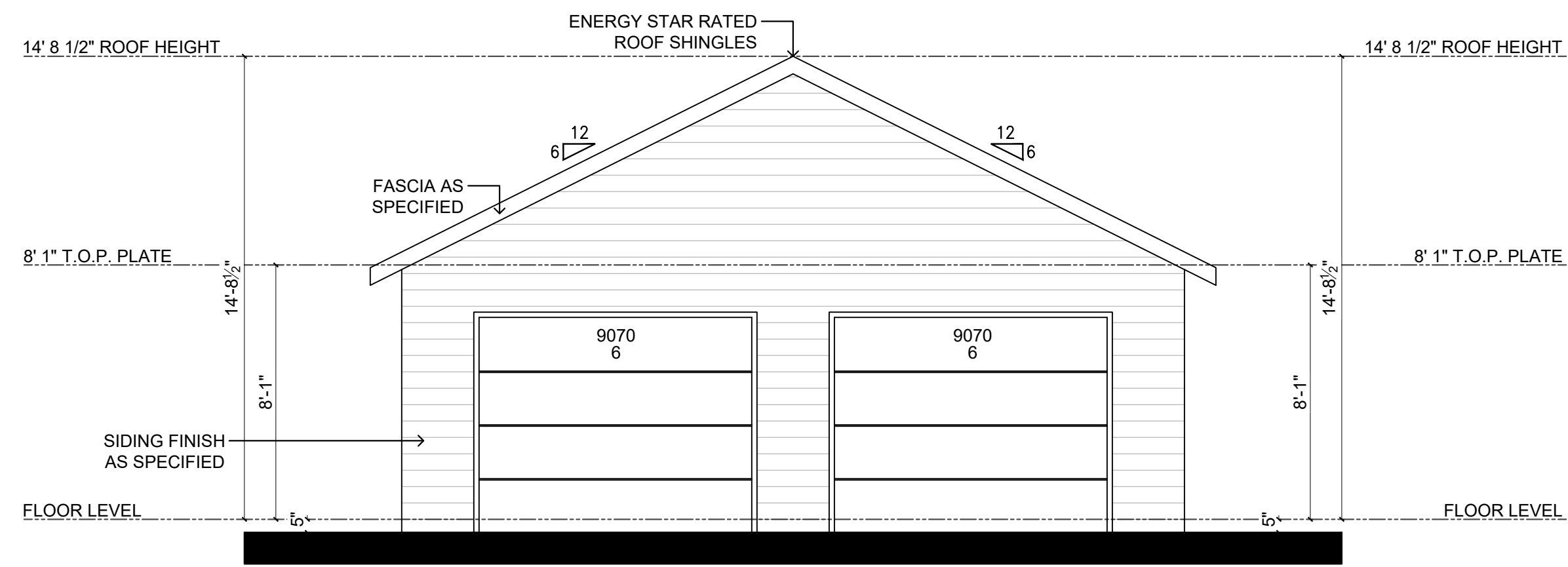
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SHEET TITLE:
ELEVATIONS

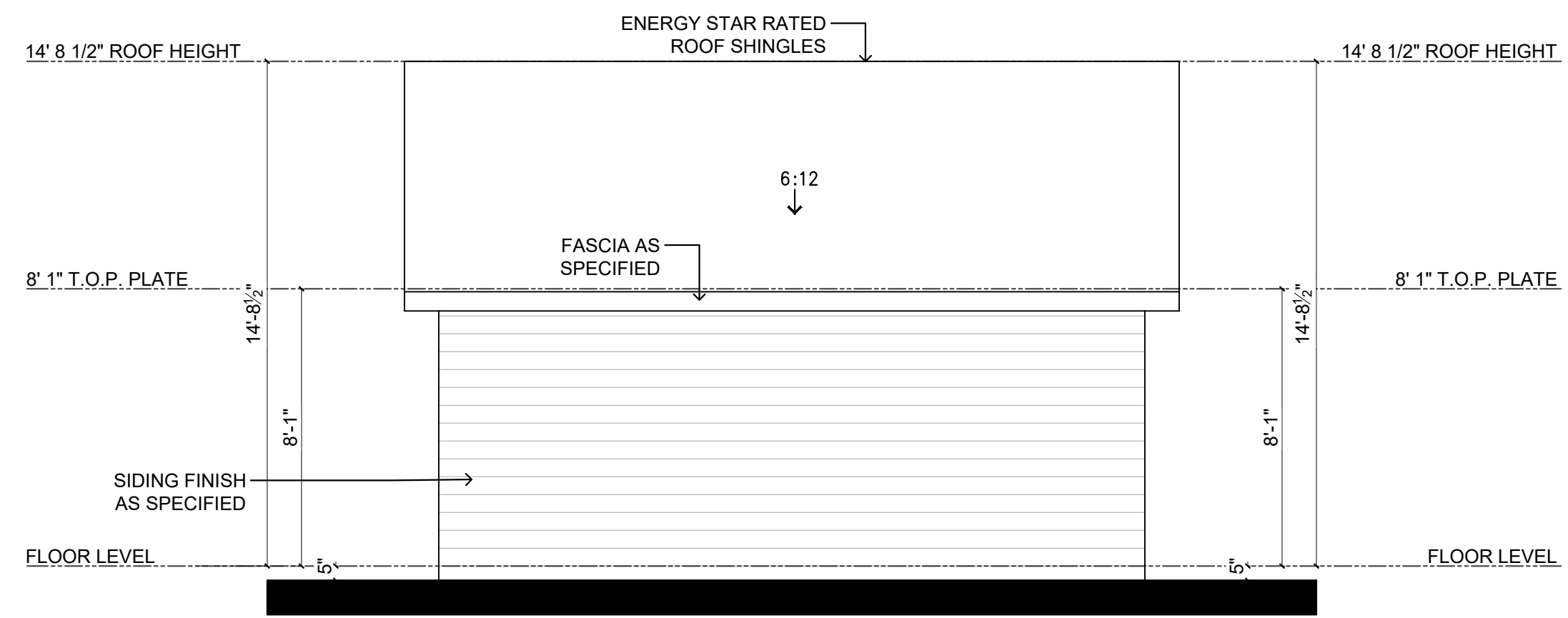
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A2.02

FILE NAME:
A2.02_ELEVATIONS

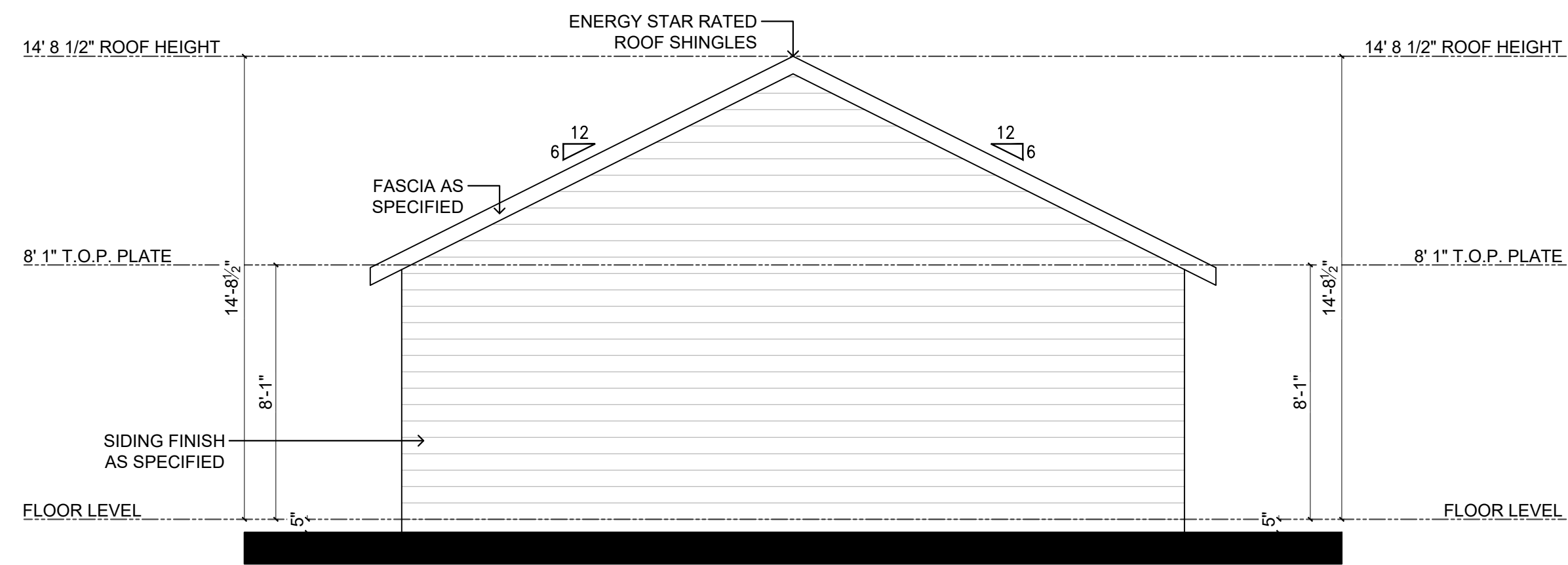
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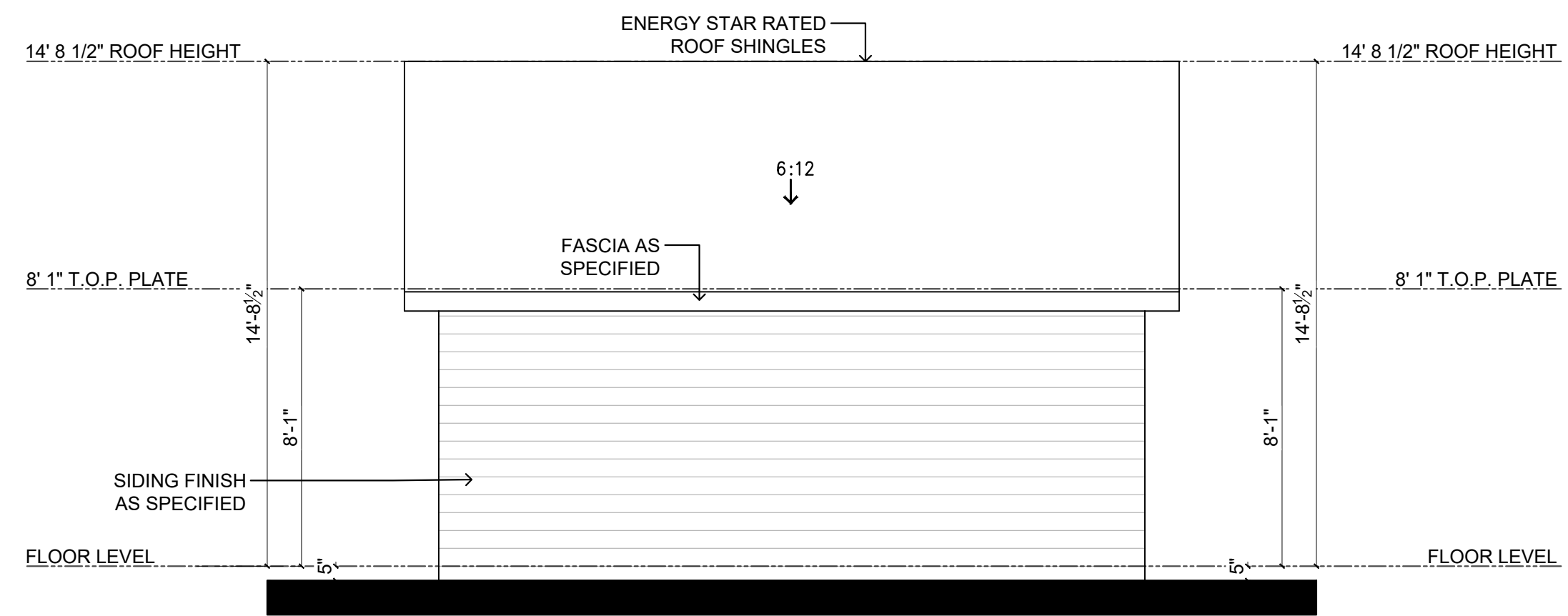
1 FRONT ELEVATION CAR GARAGE
A2.03 1/4" = 1' - 0"



