



**LANDMARK COMMISSION**

**JUNE 1, 2026**

FILE NUMBER: COA-26-000191  
LOCATION: 3406 Jeffries St.  
STRUCTURE: Non-Contributing  
COUNCIL DISTRICT: 7  
ZONING: PD-595

PLANNER: Rhonda Dunn, Ph.D.  
DATE FILED: April 27, 2026  
DISTRICT: Wheatley Place (H/100)  
MAPSCO: 46-T  
CENSUS TRACT: 0203.00

**APPLICANT:** Franchesca Jennings

**REPRESENTATIVE:** N/A

**OWNER:** GLENBRIDGE HOMES LLC

**REQUEST**

**Courtesy Review (CR)** -- Construct a new main residential building (on a vacant lot).

**STAFF RECOMMENDATION:**

Courtesy Review - no action required. That a request to construct a new main residential building (on a vacant lot) be conceptually approved with the understanding that the final design, as well as associated site plans, elevations, renderings, and details are to be submitted for Landmark Commission review.

**TASK FORCE RECOMMENDATION:**

Courtesy Review – Comments only. Supportive, with the following comments:

1. Update Contextual Site Plan to show correct blockface.
2. Make sure drawings/plans and Material Sheet match.
3. Make exterior siding novelty pattern 117.
4. Make sure ornamental details in drawings are applied/installed on actual main building.
5. Change colors of roof (browns or grays), paint, and porch column bottoms (use earth tones) to differ from previously approved plans.
6. Update Site Plan to match current lot.

## **BACKGROUND / HISTORY:**

Presently, 3406 Jeffries Street is a vacant interior lot; hence, the proposed building will be identified as non-contributing to the Wheatley Place Historic District.

There are no previous applications for Certificates of Appropriateness filed for this property that are pertinent to this CR. However, a Certificate of Demolition (#CD089-001(TC)) was approved by the Landmark Commission on October 6, 2008.

## **RELEVANT PRESERVATION CRITERIA:**

### **Wheatley Place Historic District (H-100), Ordinance No.: 24432**

#### SEC. 9. NEW CONSTRUCTION AND ADDITIONS

9.2 The elevation of a lot to be used for construction of a new main structure must match the elevation of other lots on the block.

9.3 Construction of new main structures must include a front porch appropriate to the neighborhood.

9.7 New construction and additions must have appropriate color, detailing, fenestration, massing, materials, roof form, shape, and solids-to-voids ratios. New construction should be of the same predominant material. Details can be of other materials, except as otherwise noted.

9.9 Aluminum siding, stucco and vinyl cladding are not permitted.

#### 9.11 Front yard setback for construction of new main structures.

(a) A main structure on an interior lot must have a front yard setback that is within ten feet of the average front yard setback of other structures in the blockface.

## **RELEVANT SECRETARY OF THE INTERIOR'S STANDARDS FOR THE TREATMENT OF HISTORIC PROPERTIES:**

### Guidelines for Setting (District / Neighborhood)

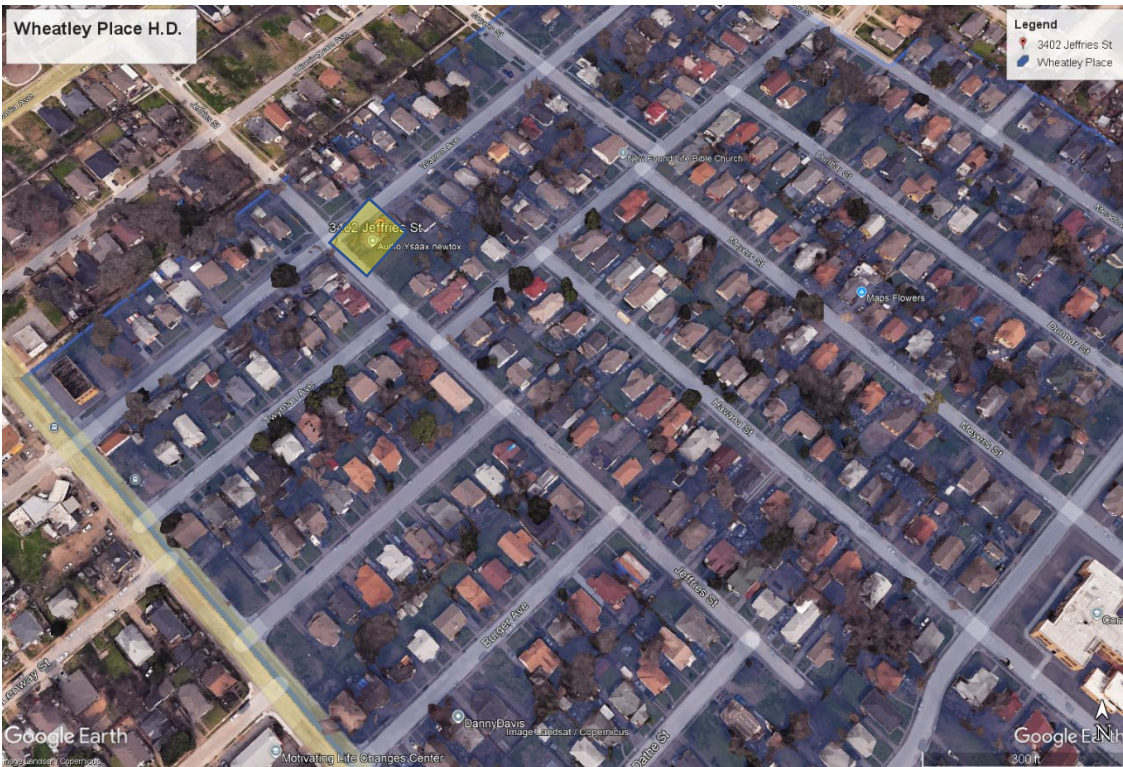
- **Recommended:** *Identifying, retaining, and preserving building and landscape features that are important in defining the overall historic character of the setting. Such features can include circulation systems, such as roads and streets; furnishings and fixtures, such as light posts or benches; vegetation, gardens and yards; adjacent open space, such as fields, parks, commons, or woodlands; and important views or visual relationships.*
- **Not Recommended:** *Introducing a new building or landscape feature that is visually or otherwise incompatible with the setting's historic character (e.g., replacing low metal fencing with a high wood fence).*

**RELEVANT DALLAS CITY CODE:**

**Section 51A-4.501. Historic Overlay District**

- (g) Certificate of Appropriateness.
  - (6) Standard certificate of appropriateness review procedure.
    - (C) Standard for approval. The landmark commission must grant the application if it determines that:
      - (ii) for noncontributing structures, the proposed work is compatible with the historic overlay district.

**SITE MAP**  
**3406 Jeffries St.**



**The yellow rectangle highlights 3406 Jeffries St. The blue shading indicates Wheatley Place Historic District coverage. Basemap Source: Google Earth**

**CURRENT & CONTEXT PHOTOS**  
**3406 Jeffries St.**



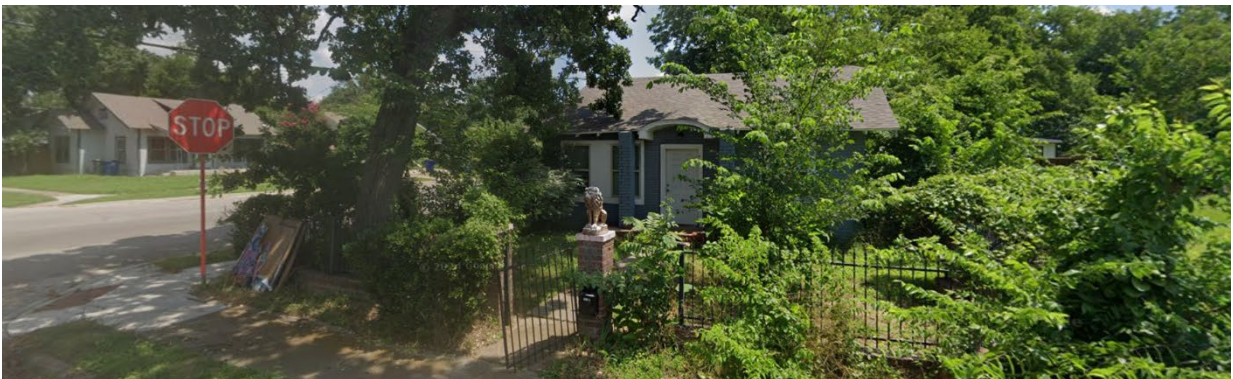
**Subject property: front, southwest elevation. Source: Google Maps, Street View.**



**Across the street from the subject property facing southwest. Source: Google Maps, Street View.**



**East of subject property, same blockface. Source: Google Maps, Street View.**



**West of subject property. Source: Google Maps, Street View.**

**ATTACHMENTS:**

- **Task Force Recommendation Form**
- **Courtesy Review Application**

**TASK FORCE RECOMMENDATION REPORT**  
**WHEATLEY PLACE / TENTH STREET / QUEEN CITY**

DATE: 05/12/2026

TIME: **4:00 pm**

MEETING PLACE: **Preservation Dallas/Videoconference**

Applicant Name: Fanchesca

Address: 3406 Jeffries St. (Wheatley Place)

(Wheatley Place/ Tenth St Neighborhood

HD / Queen City)

Date of CA/CD/**CR** Request: 04/27/2026

**RECOMMENDATION:**

Approve  Approve with conditions  Deny   
 Deny without prejudice

Recommendation / comments / basis:

Updated your site plan and contextual plan, change paint colors 105 siding and

roof shingles colors browns or stale grey, change your brick color for col. base,

use earth tone, updated material sheet.