2 RIGHT ELEVATION CAR GARAGE
A2.03 1/4" = 1' - 0"



1 REAR ELEVATION CAR GARAGE
A2.03 1/4" = 1' - 0"



2 LEFT ELEVATION CAR GARAGE
A2.03 1/4" = 1' - 0"

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**ONE STORY
DUPLEX RESIDENCE;
3 BEDROOMS, 2 BATHROOMS P/UNIT**

SCALE:
1/4" = 1' - 0"

SHEET TITLE:
ELEVATIONS

SHEET #:
A2.03

FILE NAME:
A2.03_ELEVATIONS

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GREEN/ENERGY CODE COMPLIANCE OUTLINE 2021 IECC

1. WATER EFFICIENCY:
 - 1.1. ALL LAV, FAUCETS TO HAVE AN AVERAGE FLOW OF 2.0 GAL./MIN. OR LOWER.
 - 1.2. ALL SHOWER HEADS TO HAVE AN AVERAGE FLOW OF 2.0 GAL./MIN. OR LOWER.
- 1.3. ALL TOILETS TO BE 1.3 GAL. PER FLUSH OR DUAL FLUSH OR WATER SENSE.
2. STORM WATER:
 - 2.1. 70% OF NON-ROOF AREA MUST BE LANDSCAPED, HAVE PERMEABLE PAVING AND SLOPED FOR RUNOFF TO FILTRATION FEATURE.
3. POLY SEAL:
 - 3.1. WINDOWS AND DOORS MUST BE SEALED WITH FOAM OR CAULK.
 - 3.2. SILL PLATE MUST BE SEALED ON THE INSIDE WITH FOAM OR CAULK.
 - 3.3. ALL PENETRATIONS OF TOP PLATE/CEILING INTO ATTIC, MUST BE SEALED WITH FOAM OR CAULK.
 - 3.4. ALL WALL PENETRATIONS TO THE EXTERIOR MUST BE SEALED WITH FOAM OR CAULK.
 - 3.5. BLOWER DOOR TESTING IS MANDATORY, NOT TO EXCEED 4 AIR CHANGES PER HOUR AT 50 PASCALS.
 - 3.6. DUCT TIGHTNESS TESTING IS MANDATORY, TESTED AT 25 PASCALS, TOTAL LEAKAGE, LESS THAN OR EQUAL TO 4FT³/MIN PER 100 SQUARE FOOT OF CONDITIONED FLOOR AREA.
 - 3.6.1. EXCEPT, WHEN THE DUCTS AND AIR HANDLERS ARE ENTIRELY WITHIN THE BUILDING THERMAL ENVELOPE.
4. INSULATION:
 - 4.1. 2/12 OR GREATER SLOPED ROOFS MUST BE ENERGY STAR QUALIFIED OR MAY USE A RADIANT BARRIER OR USE SPRAY FOAM INSULATION AT THE ROOF DECK OR BE A VEGETATED ROOF.
 - 4.2. ALL PIER AND BEAM/RAISED FLOORS MUST BE INSULATED WITH R-19 INSULATION OR HIGHER.
 - 4.2.1. EXCEPT, UNVENTED CRAWL SPACE WALLS MUST BE INSULATED R-SCONTINUOUS OR R-13 CAVITY INSULATION, WITH VAPOR BARRIER OVER EXPOSED EARTH.
 - 4.3. ALL EXTERIOR WALLS MUST BE INSULATED WITH R-20 CAVITY OR R-13 CAVITY WITH R-5 CONTINUOUS INSULATION OR HIGHER.
 - 4.4. CEILINGS MUST BE INSULATED WITH R-49 IF THERE IS ATTIC SPACE AND R-30 IF NO ATTIC SPACE (CATHEDRAL) AND THAT IS LIMITED TO 500 SQ. TOTAL OR 20% OF CEILING WHICHEVER IS LESS.
 - 4.5. ATTIC ACCESS LADDERS AND OR HATCHES, MUST BE INSULATED THE SAME AS THE ATTIC AND HAVE WEATHER SEAL.
5. HVAC/SERVICE WATER:
 - 5.1. ALL DUCTS IN UNCONDITIONED SPACE/ATTICS MUST USE R-8 DUCTING.
 - 5.2. MECHANICAL SYSTEM PIPING CARRYING FLUID OVER 104"OR BELOW 55" MUST BE INSULATED WITH R-13 INSULATION.
6. WINDOWS AND DOORS:
 - 6.1. MUST HAVE A U-FACTOR OF .32 OR LESS.
 - 6.2. MUST HAVE A SHGC OF .25 OR LESS.
7. LIGHTNING:
 - 7.1. ALL CAN LIGHTS MUST BE AIR-TIGHT TYPE.
 - 7.2. MINIMUM OF 75% OF LIGHTNING MUST BE EFFICIENCY (ANYTHING BUT INCANDESCENT).

GENERAL NOTES:

1. REPORT ANY AND ALL DISCREPANCIES, ERRORS OR OMISSIONS IN THE DOCUMENTS TO THE BUILDER PRIOR TO THE ORDERING OF ANY MATERIALS AND/OR THE COMMENCEMENT OF CONSTRUCTION.
2. ALL WORK MUST BE DONE ACCORDING TO MANUFACTURE'S SPECIFICATIONS & INDUSTRY STANDARDS.
3. ALL WORK MUST BE DONE ACCORDING TO ALL CONCERNED CODE & REGULATIONS.
4. A STRUCTURAL ENGINEER MUST BE CONSULTED FOR ALL CONSTRUCTION DETAILS.
5. CONTRACTOR TO FIELD VERIFY BUILDING ELEVATIONS AND EXISTING UTILITIES.
6. VERIFY CLEARANCES ARE REQUIRED FOR ALL EQUIPMENT.
7. BEFORE PROCEEDING WITH ANY WORK OR ORDERING ANY MATERIALS, THE CONTRACTOR AND/OR SUBCONTRACTOR SHALL VERIFY ALL MEASUREMENTS AND LOCATIONS OF BUILDING COMPONENT AND THEIR INTERRELATIONSHIP AT THE BUILDING SITE, AND SHALL BE RESPONSIBLE FOR THEIR CORRECTNESS.
8. CONTRACTOR AND/OR SUBCONTRACTOR IS ULTIMATELY RESPONSIBLE FOR VERIFYING AND MAKING ADJUSTMENTS TO ANY DISCREPANCIES BETWEEN THE PLANS AND THE BUILDING SITE.
9. ALL DIMENSIONS TO BE VERIFIED AT JOBSITE.
10. SLIGHT ADJUSTMENT IN WALL LOCATIONS, UP TO 1" SHALL BE MADE IN ORDER TO GET PLUMBING IN WALLS SO LONG AS IT DOES NOT AFFECT THE FUNCTION OF FLOOR, OR ROOF TRUSSES. THIS DOES NOT RELIEVE THE PLUMBER OF LIABILITY IF NOT DONE.
11. DOOR AND WINDOW ROUGH OPENINGS SHALL BE SUCH THAT OUTSIDE EDGES OF ADJACENT, UNLESS OTHERWISE NOTED.
12. WINDOW SIZES GIVEN ARE APPROXIMATE UNIT SIZES, VERIFY ACTUAL SIZES AND ROUGH OPENING REQUIREMENTS WITH MANUFACTURER.
13. U.N.O. ALL DOORS TO BE 6'-8" HIGH.
14. U.N.O. ALL ANGLED WALLS TO BE AT 45° DEGREES.
15. FRAME ALL DOORS 3" FROM CORNERS WHERE POSSIBLE U.N.O.
16. U.N.O. HEADER HEIGHTS SHALL BE AS FOLLOWS:
 8" PLATE: 6'-10"
 9" PLATE: 7'-10"
 10" PLATE: 8'-10"
17. ALL INTERIOR AND EXTERIOR CORNERS SHALL HAVE MOIST-STOP RAN VERTICALLY UNDER THE SHEATHING.
18. PROVIDE ATTIC VENTING AT REAR OR SIDE OF ROOF ARE REQUIRED PER PLANS AND CODE
20. ALL BATHROOM MIRRORS TO BE INSERTED 1" FROM EDGE OF COUNTERTOPS.
21. SEE BUILDER SPECIFICATIONS FOR ADDITIONAL INFORMATION.

DESIGN IN ACCORDANCE WITH INTERNATIONAL RESIDENTIAL CODE

- a. [R304.1] – MINIMUM ROOM AREAS (≥70 SQ FT)
- b. [R305.1] – CEILING HEIGHT (≥7'-0")
- c. [R310.1] – EMERGENCY ESCAPE & RESCUE OPENINGS (BEDROOMS)
- d. [R311.7] – STAIRWAYS
- e. [R302.5] – GARAGE SEPARATION
- f. [R314, R315] – SMOKE/CO ALARMS
- g. [R311.2] – EGRESS DOOR REQUIREMENTS
- h. [R308.4] – SAFETY GLAZING AT REQUIRED LOCATIONS
- i. [N1102.1.1 (R402.1.1)] – THERMAL PERFORMANCE FOR FENESTRATION
- j. [R311.2] – MEANS OF EGRESS
- k. [R302.5] – GARAGE SEPARATION
- l. [R312.1-312.2] – GUARDS AND HANDRAILS

DISCLAIMER:
 The door and window dimensions and details provided herein are representative and intended for general planning purposes only. They do not constitute final specifications or material selections for the residence. Actual product types, finishes, brands, and installation details are subject to change based on design development, client preferences, budgetary adjustments, and availability at the time of construction.

1 DR & WIN SCHEDULE
A3.00 NTS

Door Schedule Per Unit				
Key	Opening Size		Description	Count
	Width	Height		
1	3'-0"	7'-0"	EXTERIOR WOOD DOOR	2
2	3'-0"	7'-0"	INTERIOR WOOD SOLID DOOR	3
3	4'-0"	7'-0"	INTERIOR WOOD SOLID SLIDING DOOR	1
4	2'-6"	7'-0"	INTERIOR WOOD SOLID DOOR	4
5	5'-0"	7'-0"	INTERIOR WOOD SOLID DOUBLE DOOR	1
6	9'-0"	7'-0"	GARAGE DOOR	2
7	2'-0"	7'-0"	INTERIOR WOOD SOLID DOOR	1

Window Schedule Per Unit				
Key	Opening Size		Description	Count
	Width	Height		
A	3'-0"	5'-0"	SINGLE HUNG	7
B	1'-6"	2'-6"	LOUVER	1

SEAL

PROJECT/PLAN ID
2937 WARREN AVE

DATE:
5/8/26

DRAWN BY:
KR/TA

CHECKED BY:
ER

DESCRIPTION:
**ONE STORY
 DUPLEX RESIDENCE;
 3 BEDROOMS, 2 BATHROOMS P/UNIT**

SCALE:
NTS

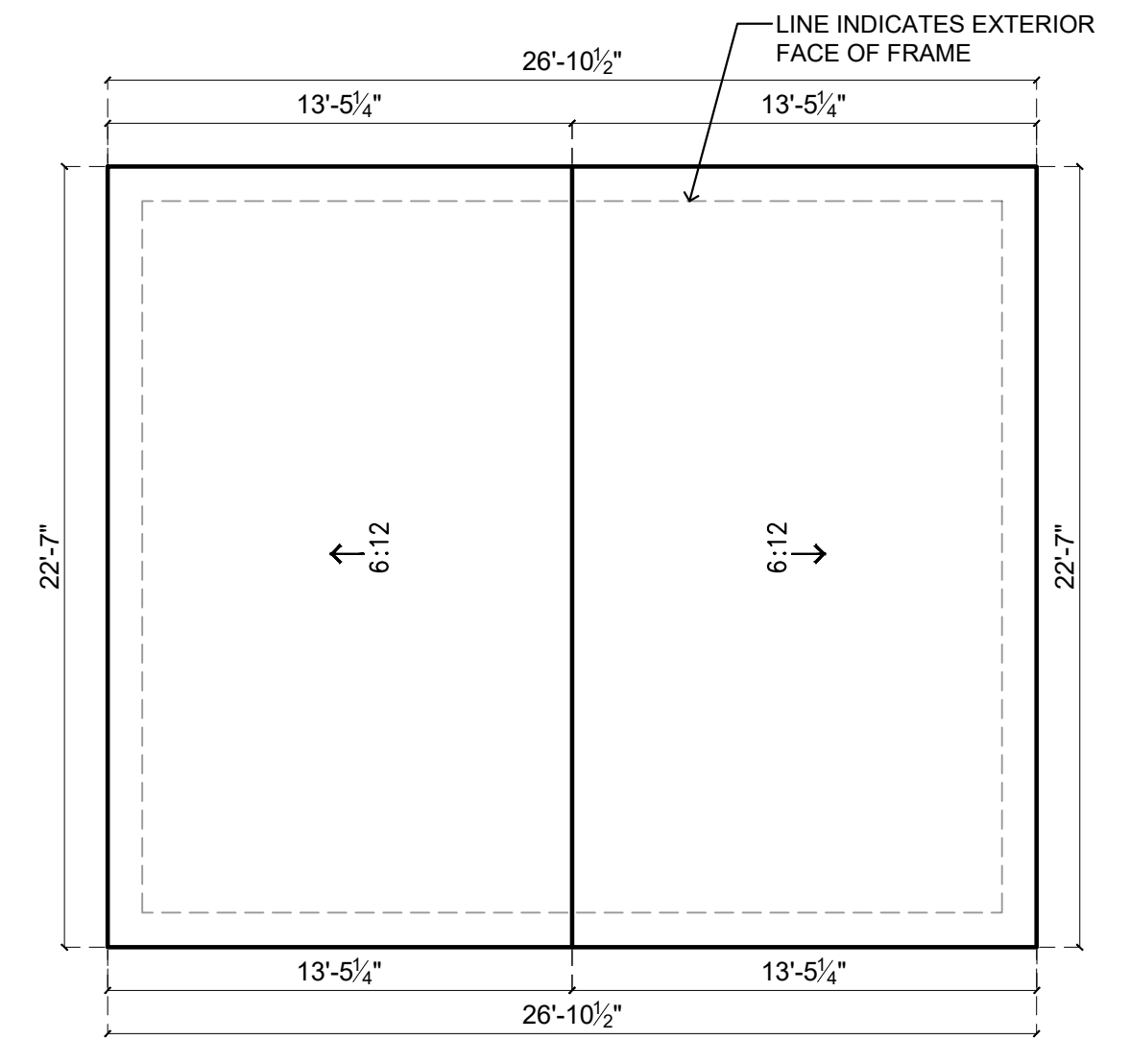
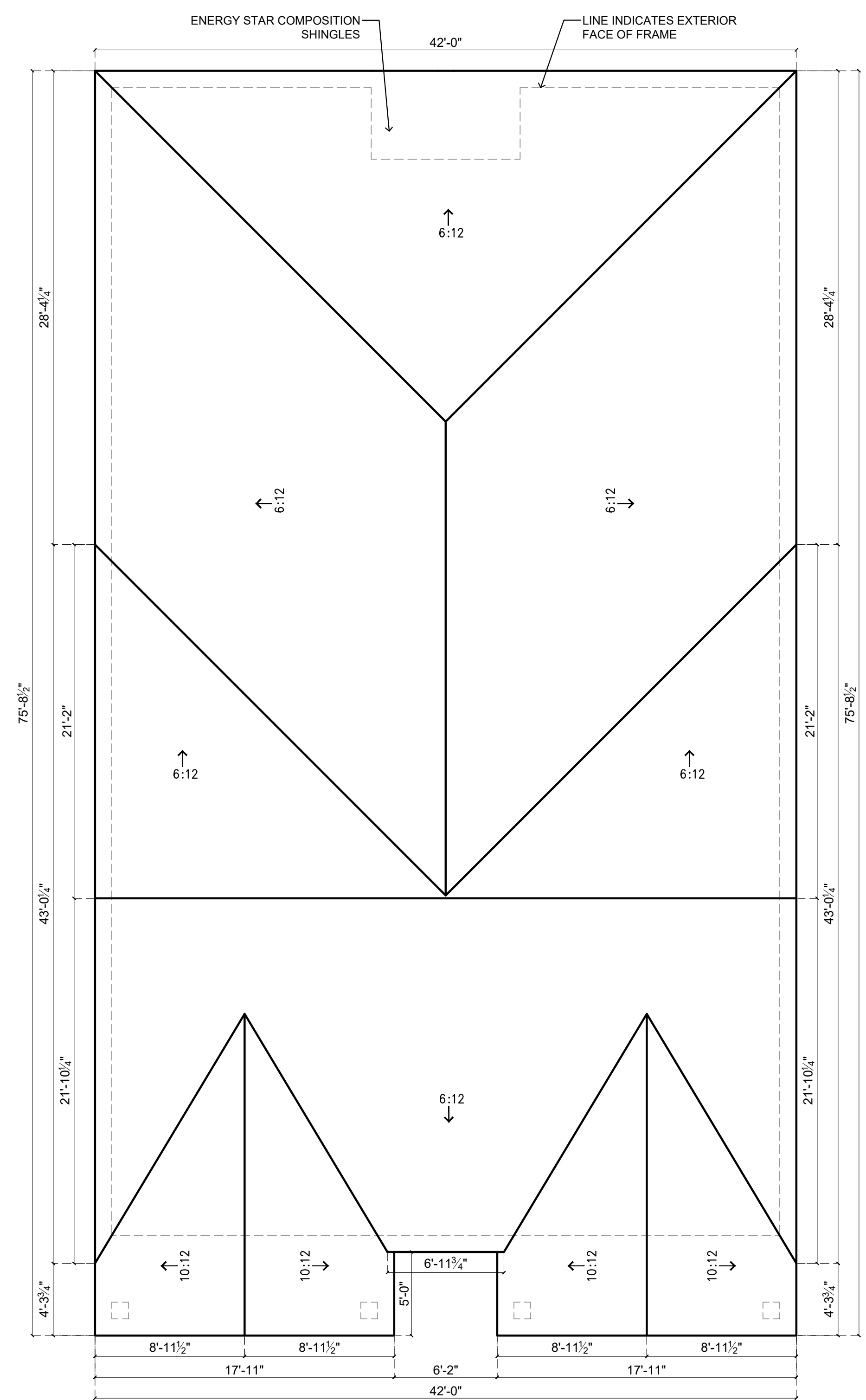
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DR-WN SCHEDULE

SHEET #:
A3.00

FILE NAME:
A3.00_DR-WN SCHED

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SEAL



1 ROOF PLAN
A4.01 3/16" = 1' - 0"

1 ROOF PLAN CAR GARAGE
A4.01 3/16" = 1' - 0"

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2937 WARREN AVE

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5/8/26

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DESCRIPTION:
**ONE STORY
DUPLEX RESIDENCE;
3 BEDROOMS, 2 BATHROOMS P/UNIT**

SCALE:
3/16" = 1' - 0"

SHEET TITLE:
ROOF PLAN

SHEET #:
A4.01

FILE NAME:
A4.01_ROOF PLAN

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DESCRIPTION:
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DUPLEX RESIDENCE;
3 BEDROOMS, 2 BATHROOMS P/UNIT**

SCALE:
NTS

SHEET TITLE:
3D ELEVATION

SHEET #:
A5.01

FILE NAME:
A5.01_3D ELEVATIONS

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1 3D ELEVATION
A5.01 NTS

SEAL



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DESCRIPTION:
**ONE STORY
DUPLEX RESIDENCE;
3 BEDROOMS, 2 BATHROOMS P/UNIT**

SCALE:
NTS

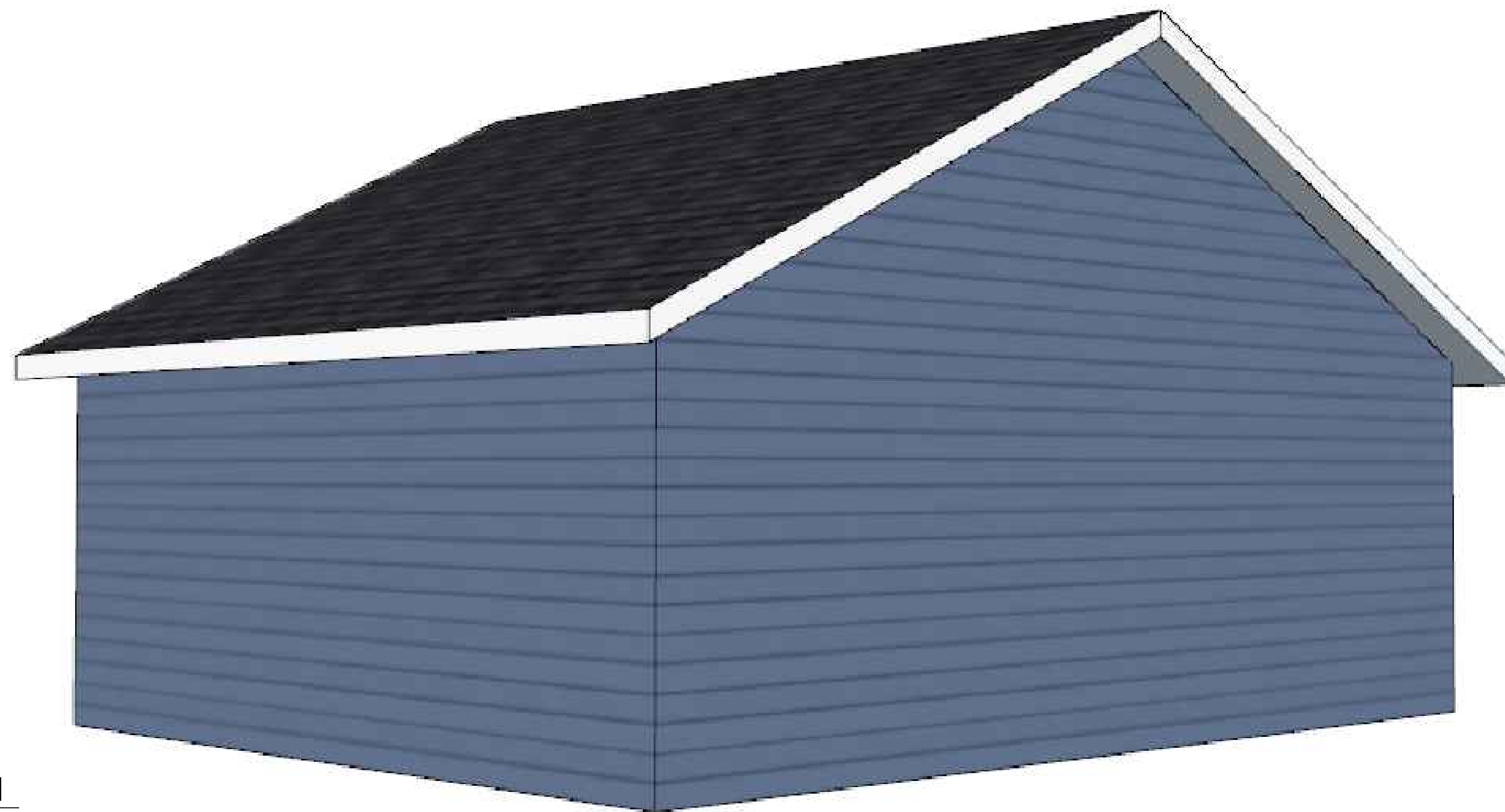
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3D ELEVATION

SHEET #:
A5.02

FILE NAME:
A5.02_3D ELEVATIONS

1 3D ELEVATION
A5.02 NTS

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1 3D ELEVATION
A5.03 NTS

SEAL

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DESCRIPTION:
**ONE STORY
DUPLEX RESIDENCE;
3 BEDROOMS, 2 BATHROOMS P/UNIT**