Task force members present

Barbara Wheeler (Chair)  Alonzo Harris  
 Benje Feehan  
 Larry Johnson (Vice Chair)  Shaní Dixon  
 Jarod Fancher  
 VACANT  
 VACANT

Ex Officio staff members Present:  Dr. Rhonda Dunn

Simple Majority Quorum:  yes  no

Maker:

The task force recommendation will be reviewed by the landmark commission in Briefing Room 6ES, starting with a Staff briefing. The Landmark Commission public hearing begins at 1:00 pm in Room 6ES, which allows the applicant and citizens the opportunity to provide public comment(s).

2<sup>nd</sup>:

Task Force members in favor:

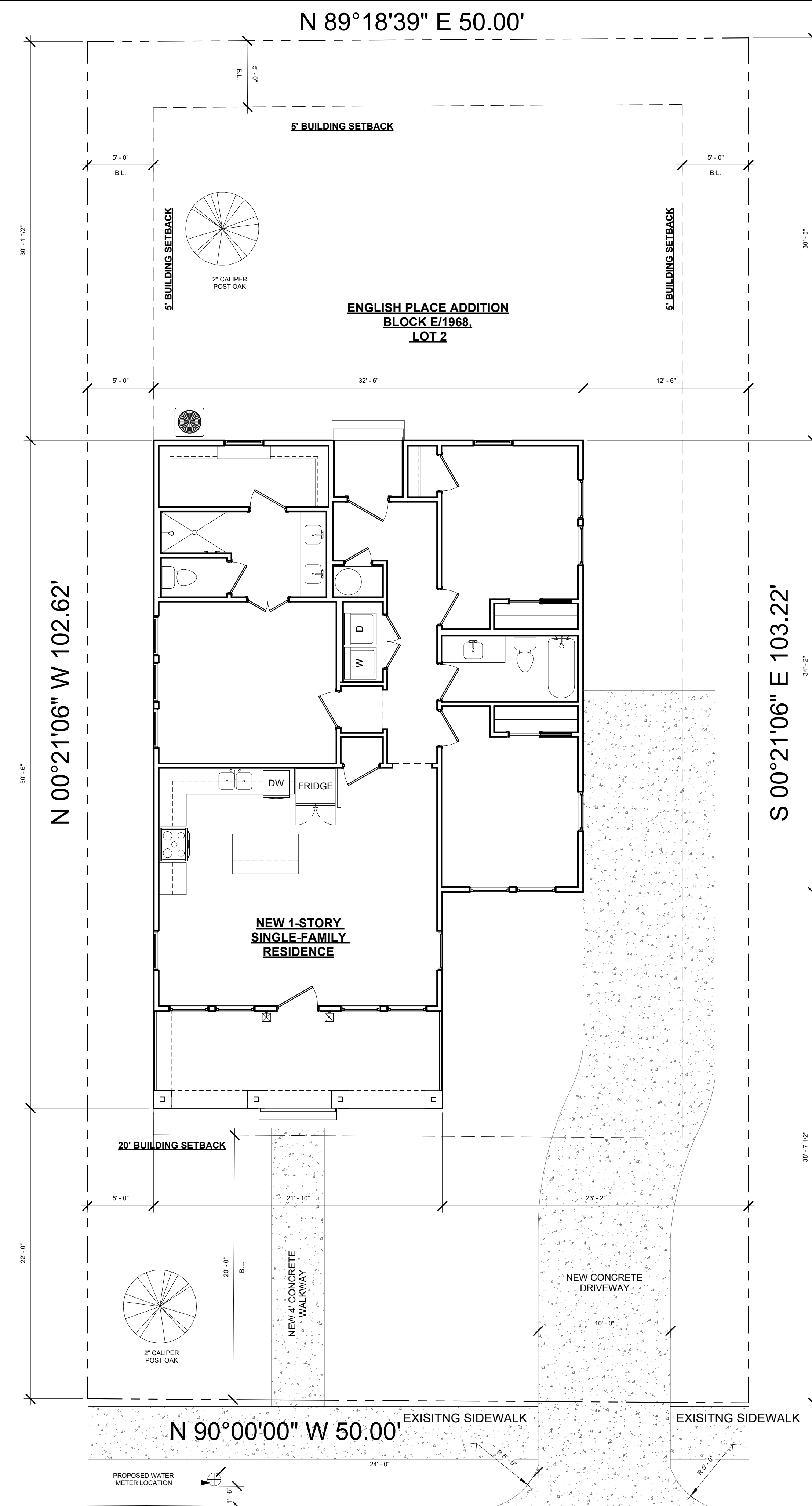
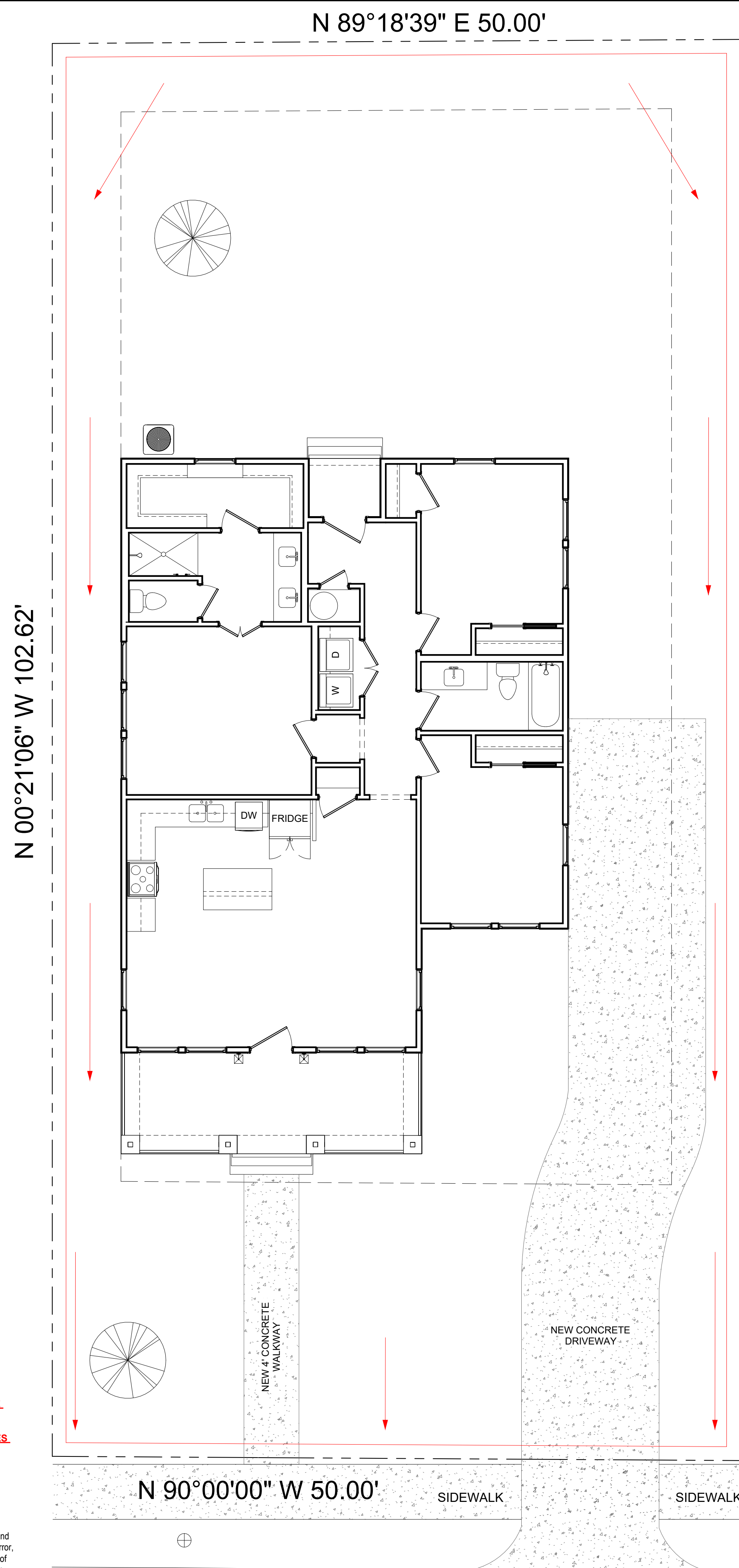
Task Force members opposed:

Basis for opposition:

CHAIR, Task Force:

DATE: 05/12/2026

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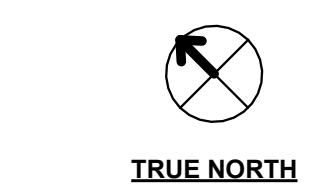
ZONING: R-5(A)  
 LOT COVERAGE PER ZONING: 45%  
 LOT AREA: 5,146  
 HOUSE AREA: 1,467  
 LOT COVERAGE: 28.5%

**GENERAL SITE PLAN NOTES:**  
 1.) LOT DRAINAGE TO COMPLY WITH THE INTERNATIONAL RESIDENTIAL CODE.  
 2.) BUILDING AREA TO BE CLEARED OF ALL HUMUS, ROOTS, AND VEGETATION. CUT STUMPS A MINIMUM OF 8" BELOW GRADE AND 4" BELOW BEAMS.  
 3.) CONTRACTOR TO FIELD VERIFY BUILDING ELEVATIONS AND EXISTING CONDITIONS.

**GENERAL NOTES:**  
 1.) These plans are intended to provide the basic construction information necessary to substantially complete this structure. These plans must be verified and checked completely by the builder. Any discrepancy, error, and/or omission found is to be brought to the attention of the designer before any construction work or purchases have been made.  
 2.) These plans are designed to be in substantial compliance with current city adopted International Residential Code. The construction shall conform to all national, state, and local building codes and ordinances. These codes shall take precedence over anything noted in these drawings.  
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3406 JEFFERIES STREET

JEFFERIES STREET



2 DRAINAGE PLAN  
 3/16" = 1'-0"

1 SITE PLAN  
 3/16" = 1'-0"

Ogbeide

3406 Jeffries Street  
 English Place Addition  
 Block E/1968, Lot 2  
 Dallas, TX 75215

**ISSUE FOR PERMIT**  
 May 19, 2026



05/19/2026

Title  
**SITE & DRAINAGE PLAN**

Sheet  
**A-001**

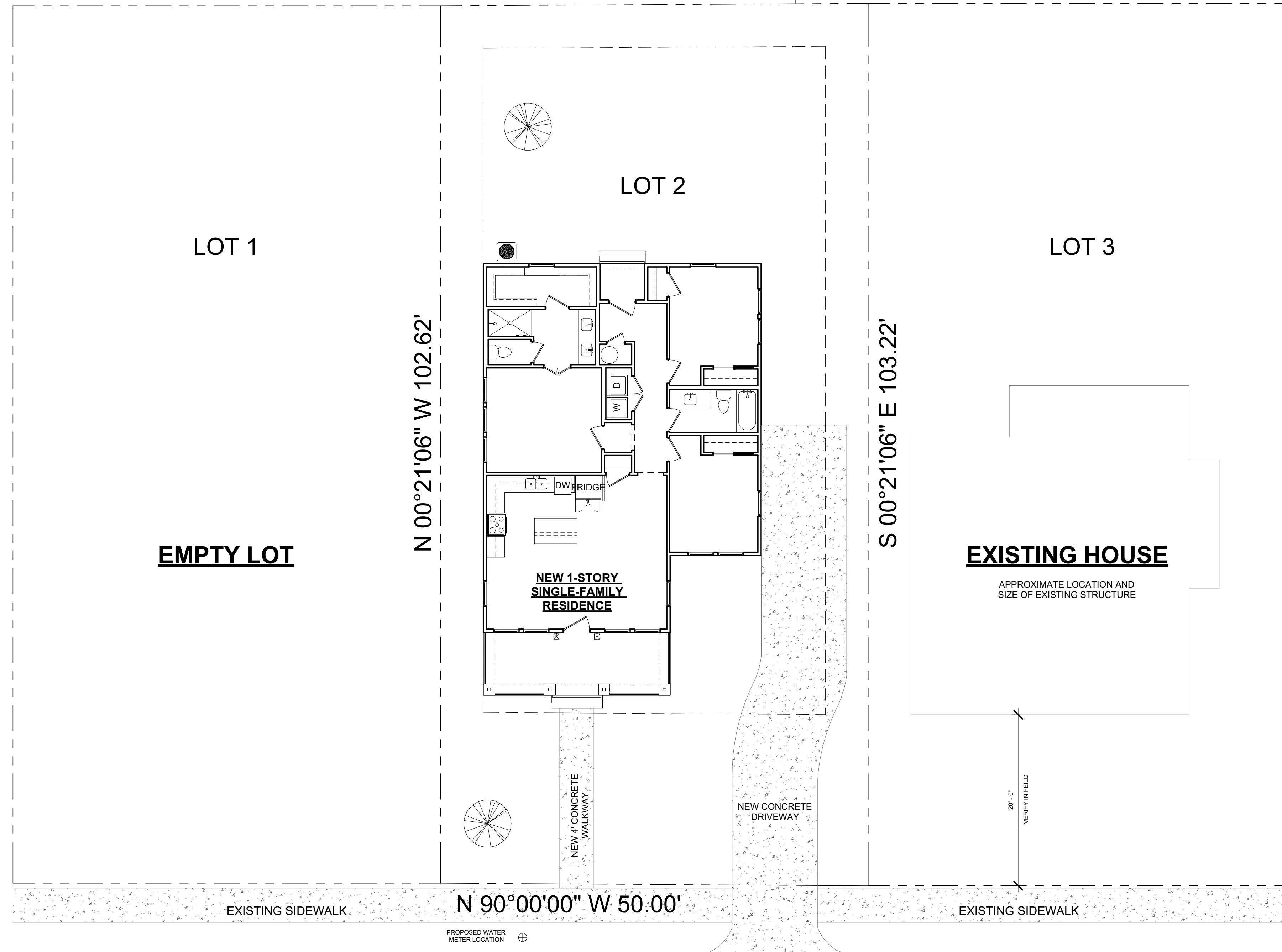


LOT 10  
BLOCK 23/1959  
WINCHESTER PLACE  
VOL. 3, PG. 439,  
M.R.D.C.T.

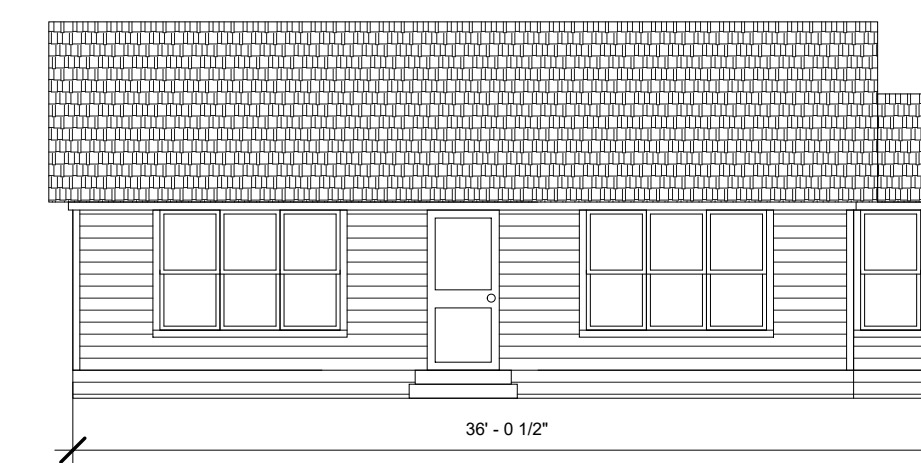
LOT 13  
BLOCK 23/1959  
FREEMAN'S & CAMPS  
VOL. 2, PG. 288,  
M.R.D.C.T.

10' ALLEY

N 89°18'39" E 50.00'



JEFFRIES STREET



APPROXIMATE ELEVATION & DIMENSION



TRUE NORTH

① CONTEXTUAL SITE PLAN  
1/8" = 1'-0"

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Title  
CONTEXTUAL SITE PLAN

Sheet  
A-002



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1-214-609-7083  
www.dctexasarch.com

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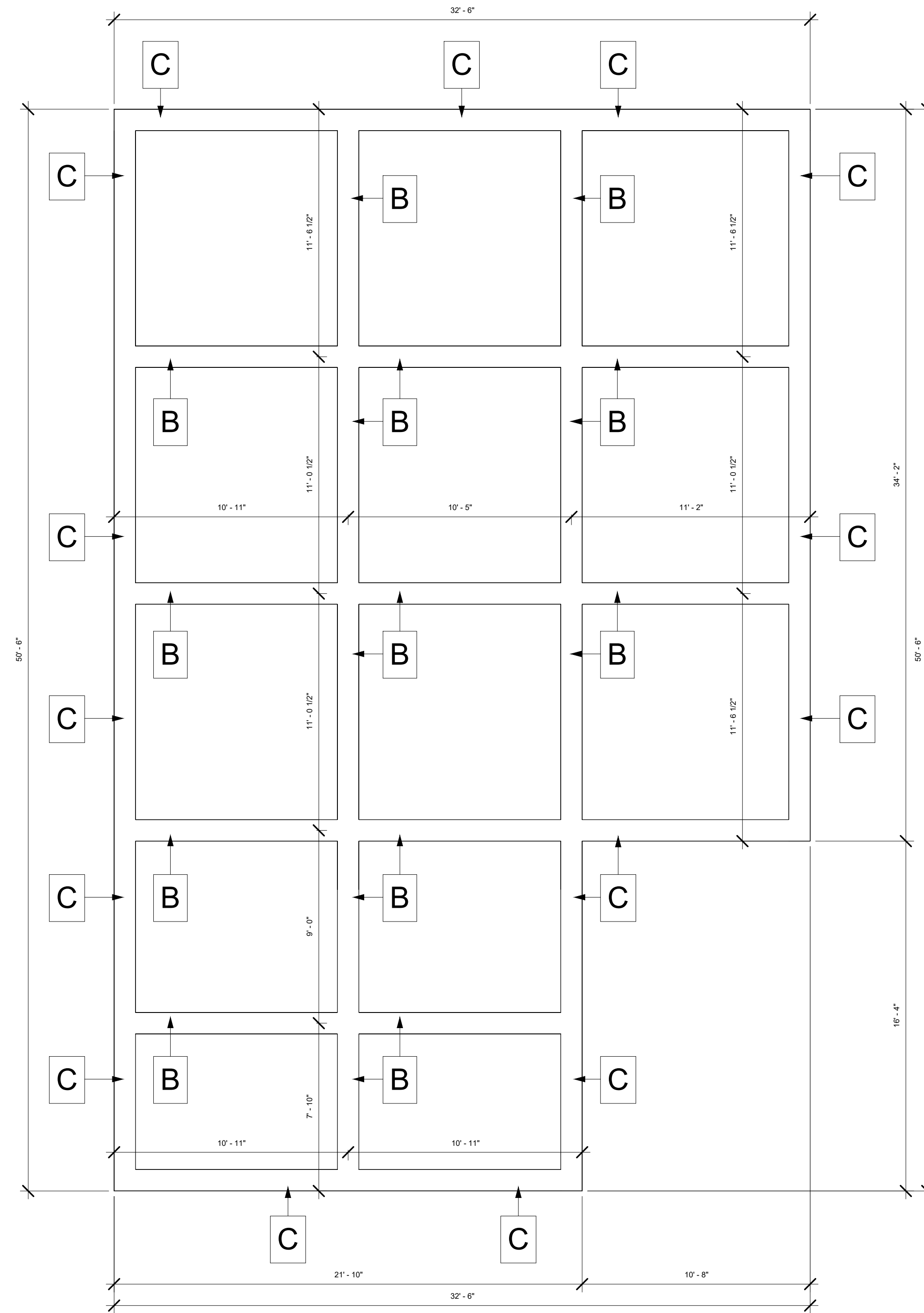
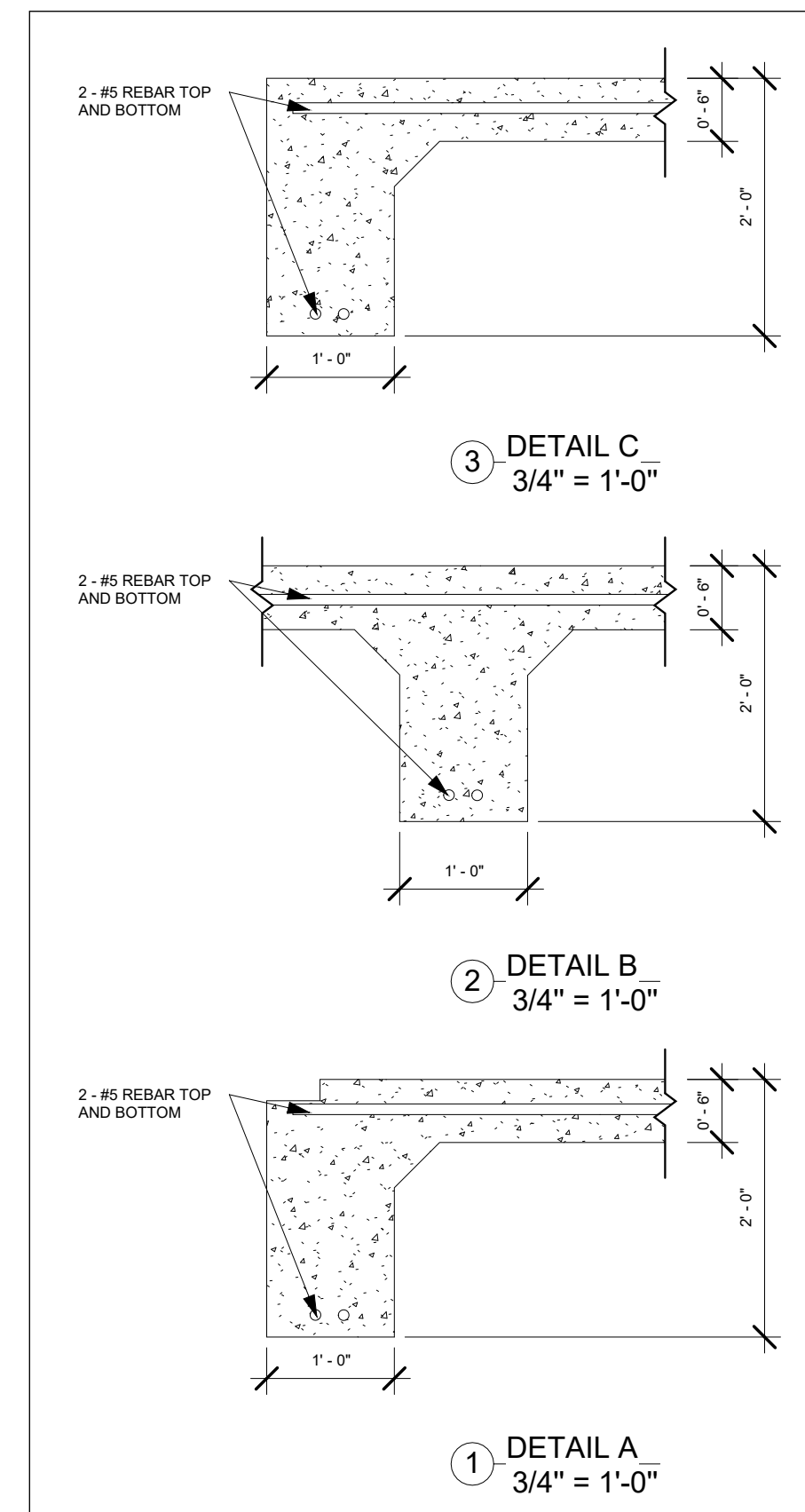
Title  
**ARCHITECTURAL  
FOUNDATION  
PLAN**

Sheet  
**A-003**

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**GENERAL FOUNDATION PLAN NOTES:**  
1.) ALL EXTERIOR BEAMS 12" x 24" W/ 2-#5 REBAR TOP & BOTTOM (INTERIOR 12" x 24").  
2.) ALL CONCRETE TO BE 3500 P.S.I. MIN.  
3.) 4" CUSHION SAND UNDER SLAB W/ 6 MILL POLY COVER BETWEEN SAND & CONCRETE.  
4.) SEE SECTIONS FOR DETAILS.  
5.) REBAR IN SLAB TO BE #3 @ 16" O.C. EACH WAY.  
6.) MINIMUM REBAR OVERLAP 30 x DIA.  
7.) SLAB THICKNESS 6" MINIMUM.  
8.) ALL BEAMS MUST BE MINIMUM 14" INTO UNDISTURBED SOIL.