SCALE:
NTS

SHEET TITLE:
3D ELEVATION

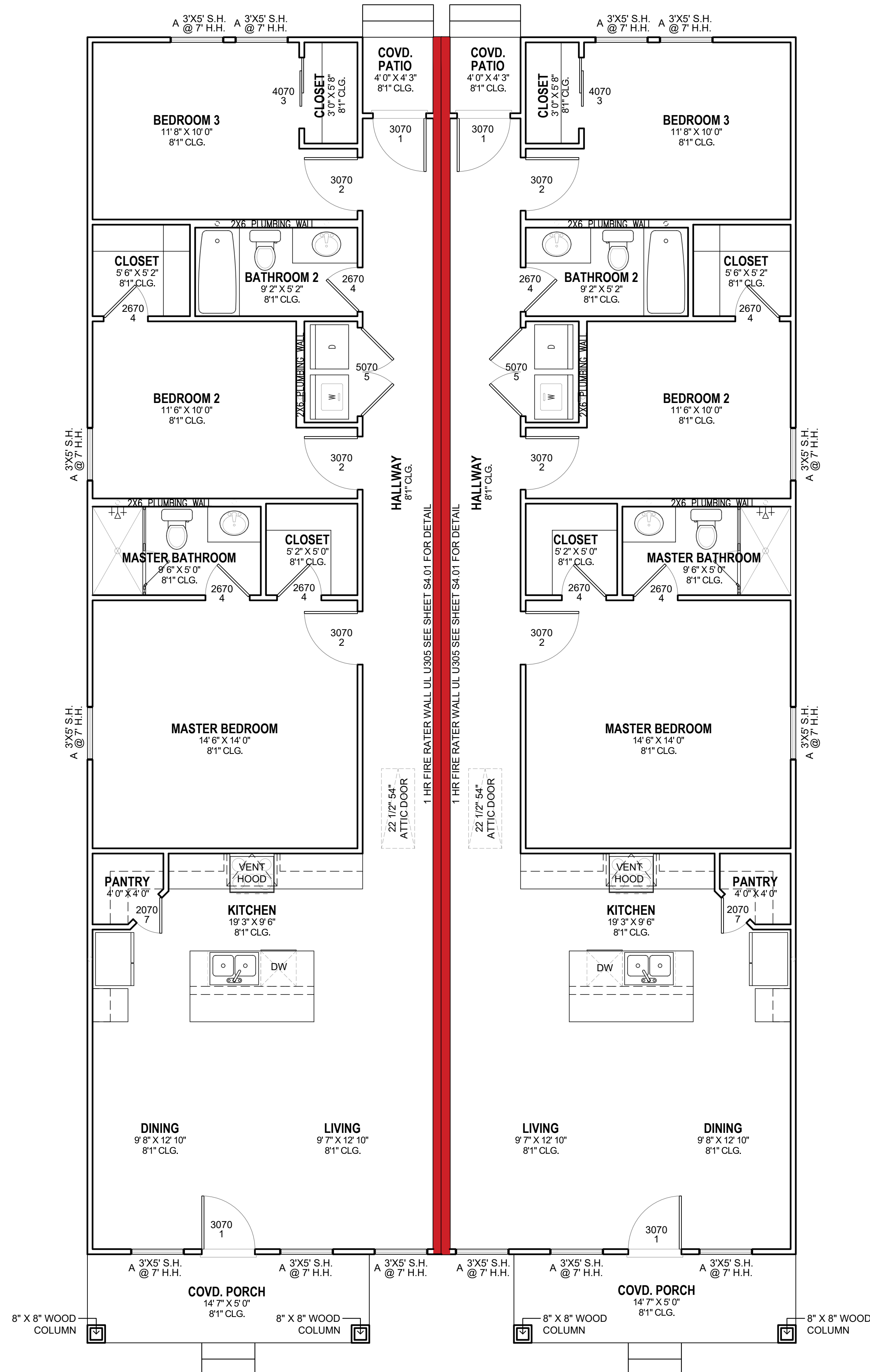
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A5.03

FILE NAME:
A5.03_3D ELEVATIONS

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DESIGN IN ACCORDANCE WITH INTERNATIONAL RESIDENTIAL CODE

- [R304.1] – Minimum Room Areas (≥70 Sq Ft)
- [R305.1] – Ceiling Height (≥7'-0")
- [R310.1] – Emergency Escape & Rescue Openings (Bedrooms)
- [R311.7] – Stairways
- [R302.5] – Garage Separation
- [R314, R315] – Smoke/CO Alarms
- [R311.2] – Egress Door Requirements
- [R308.4] – Safety Glazing At Required Locations
- [N1102.1.1 (R402.1.1)] – Thermal Performance For Fenestration
- [R311.2] – Means Of Egress
- [R302.5] – Garage Separation
- [R312.1-312.2] – Guards And Handrails



SEAL

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DATE:
5/8/26

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ER

DESCRIPTION:
**ONE STORY
DUPLEX RESIDENCE;
3 BEDROOMS, 2 BATHROOMS P/UNIT**

SCALE:
1/4" = 1' - 0"

SHEET TITLE:
FLOOR PLAN

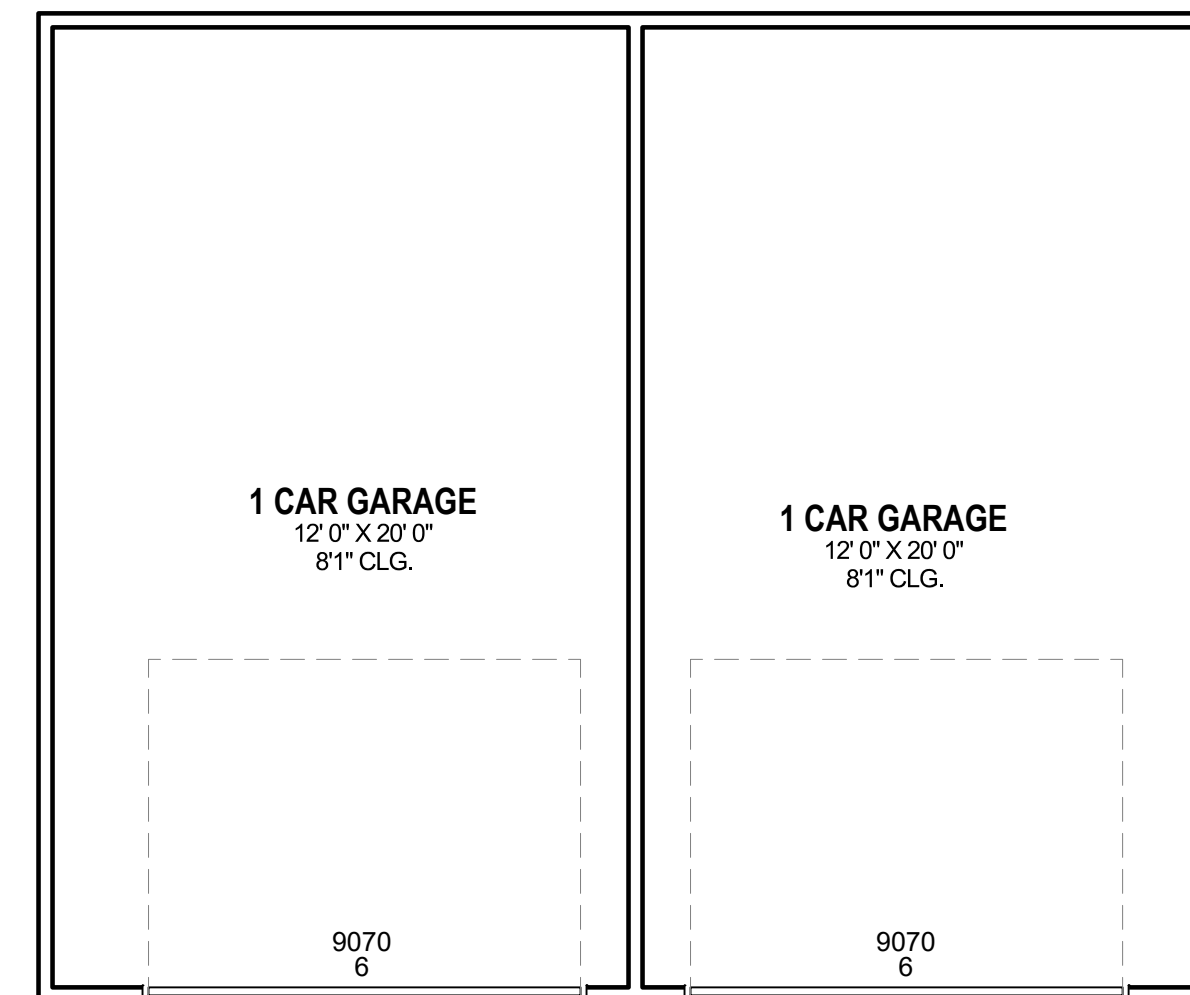
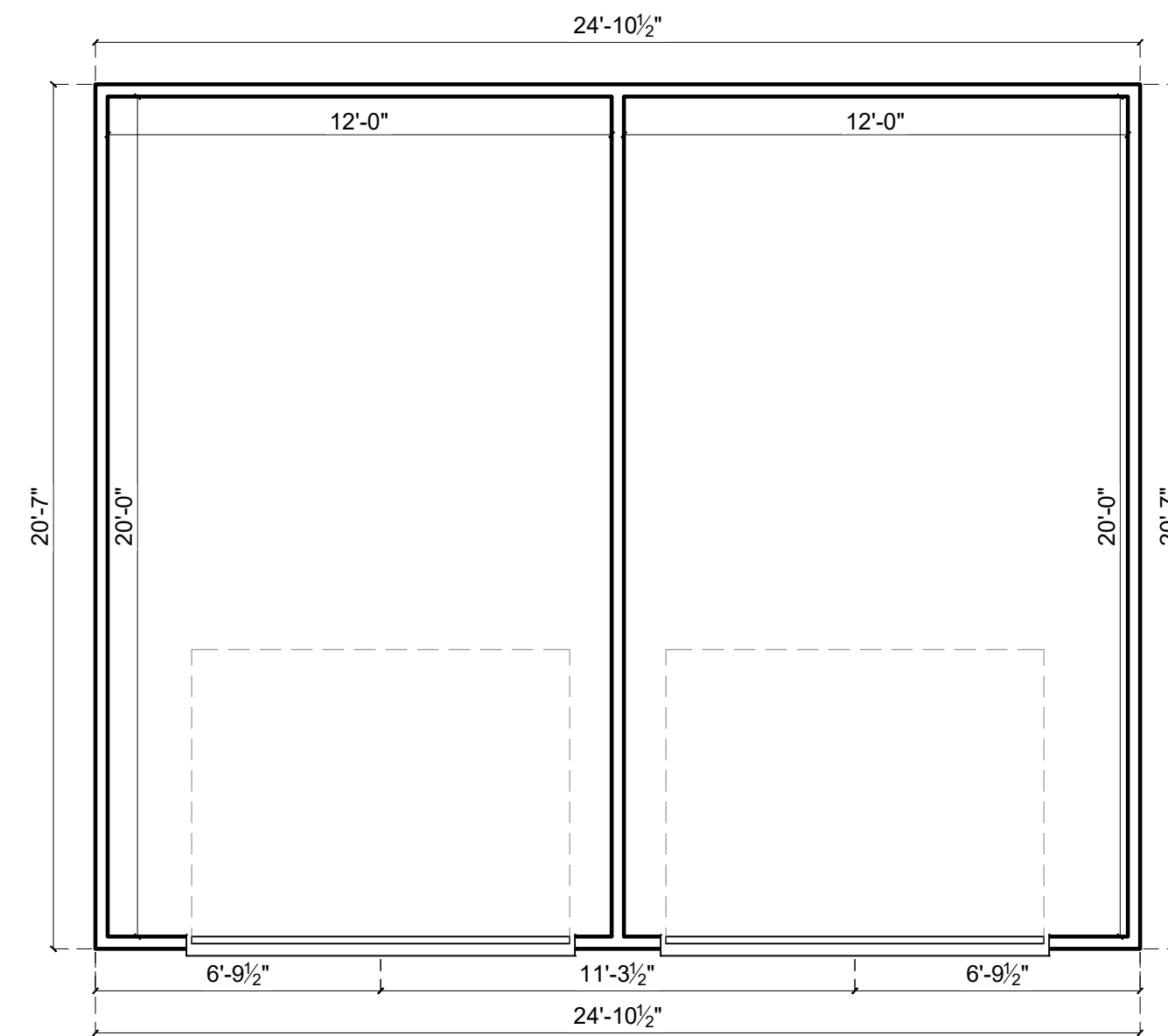
SHEET #:
A1.02

FILE NAME:
A1.02_FLOOR PLAN 2

1 FLOOR PLAN
A1.02 1/4" = 1' - 0"

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DESCRIPTION:
**ONE STORY
DUPLEX RESIDENCE;
3 BEDROOMS, 2 BATHROOMS P/UNIT**

SCALE:
1/4" = 1' - 0"

SHEET TITLE:
FLOOR PLAN

SHEET #:
A1.03

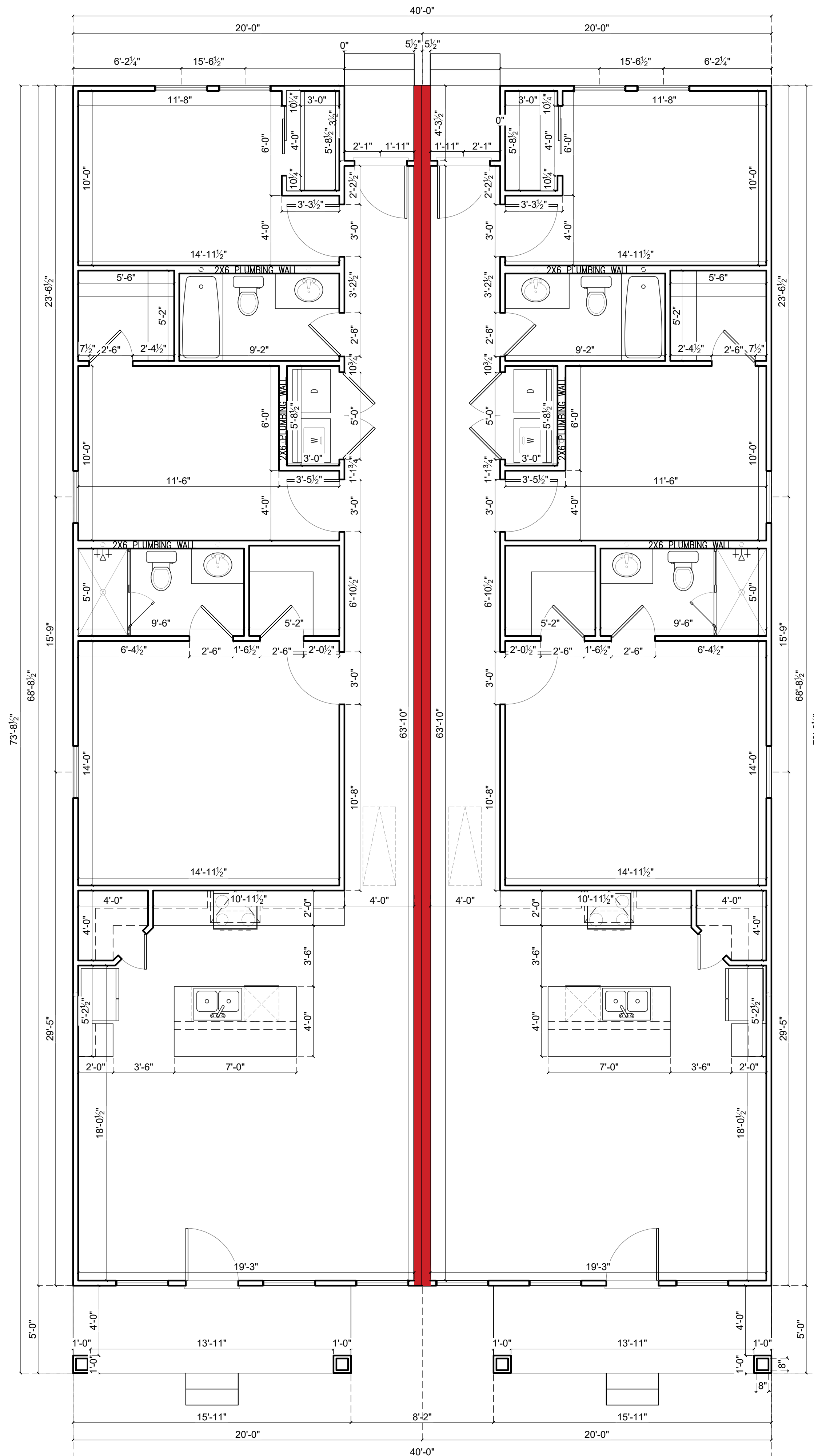
FILE NAME:
A1.03_FLOOR PLAN 3

1 DIMENSION PLAN CAR GARAGE
A1.03 1/4" = 1' - 0"

2 FLOOR PLAN CAR GARAGE
A1.03 1/4" = 1' - 0"

DESIGN IN ACCORDANCE WITH INTERNATIONAL RESIDENTIAL CODE

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- [R311.2] – Means Of Egress
- [R302.5] – Garage Separation
- [R312.1-312.2] – Guards And Handrails



1 DIMENSION PLAN
A1.01 1/4" = 1' - 0"

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DATE:
5/8/26

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DESCRIPTION:
**ONE STORY
DUPLEX RESIDENCE;
3 BEDROOMS, 2 BATHROOMS P/UNIT**

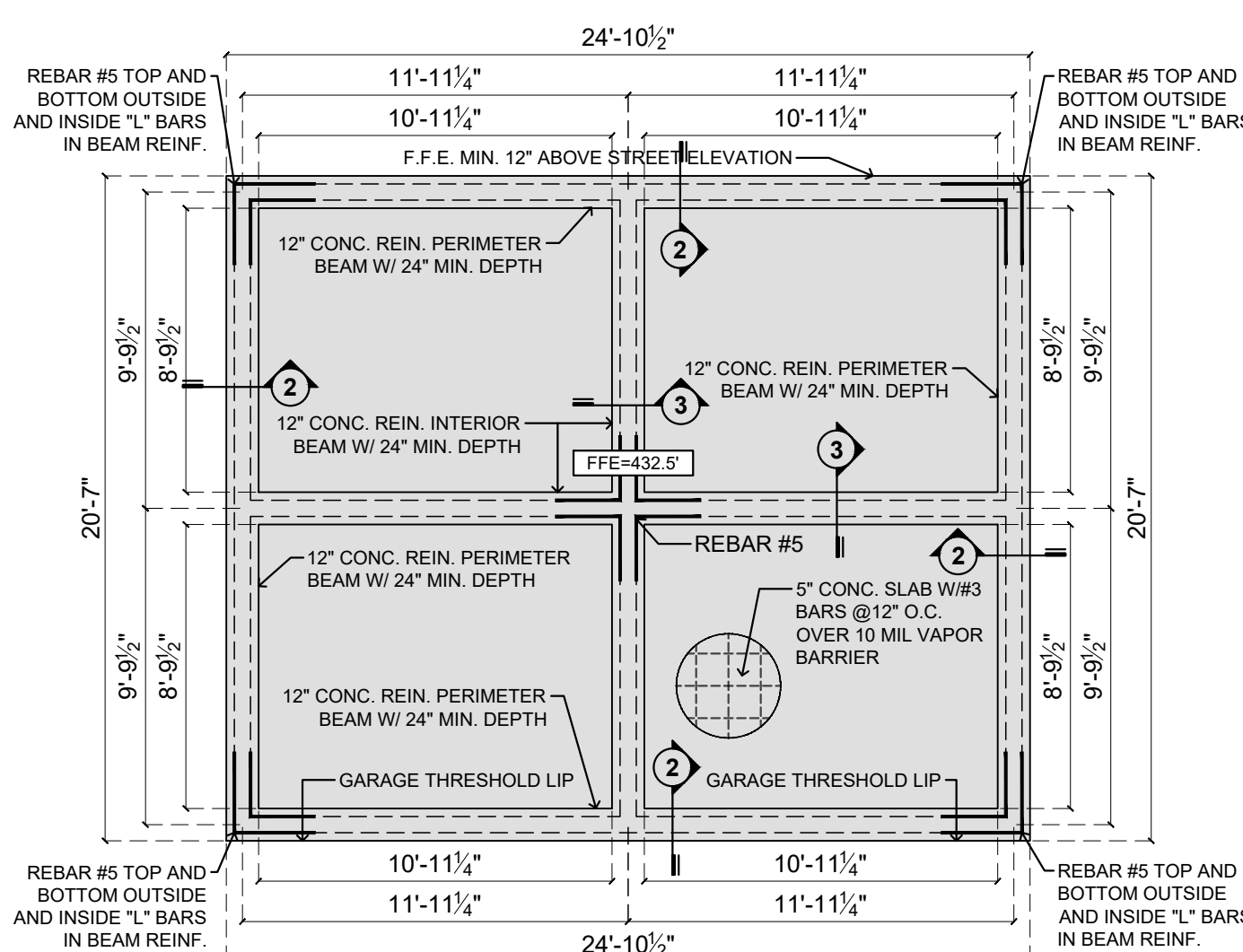
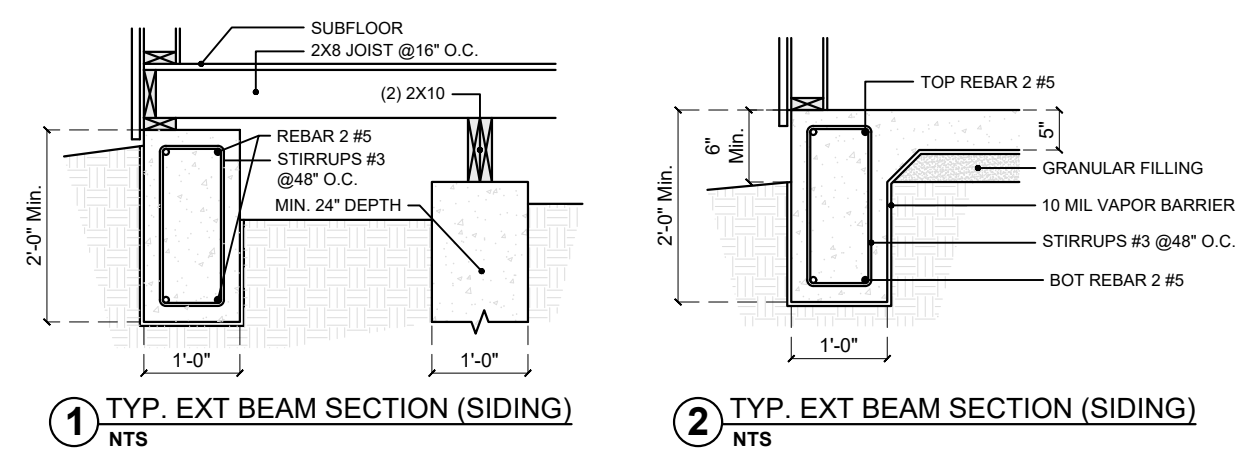
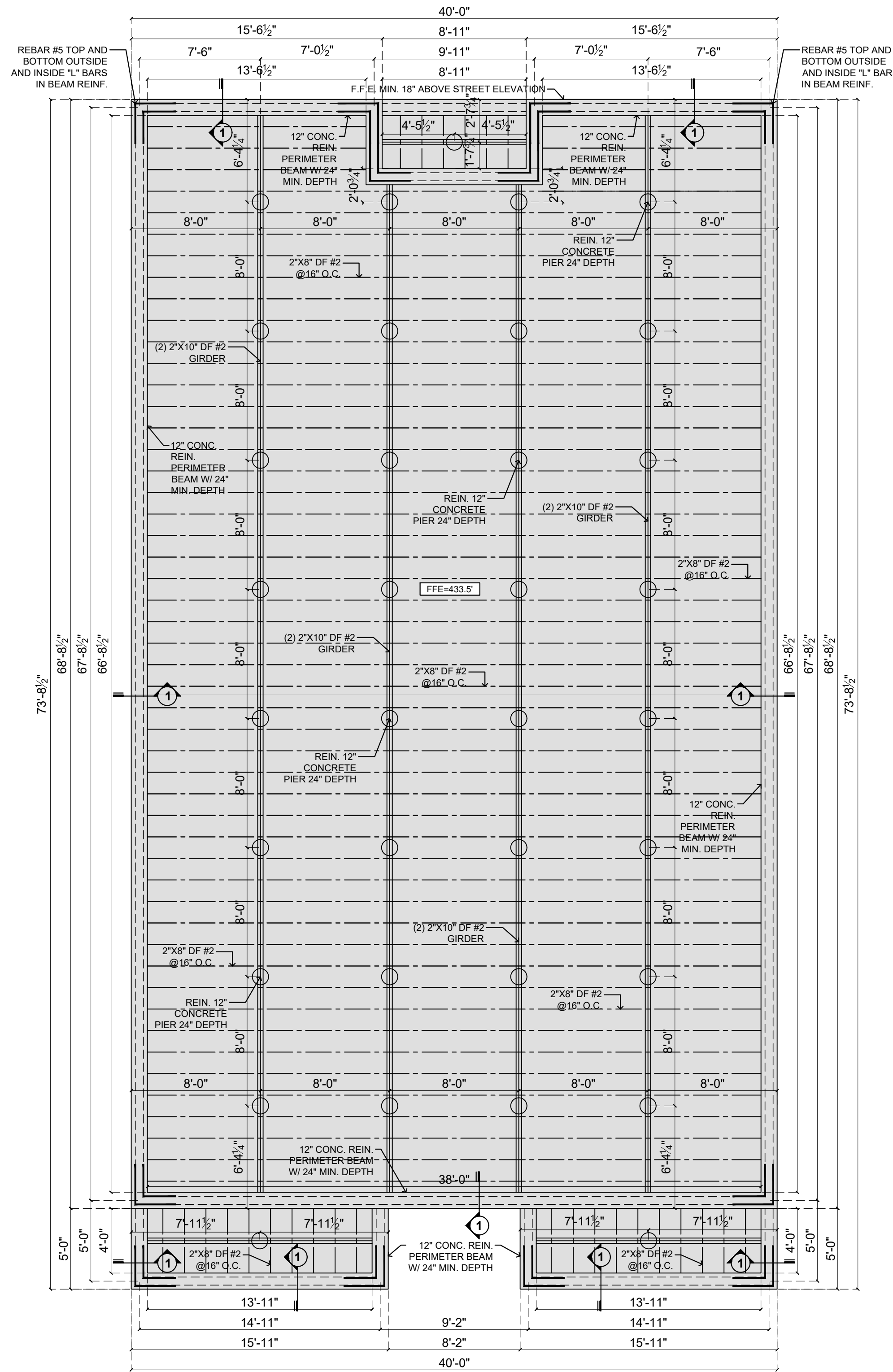
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1/4" = 1' - 0"