WINDOW TYPE SCHEDULE			
WINDOW TYPE	WIDTH	HEIGHT	HEAD HEIGHT
A	3'-0"	5'-0"	6'-8"

**NOTE:**  
 ALL WINDOWS ARE VINYL WITH LOW-E GLASS, DOUBLE GLAZED. R-VALUE TO MEET CODE.  
 WINDOWS MUST BE TEMPERED GLASS IF ALL OF THE FOLLOWING CRITERIA ARE MET: FRAME IS LARGER THAN 0.5" LESS THAN 1/8" FROM FLOOR. THE TOP EDGE OF THE GLASS IS GREATER THAN 36" ABOVE THE FLOOR, AND HAS A 36" WALKWAY ON EITHER SIDE OF THE GLASS. WINDOW MUST BE TEMPERED IF ADJACENT TO A DOOR IN A HAZARDOUS LOCATION.

DOOR SCHEDULE				
NUMBER	WIDTH	HEIGHT	HINGE	TYPE
1	3'-0"	6'-8"	LEFT	EXT. SOLID CORE
2	2'-8"	6'-8"	LEFT	HOLLOW CORE
3	2'-8"	6'-8"	LEFT	HOLLOW CORE
4	2'-4"	6'-8"	POCKET	HOLLOW CORE
5	2'-8"	6'-8"	LEFT	HOLLOW CORE
6	3'-0"	6'-8"	LEFT/RIGHT	HOLLOW CORE
7	2'-4"	6'-8"	RIGHT	HOLLOW CORE
8	2'-8"	6'-8"	RIGHT	HOLLOW CORE
9	2'-8"	6'-8"	RIGHT	HOLLOW CORE
10	4'-0"	6'-8"	LEFT/RIGHT	HOLLOW CORE
11	2'-8"	6'-8"	RIGHT	HOLLOW CORE
12	2'-4"	8'-0"	POCKET	HOLLOW CORE
13	2'-8"	6'-8"	LEFT	HOLLOW CORE
14	2'-0"	6'-8"	LEFT	HOLLOW CORE
15	3'-0"	6'-8"	RIGHT	EXT. FULL LITE
AA	3'-0"	6'-8"		EB ARCH
BB	3'-0"	6'-8"		EB ARCH

**ABBREVIATIONS:**  
 DW - DRY WALL  
 EB ARCH - EYEBROW ARCH  
 EXT - EXTERIOR  
**NOTE:**  
 GLASS IN DOORS MUST BE TEMPERED.

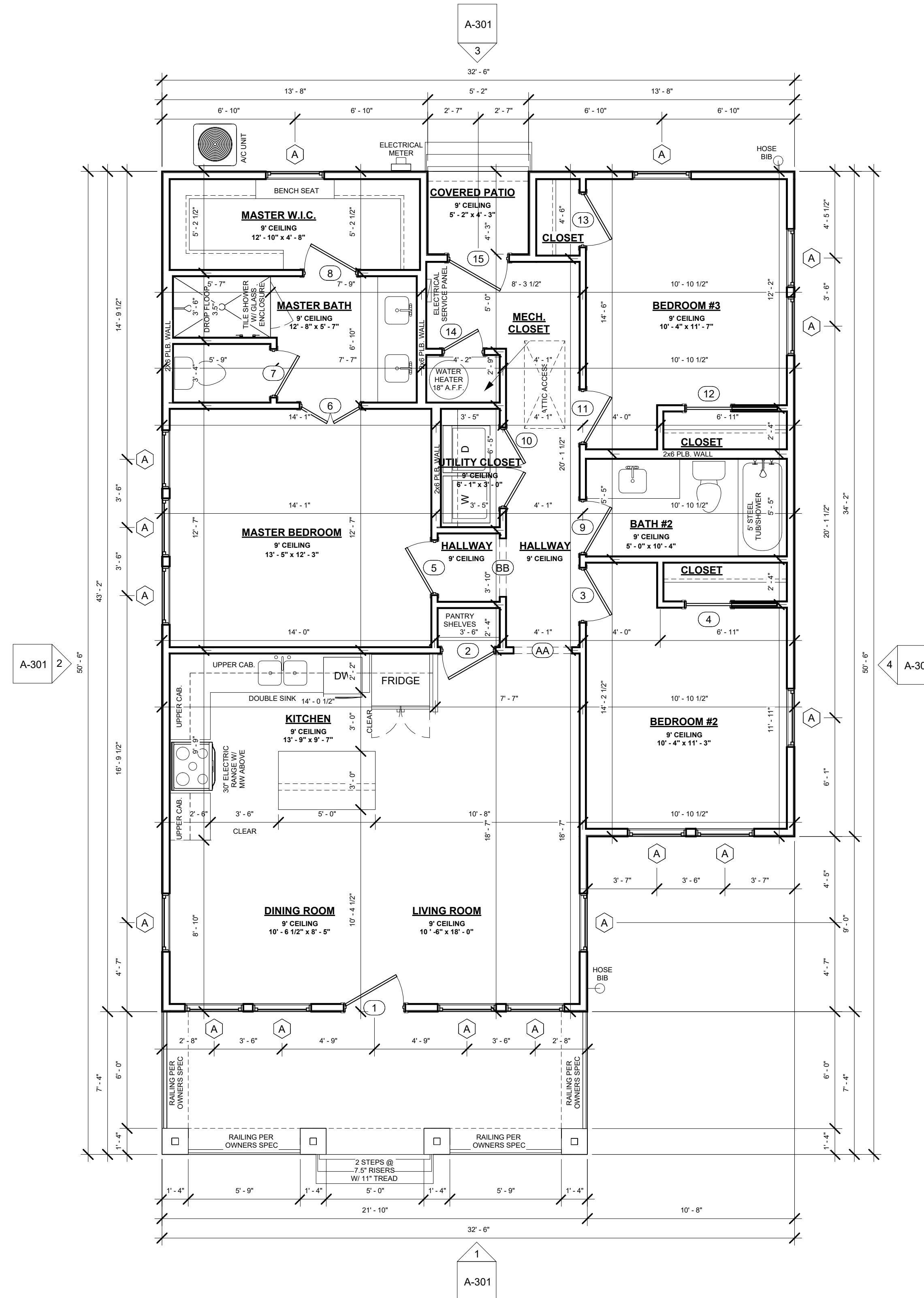
**GENERAL FLOOR PLAN NOTES:**

- GLAZING IN HAZARDOUS LOCATIONS SHALL MEET REQUIREMENT OF IRC CODE SECTION R308.4, WHICH SHALL BE VERIFIED BY INSPECTOR IN FIELD.
- ALL SLEEPING ROOM EGRESS WINDOWS ARE TO MEET THE REQUIREMENTS OF SECTION R310 AND WILL BE FIELD VERIFIED.
- CASED DOOR OPENINGS PER BUILDER/OWNER SPEC.
- ALL UPPER CABINETS PER BUILDER/OWNER SPEC.
- TILE SHOWER WITH GLASS SURROUND UNLESS NOTED OTHERWISE.
- CLOSET SHELVES PER BUILDER/OWNER SPEC.
- ALL WALLS ARE 2X4 IN LESS OTHERWISE NOTED.
- PROVIDE 3/8" WATER LINE TO REFRIGERATOR.
- ALL WATER HEATERS ARE TO BE 1/8" A.F.F.
- AIR CONDITIONER CONDENSER MUST BE 3" ABOVE GRADE.
- IN ABSENCE OF STRUCTURAL ENGINEER PREPARED BY BUILDER, USE TABLE R602.3 IN THE INTERNATIONAL RESIDENTIAL CODE.
- REFER TO ENGINEER DRAWINGS FOR ALL FOUNDATIONS.
- CHECK PLANS FOR LEVEL CHANGES, FLOOR OUTLETS, AND PLUMBING FIXTURE LOCATIONS.
- ALL WORK MUST COMPLY WITH THE CURRENT CITY-ADOPTED BUILDING CODES.