SHEET TITLE:
DIMENSIONS PLAN

SHEET #:
A1.01

FILE NAME:
A1.01_DIMENSIONS PLAN 1

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FOUNDATION NOTES IRC
 DESIGN IN ACCORDANCE WITH INTERNATIONAL RESIDENTIAL CODE

- [R401.1-R403.1.9] - GENERAL FOUNDATION DESIGN
- [R408.1-R408.1.3] - DRAIN SPACE VENTILATION AND ACCESS
- [R405.1, R406.1] - FOUNDATION WATERPROOFING/DRAINAGE
- THE FLOOR SLABS SHOULD BE PLACED ON A MINIMUM OF 2 FEET OF COMPACTED AND TESTED SELECT FILL DUE TO THE HIGHLY PLASTIC NATURE OF INSITU SOIL.
- IT IS RECOMMENDED THAT THE EXISTING SOIL BE STRIPPED TO A DEPTH OF 2 FEET BELOW THE BOTTOM OF ALL FOUNDATION ELEMENTS. PRIOR TO PLACING ANY ADDITIONAL FILL MATERIAL, WE RECOMMEND THAT ALL EXPOSED SURFACES BE SCARIFIED TO A DEPTH OF ABOUT 5 TO 8 INCHES. MOISTURE CONDITIONED TO A MOISTURE CONTENT RANGING BETWEEN 2 TO 5 PERCENTAGE POINTS ABOVE THE OPTIMUM MOISTURE CONTENT AS DEFINED BY ASTM D 698 (STANDARD PROCTOR TEST), AND COMPACTED BETWEEN 93 AND 98 PERCENT OF THEIR MAXIMUM DRY DENSITY.
- OVER-EXCAVATIONS SHOULD EXTEND A MINIMUM OF 2 FEET BEYOND ALL SIDES OF THE PERIMETER FOOTINGS OR BEAMS.
- WE RECOMMEND THAT PROOFROLLING OF EXPOSED SUBGRADE PRIOR TO BACKFILLING AND THE COMPACTION OF STRUCTURAL FILL OPERATION BE OBSERVED AND DOCUMENTED BY A GEOTECHNICAL ENGINEER OR QUALIFIED REPRESENTATIVE OF THE GEOTECHNICAL ENGINEER (RGE).
- ALL FILL SHALL BE SPREAD IN LAYERS NOT EXCEEDING EIGHT (8) INCHES, WATERED AS NECESSARY, AND COMPACTED TO MOISTURE CONTENT AT THE TIME OF COMPACTION SHALL BE WITHIN 2 PERCENT OF OPTIMUM MOISTURE CONTENT. COMPACTION OF THE FILL SHALL BE ACCOMPLISHED TO OBTAIN A DENSITY OF NOT LESS THAN 98 PERCENT OF MAXIMUM DRY DENSITY.
- A MINIMUM OF 10 MIL POLYETHYLENE VAPOR BARRIER (PVB) SHOULD BE PLACED ON TOP OF THE PREPARED SUITABLE SUBGRADE TO MITIGATE MOISTURE MIGRATION THROUGH THE SLABS. THE INTEGRITY OF THE PVB MUST BE MAINTAINED DURING SLABS CONSTRUCTION. A 2-INCH TO 4-INCH THICK CUSHION LAYER CONSISTING OF FINE SAND CAN BE PLACED BELOW THE PVB FOR LAYING PURPOSES.
- MATERIALS CONSIDERED SATISFACTORY AS SELECTED FILL OR TRENCH BACKFILL MATERIALS ARE CLASSIFIED AS SM, SP, SW, SP-SM, SC, SW-SM, GM, GP, GW, GP-GM AND GW-GM IN ACCORDANCE WITH THE UNIFIED SOIL CLASSIFICATION.
- THE OWNER/CONTRACTOR REQUESTED THAT THE UNITED STATES DEPARTMENT OF AGRICULTURE SOILS REPORT FOR DALLAS COUNTY, TEXAS BE USED FOR THE EVALUATION OF THE SOIL CONDITION FOR THE SITE. FOR FOUNDATION DESIGN PURPOSES, BASED ON THE SOIL'S REPORT, THE DESIGN ENGINEER ASSUMES A 4-INCH POTENTIAL VERTICAL MOVEMENT FOR THE SITE AND A PLASTICITY INDEX OF 40. THE OWNER AGREES TO INDEMNIFY AND HOLD HARMLESS THE DESIGN ENGINEER FOR ANY POOR PERFORMANCE OF THE FOUNDATION THAT MAY BE CAUSED BY THE USE OF THE REPORT. THE CONTRACTOR IS ULTIMATELY RESPONSIBLE FOR WARRANTY OF THE CONSTRUCTION.

GENERAL NOTES

- THE CONTRACTOR SHALL COORDINATE THE FOUNDATION PLAN WITH DRAWINGS FOR OPENINGS, DROPS, INSERTS, AND RELATED ITEMS. CONTRACTOR SHALL ALSO VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD BEFORE CONCRETE IS PLACED.
- THE CONTRACTOR SHALL VERIFY, PRIOR TO CONSTRUCTION, THAT THE NEW CONSTRUCTION WILL NOT CONFLICT WITH ANY EXISTING UTILITIES. IF CONFLICTS ARISE, THE CONTRACTOR SHALL NOTIFY THE JURISDICTION AND SHALL STOP UNTIL AN APPROPRIATE SOLUTION TO THE CONFLICTS IS FOUND.
- TYPICAL DETAILS AND NOTES SHALL APPLY UNLESS SPECIFICALLY SHOWN OR NOTED OTHERWISE. CONSTRUCTION DETAILS NOT FULLY SHOWN OR NOTED SHALL BE SIMILAR TO DETAILS SHOWN FOR SIMILAR CONDITIONS.
- DUE TO THE INTRICACIES OF CONSTRUCTION, IT IS IMPRACTICAL TO SPECIFY OR SHOW EVERY DETAIL. IF A CONDITION IS NOT SHOWN, A SIMILAR DETAIL OR THE CURRENT RULES OF GOOD CONSTRUCTION PRACTICES SHALL BE PRACTICES SHALL BE FOLLOWED.
- SITE GRADINGS AND DRAINAGE AROUND THE FOUNDATION SHALL BE MAINTAINED AT ALL TIMES IN SUCH A MANNER THAT SURFACE OR GROUND WATER WILL NOT COLLECT UNDER OR ADJACENT TO THE SLAB. MOISTURE CONTENT SHOULD BE KEPT CONSISTENT AND PROPER DRAINAGE AWAY FROM SLAB IS REQUIRED.
- DRAINAGE: THE FINAL GRADE AROUND THE FOUNDATION SHALL BE 6" BELOW THE TOP OF THE FOUNDATION AND SLOPE AWAY FROM THE FOUNDATION A MINIMUM OF 3" IN 5'-0".
- AT OWNERS / CONTRACTORS OPTION, BRICK LEDGE MAY BE INCLUDED OR OMITTED AT EXTERIOR DOOR OPENINGS.
- MINIMUM EMBEDMENT DEPTH OF THE BEAMS SHALL BE NO LESS THAN 24 INCHES.
- CONSTRUCTION
- ALL BEAMS BOTTOMS MUST BE FOUNDED A MINIMUM OF 24" INTO UNDISTURBED SOIL OR PROPERLY COMPACTED FILL.
- BEAM BOTTOMS MAY BE SLOPED OR STEPPED TO MEET THIS REQUIREMENTS. BEAM SIZES SHOWN NOT BE DECREASED WITHOUT WRITTEN APPROVAL OF THE ENGINEER. BEAM DEPTHS MAY BE INCREASED UP TO 34 IN. TO MEET THIS REQUIREMENT WITHOUT ADDITIONAL REINFORCING. UPON COMPLETION OF FINAL GRADINGS, ALL BEAMS SHALL HAVE 6" EXPOSED ABOVE GRADE. BEAM BOTTOMS SHALL BE CLEAN AND FREE OF ANY LOOSE MATERIAL.
- BRICK CONTROL JOIST SHALL BE PLACED AT 20'-0" ON CENTER FOR WALL OVER 40'-0" IN LENGTH.
- VERIFY ALL DIMENSIONS WITH BUILDER.

DESIGN

- ALL REINFORCING BARS SHALL BE GRADE 60 AND CONFORM TO A.S.T.M. A615-60
- BARS SHALL BE CLEAN AND SUPPORTED ON CHAIRS AND TIED AT ALL INTERSECTIONS TO PREVENT VERTICAL AND HORIZONTAL MOVEMENT DURING CONCRETE PLACEMENT. USE 4 FT. MAXIMUM SUPPORT CENTERS ALONG EACH BAR. LAP BARS A MINIMUM OF 12". PROVIDE CORNER BARS AT EACH OUTSIDE CORNER AS SHOWN ON PLAN. STIRRUPS AND TIES SHALL HAVE 4 INCH HOOK.
- ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH, P.C. OF 4000 P.S.I. AT 28 DAYS. MAXIMUM SLUMP SHALL BE 6" WITH 6% AIR. ALL CONCRETE SHALL BE PLACED IN ACCORDANCE WITH APPLICABLE ACI STANDARDS.
- MINIMUM CONCRETE PROTECTION FOR REINFORCEMENT.
- PROVIDE CORNER BARS AT ALL EXTERIOR CORNERS AND ALL DISCONTINUOUS ENDS OF BEAMS.

1 FOUNDATION PLAN
 S1.01 3/16" = 1' - 0"

1 FOUNDATION PLAN CAR GARAGE
 S1.01 3/16" = 1' - 0"

DISCLAIMER
 THE CONTRACTOR SHOULD THOROUGHLY REVIEW THE PLANS PRIOR TO CONSTRUCTION AND NOTIFY THE DESIGN ENGINEER IN WRITING IF THERE IS ANYTHING PROVIDED OR NOT PROVIDED ON THE PLAN THAT WOULD PREVENT THE CONTRACTOR FROM WARRANTING THE CONSTRUCTION. THE CONTRACTOR IS ULTIMATELY RESPONSIBLE FOR THE WARRANTY OF THE CONSTRUCTION.

SEAL

PROJECT/PLAN ID
2937 WARREN AVE

DATE:
5/8/26

DRAWN BY:
KR/TA

CHECKED BY:
ER

DESCRIPTION:
**ONE STORY
 DUPLEX RESIDENCE;
 3 BEDROOMS, 2 BATHROOMS P/UNIT**

SCALE:
3/16" = 1' - 0"

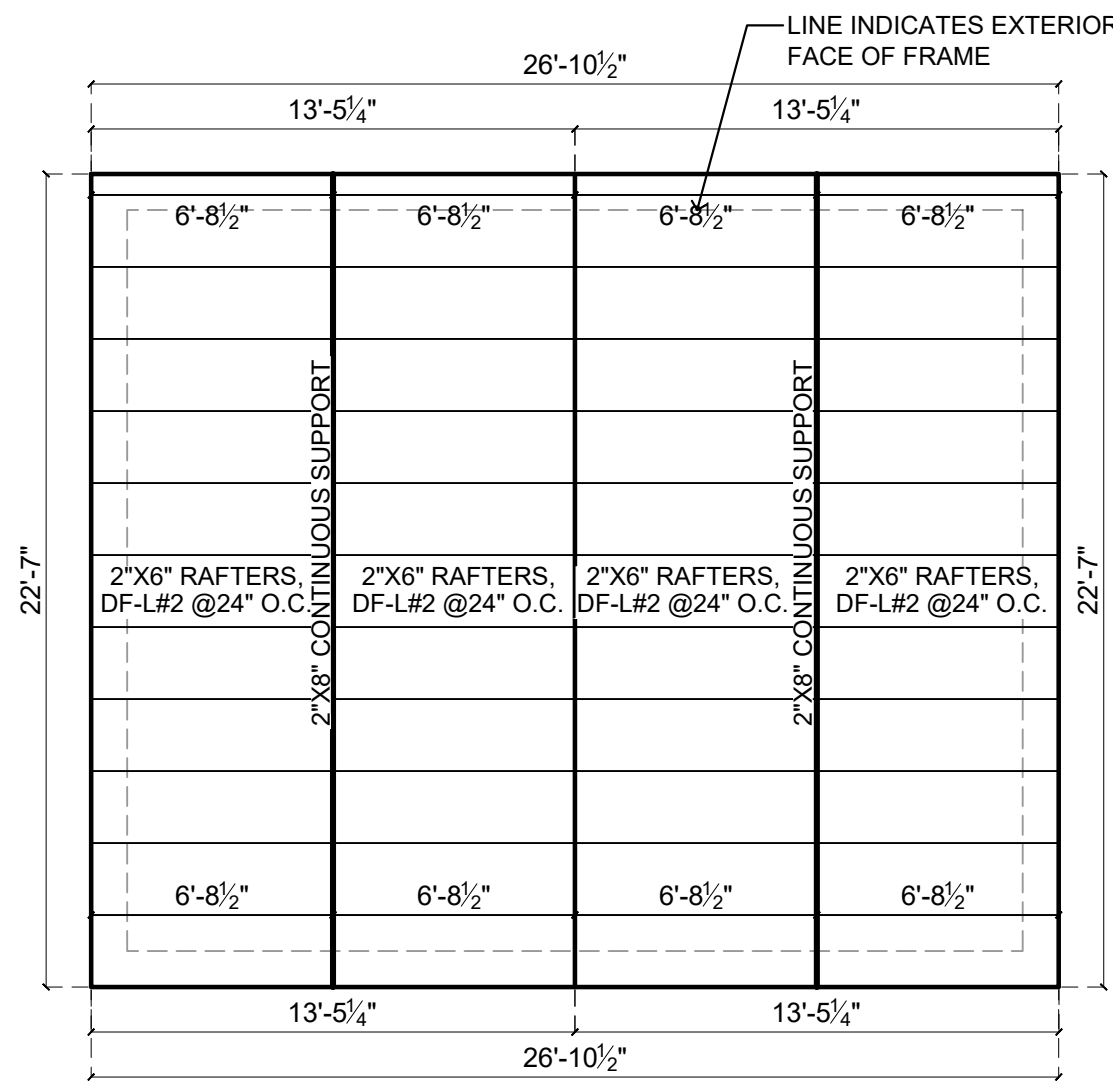
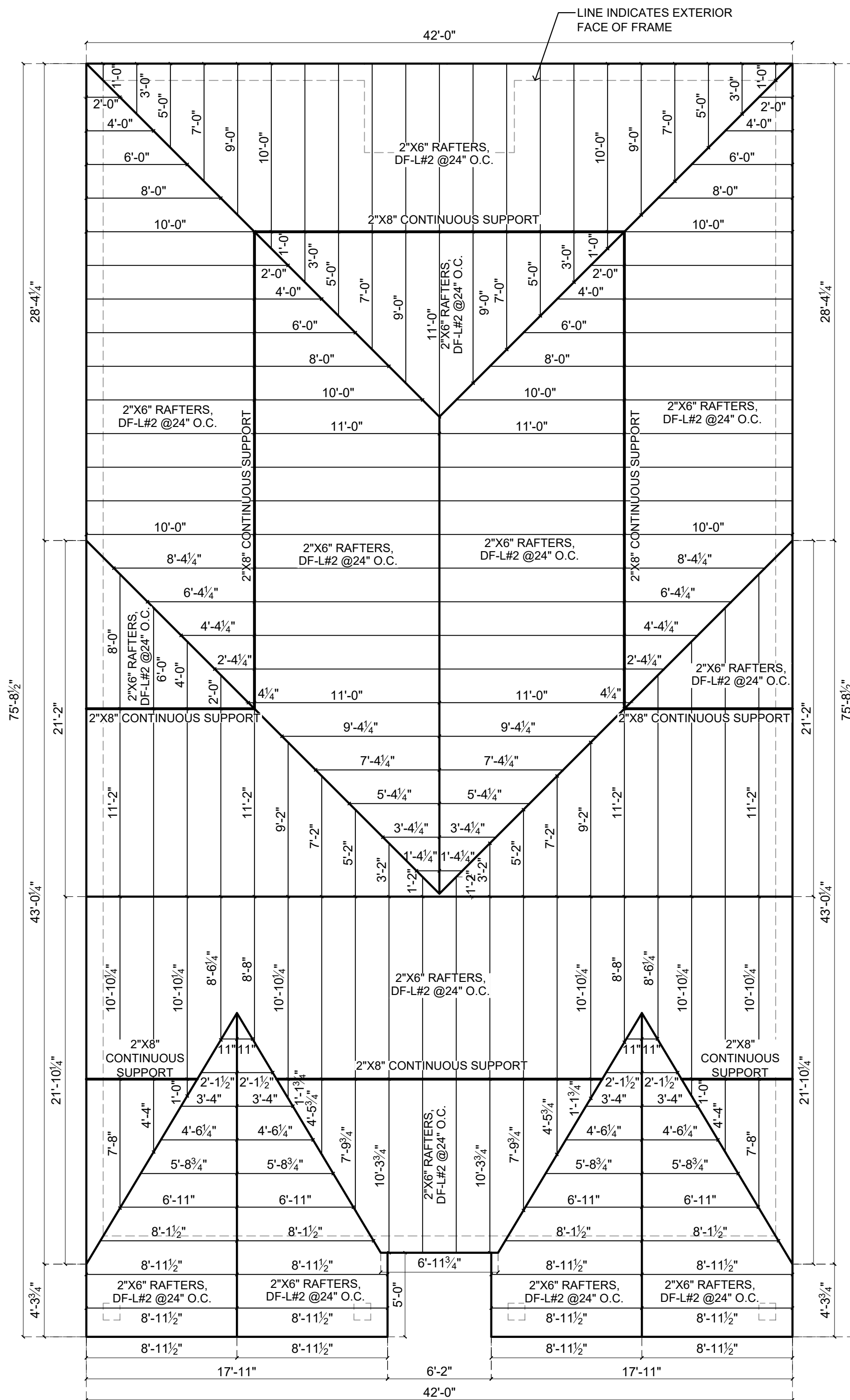
SHEET TITLE:
FOUNDATION PLAN

SHEET #:
S1.01

FILE NAME:
S1.01_FOUNDATION

DESIGN IN ACCORDANCE WITH INTERNATIONAL RESIDENTIAL CODE

[R802.4] - Rafters
 [R802.4.1(1)-(8)] - Rafter Span Tables
 [R802.5.2] - Rafter Ties
 [R802.5.2.1] - Ceiling Joists as Rafter Ties
 [R802.4.6] - Collar Ties



1 ROOF FRAMING PLAN
 S6.01 3/16" = 1' - 0"

1 ROOF FRAMING PLAN CAR GARAGE
 S6.01 3/16" = 1' - 0"

DISCLAIMER
 THE CONTRACTOR SHOULD THOROUGHLY REVIEW THE PLANS PRIOR TO CONSTRUCTION AND NOTIFY THE DESIGN ENGINEER IN WRITING IF THERE IS ANYTHING PROVIDED OR NOT PROVIDED ON THE PLAN THAT WOULD PREVENT THE CONTRACTOR FROM WARRANTING THE CONSTRUCTION. THE CONTRACTOR IS ULTIMATELY RESPONSIBLE FOR THE WARRANTY OF THE CONSTRUCTION.

SEAL

PROJECT/PLAN ID
2937 WARREN AVE

DATE:
5/8/26

DRAWN BY:
KR/TA

CHECKED BY:
ER

DESCRIPTION:
**ONE STORY
 DUPLEX RESIDENCE;
 3 BEDROOMS, 2 BATHROOMS P/UNIT**

SCALE:
3/16" = 1' - 0"

SHEET TITLE:
ROOF FRAMING

SHEET #:
S6.01

FILE NAME:
S6.01_ROOF FRMG

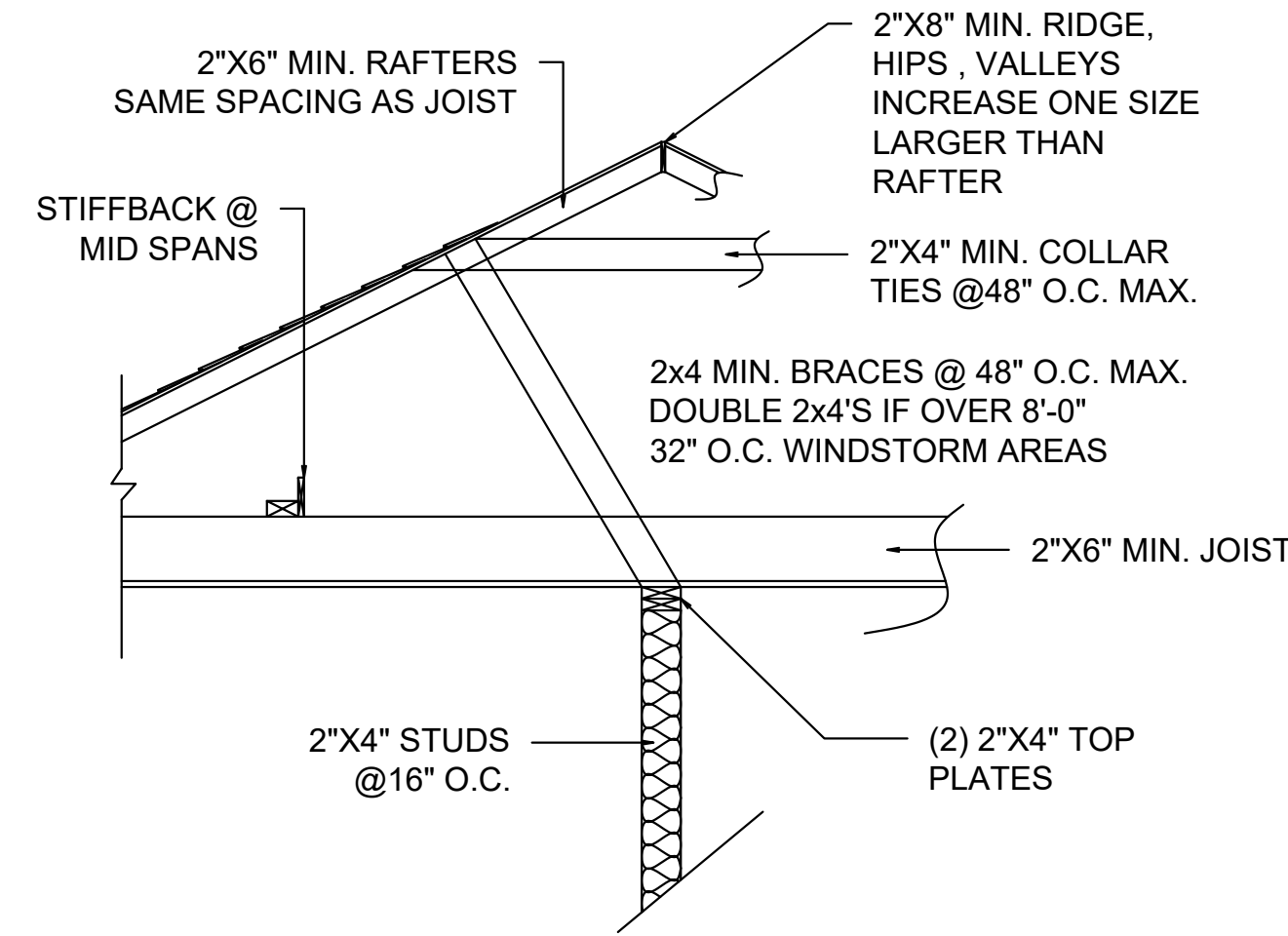
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ROOF FRAMING NOTES