AREA TOTALS	
LIVING	1285 SF
COVERED FRONT PORCH	160 SF
COVERED BACK PATIO	22 SF
	1467 SF
FOUNDATION	1467 SF
	1467 SF
<b>TOTAL UNDER ROOF:</b>	<b>1,467 SF</b>

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1 FIRST FLOOR PLAN  
 1/4" = 1'-0"

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 English Place Addition  
 Block E/1968, Lot 2  
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Title  
 FLOOR PLAN

Sheet  
**A-101**



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Title  
**ROOF PLAN**

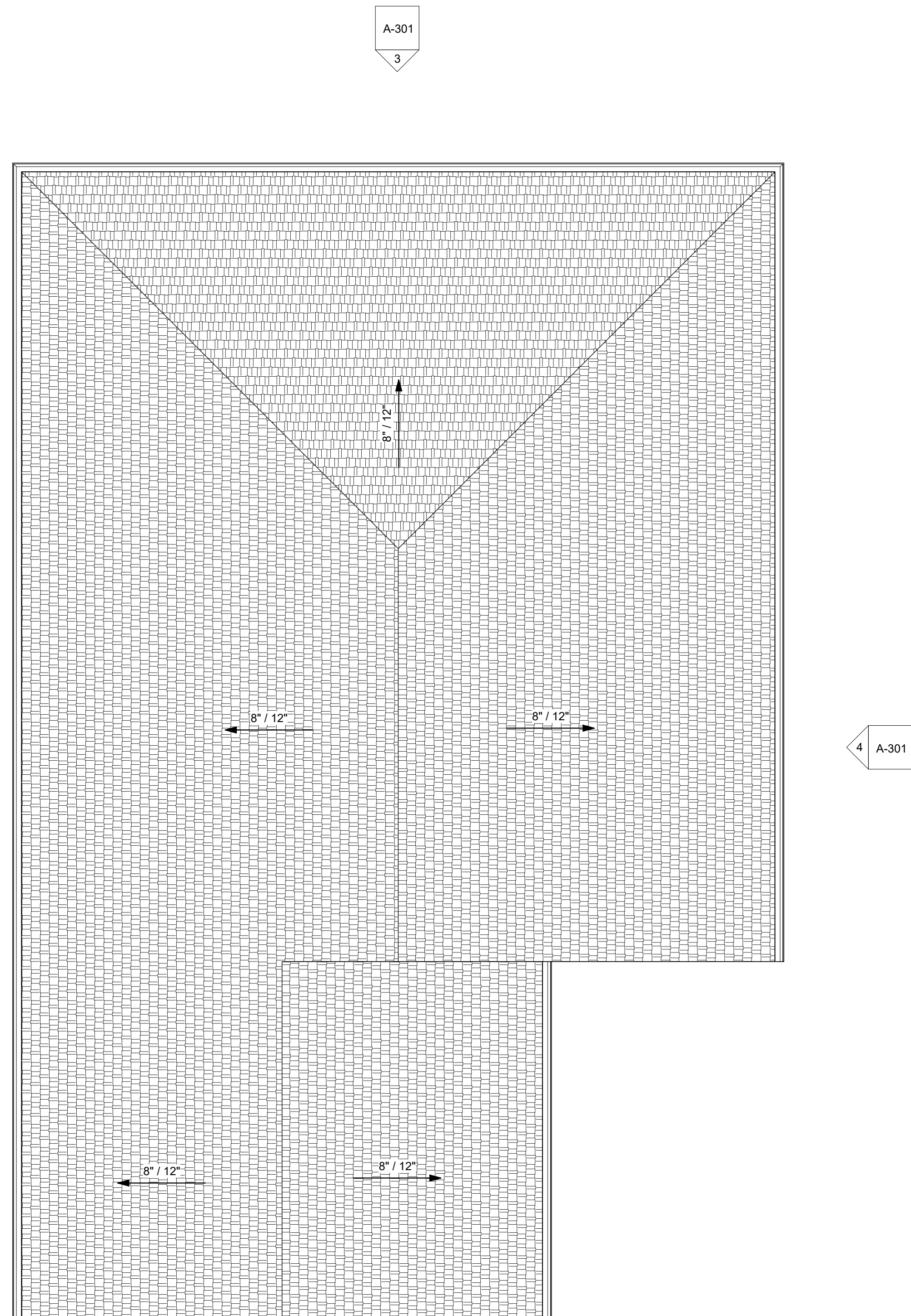
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**A-102**

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ROOF LEGEND	
SYMBOL	DESCRIPTION
	30 YEAR ASPHALT COMPOSITION SHINGLE ROOF
	METAL GUTTER
	METAL ROOF

**GENERAL ROOF PLAN NOTES:**  
1.) NO VENT STACKS AND PENETRATIONS TO BE LOCATED ON THE FRONT OF THE HOUSE AND VISIBLE FROM THE STREET.  
2.) VENT STACKS AND PENETRATION TO BE PAINTED TO MATCH ROOF COLOR.  
3.) GUTTERS TO BE PAINTED TO MATCH EXTERIOR TRIM.  
4.) ALL WORK MUST COMPLY WITH THE CURRENT CITY-ADOPTED BUILDING CODE.





**GENERAL ELECTRICAL PLAN NOTES:**

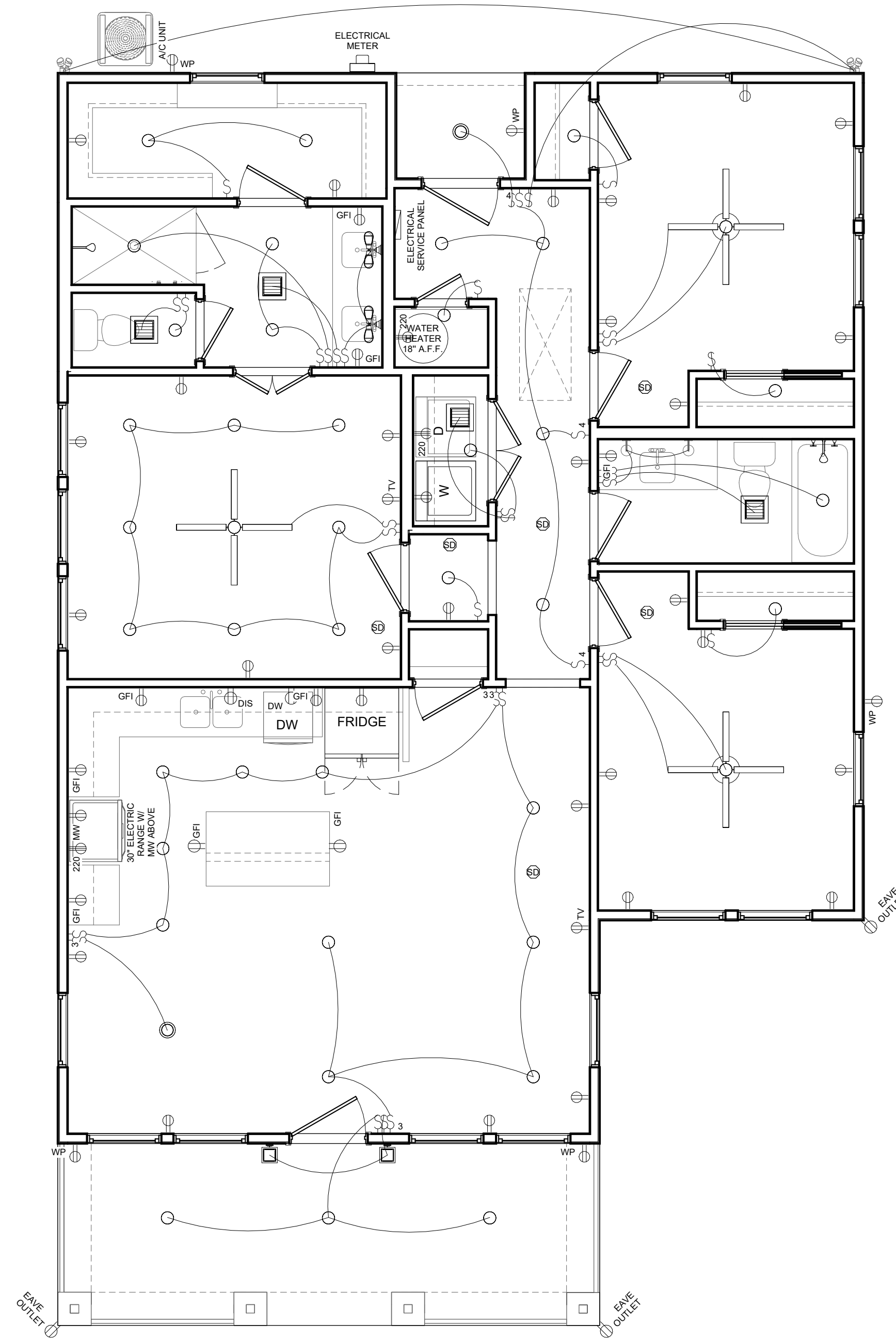
- 1.) VERIFY ALL EXTERIOR ELECTRICAL, FLOOR PLUGS, PHONE & TV JACKS, SECURITY & SOUND SYSTEM WIRING WITH THE OWNER BEFORE THE CONSTRUCTION PROJECT.
- 2.) INSTALL ARC FAULT CIRCUIT INTERRUPTER PROTECTION FOR ALL SLEEPING ROOMS.
- 3.) DEDICATED CIRCUITS FOR ALL APPLIANCES.
- 4.) PROVIDE SWITCHED LIGHTING & 110 VOLT RECEPTACLE IN THE ATTIC @ MECHANICAL PLATFORM.
- 5.) INSTALL OUTSIDE EMERGENCY DISCONNECT THAT IS CLEARLY LABELED.
- 6.) ALL OUTDOOR OUTLETS TO BE GFCI.
- 7.) ALL OUTLETS IN THE KITCHEN, AREAS WITH A SINK, AND FOOD PREPARATION AREAS TO BE GFCI.
- 8.) ALL WORK MUST COMPLY WITH THE CURRENT CITY-ADOPTED ELECTRICAL CODE.
- 9.) ELECTRICAL PANELS SHALL NOT BE LOCATED IN CLOTHES CLOSETS, BATHROOMS, OR OVER STEPS OF STAIRWAYS.