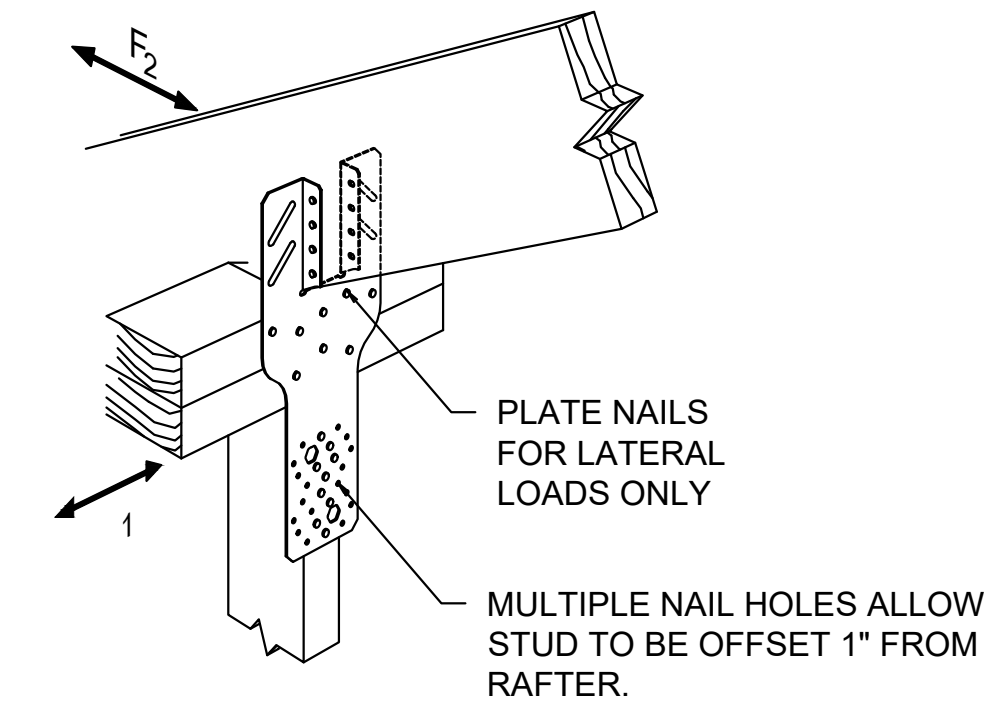
1. DESIGN LOADS: ROOF LIVE LOAD 20 PSF
2. ALL ROOFS SHALL BE FRAMED 2X6 #2 DF RAFTERS SPACED @ 24" O.C. WITH A MAX SPAN OF 11'-11". ALL RAFTER SPLICES SHALL BE BRACED W/PLYWOOD GUSSETS BOTH SIDES.
3. PURLINS ARE TO BE SAME DEPTH AS RAFTERS THEY ARE SUPPORTING.
4. ALL HIPS, RIDGES AND VALLEYS TO BE AT LEAST ONE MILL SIZE LARGER THAN RAFTERS THEY ARE SUPPORTING.
5. PROVIDE COLLAR TIES AR 4'-0" O.C. ON ALL RIDGES.
6. ROOF SYSTEM SHALL BE COMPOSITE SHINGLES OVER 30# ROOFING FELT OVER 1/2" CDX PLYWOOD OR OSB STRUCTURAL PANELS. EXPOSURE 1.
7. CONTRACTOR SHALL FIELD VERIFY ALL ARCHITECTURAL FEATURES AND IS RESPONSIBLE FOR FIT AND FINISH.

GENERAL FRAMING NOTES

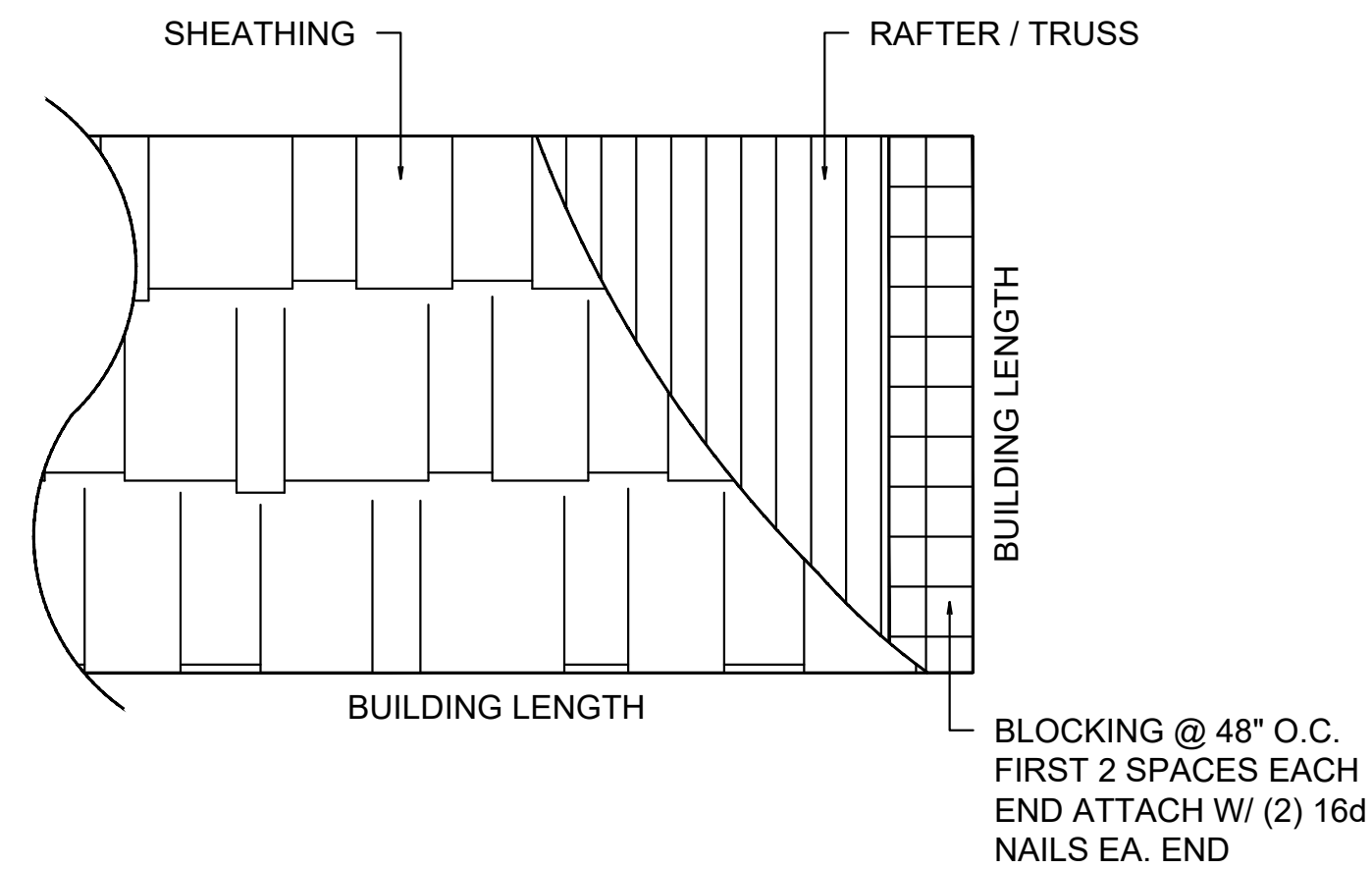
1. ALL LUMBER TO BE NO.2 SYP OR DOUGLAS FIR, 19% M.C. U.O.N.
2. USE BLOCKING WHERE REQUIRED BY 2021 IRC.
3. CONNECTIONS TO BE PROPERLY INSTALLED WHERE REQUIRED PER 2021 IRC.
4. NAILS IN CONTACT WITH TREATED WOOD ARE TO BE STAINLESS STEEL OR A MIN. G185 HDS HOT DIP GALVANIZED SUCH AS: SIMPSON (AMAX G185).
5. TRANSFER ALL LOAD BEARING POINTS TO FOUNDATION.
6. SILL PLATES FOR ALL EXTERIOR WALLS SHALL BE OF PRESSURE TREATED LUMBER, OR SHALL BE PROVIDED WITH AN APPROVED VAPOR BARRIER BENEATH THEM.
7. ALL STUD WALLS SHALL BE S.P.F. #2 OR BETTER, KD (19% M.C.) OR #2 SOUTHERN PINE (U.O.N.)
8. ALL EXT. AND LOAD BEARING STUD WALLS: STUD SPACING SHALL NOT EXCEED 16" O.C. FOR 2X4 STUDS AND 24" O.C. FOR 2X6 STUDS U.N.O.
9. JOINTS IN DOUBLE TOP PLATES SHALL BE OFFSET AT LEAST 48 INCHES AND SHALL BE NAILED WITH NOT LESS THAN EIGHT 16d FACE NAILS ON EACH SIDE OF THE JOINT. PLATES SHALL BE NOMINAL 2 INCHES IN DEPTH AND HAVE A WIDTH AT LEAST EQUAL TO THE WIDTH OF THE STUDS.
10. AT GABLE ENDS, AT LEAST EVERY OTHER GABLE STUD SHALL BE ATTACHED TO THE DOUBLED TOP PLATE AND THE RAFTER WITH A SIMPSON H2.5.
11. BUILDER SHALL TAKE EXTRA CARE TO ENSURE THAT UPPER LEVEL LOAD BEARING WALLS AND POSTS, CAN TRANSFER THEIR LOADS TO THE SUPPORTS DIRECTLY BELOW THEM. INSTALL BLOCKING OR STUB COLUMNS BELOW FLOOR DECKING.
12. ALL ROOF FRAMING DETAILS AND CONNECTIONS SHALL BE IN ACCORDANCE WITH THE 2021 IRC.
13. ROOF VENT SPECIFICATIONS AND LOCATION MAY BE SUBJECT TO MODIFICATION AT THE DISCRETION OF THE BUILDER ON-SITE. FINAL PLACEMENT, SIZING, AND INSTALLATION DETAILS SHALL BE DETERMINED DURING CONSTRUCTION BASED ON PROJECT CONDITIONS AND BUILDER JUDGMENT.



TYPICAL ROOF DETAIL



BEAM AND RAFTER TIE DETAIL



ROOF SHEATHING LAYOUT

SEAL

PROJECT/PLAN ID

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DESCRIPTION:

**ONE STORY
DUPLEX RESIDENCE;
3 BEDROOMS, 2 BATHROOMS P/UNIT**

SCALE:

NTS

SHEET TITLE:

ROOF FRMG DTLS

SHEET #:

S7.00

FILE NAME:

S7.00_ROOF FRMG DTLS

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1 ROOF FRAMING DETAILS
S7.00 NTS