**ELECTRICAL SYMBOLS**

	SWITCH		LED 6" RECESSED CAN LIGHT
	3-WAY SWITCH		SURFACE MOUNT LIGHT
	DUPLEX RECEPTACLE		LED WALL MOUNT SCONCE
	GROUND FAULT CIRCUIT INTERRUPTER DUPLEX RECEPTACLE		SINGLE LED WALL SCONCE
	POP-UP GFCI		UNDER CABINET/ROPE LIGHTS
	220 VOLT DUPLEX RECEPTACLE		FLOOD LIGHT
	WEATHER PROOF GFCI DUPLEX RECEPTACLE		EXTERIOR LED UPLIGHT
	42" ABOVE FINISH FLOOR GFCI		EXTERIOR LED SCONCES
	FLOOR DUPLEX RECEPTACLE		EXTERIOR GOOSENECK LIGHT
	ELECTRICAL PANEL		LED CHANDELIER
	ELECTRICAL METER		CEILING FAN
	SMOKE/CARBON MONOXIDE DETECTOR COMBO		CEILING FAN WITH LIGHT KIT
	EXHAUST FAN		
	LED STRIP LIGHT		
	LED PENDANT LIGHT		

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1 ELECTRICAL PLAN  
1/4" = 1'-0"

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English Place Addition  
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May 19, 2026

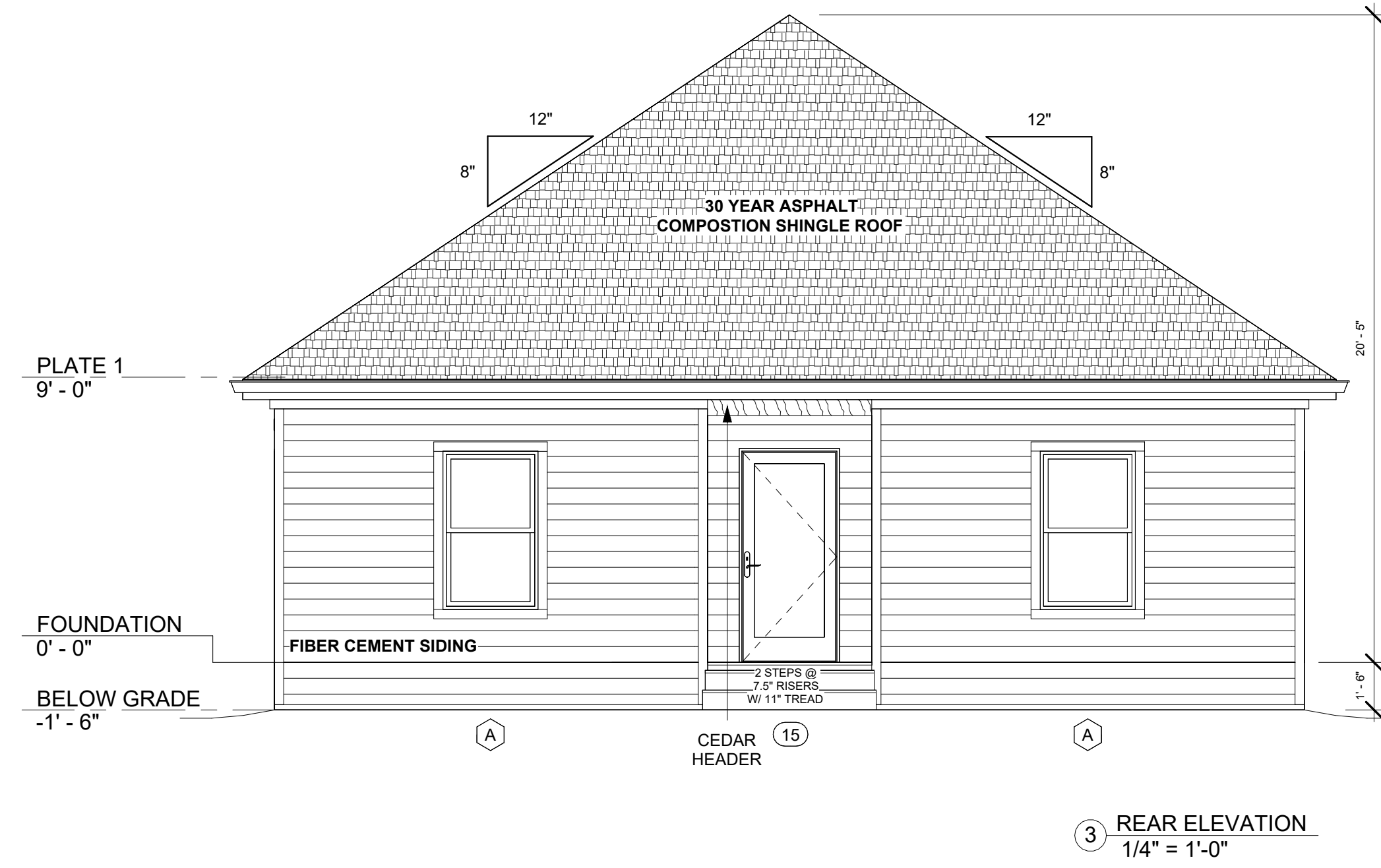
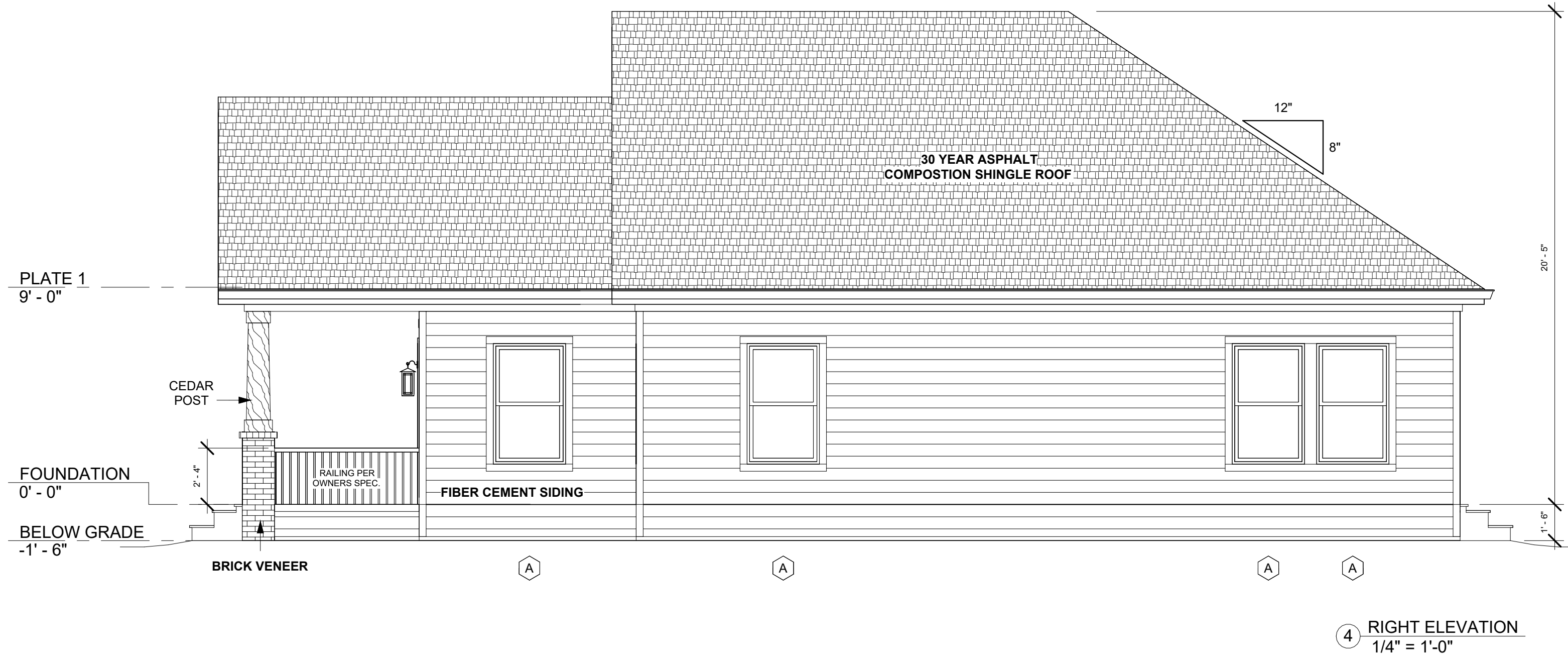


05/19/2026

Title  
ELECTRICAL PLAN

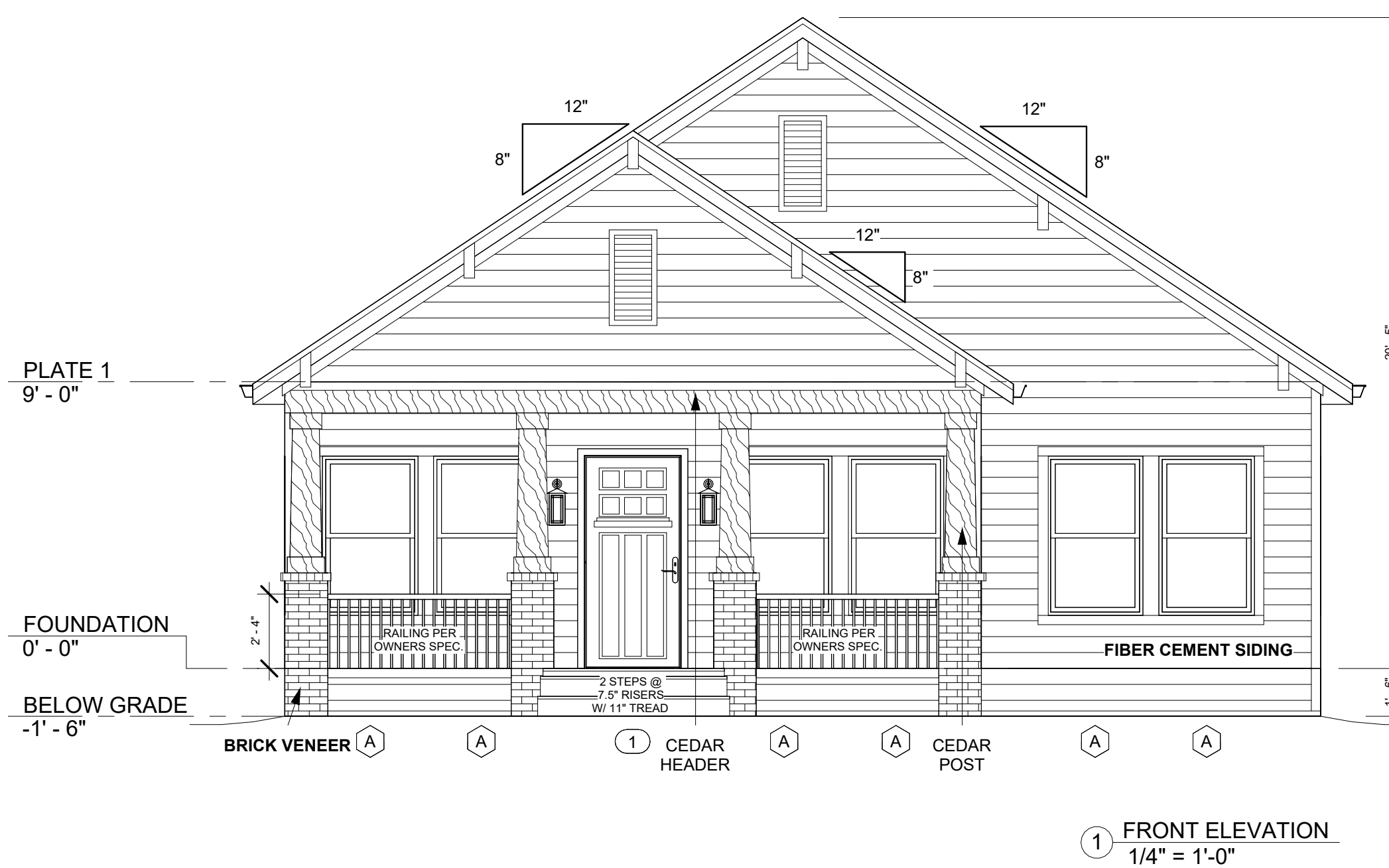
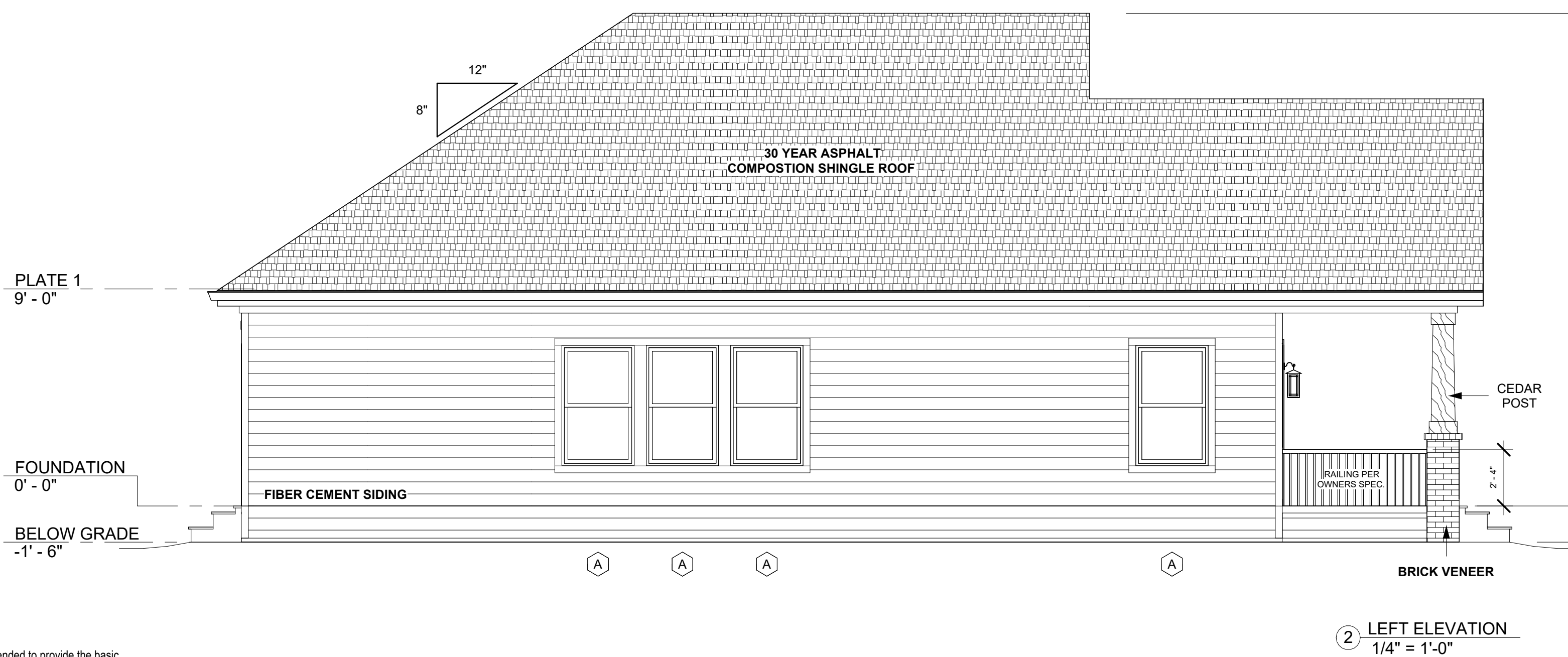
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**GENERAL ELEVATION NOTES:**

- 1) REFER TO DOOR AND WINDOW SCHEDULE ON SHEET A-101.



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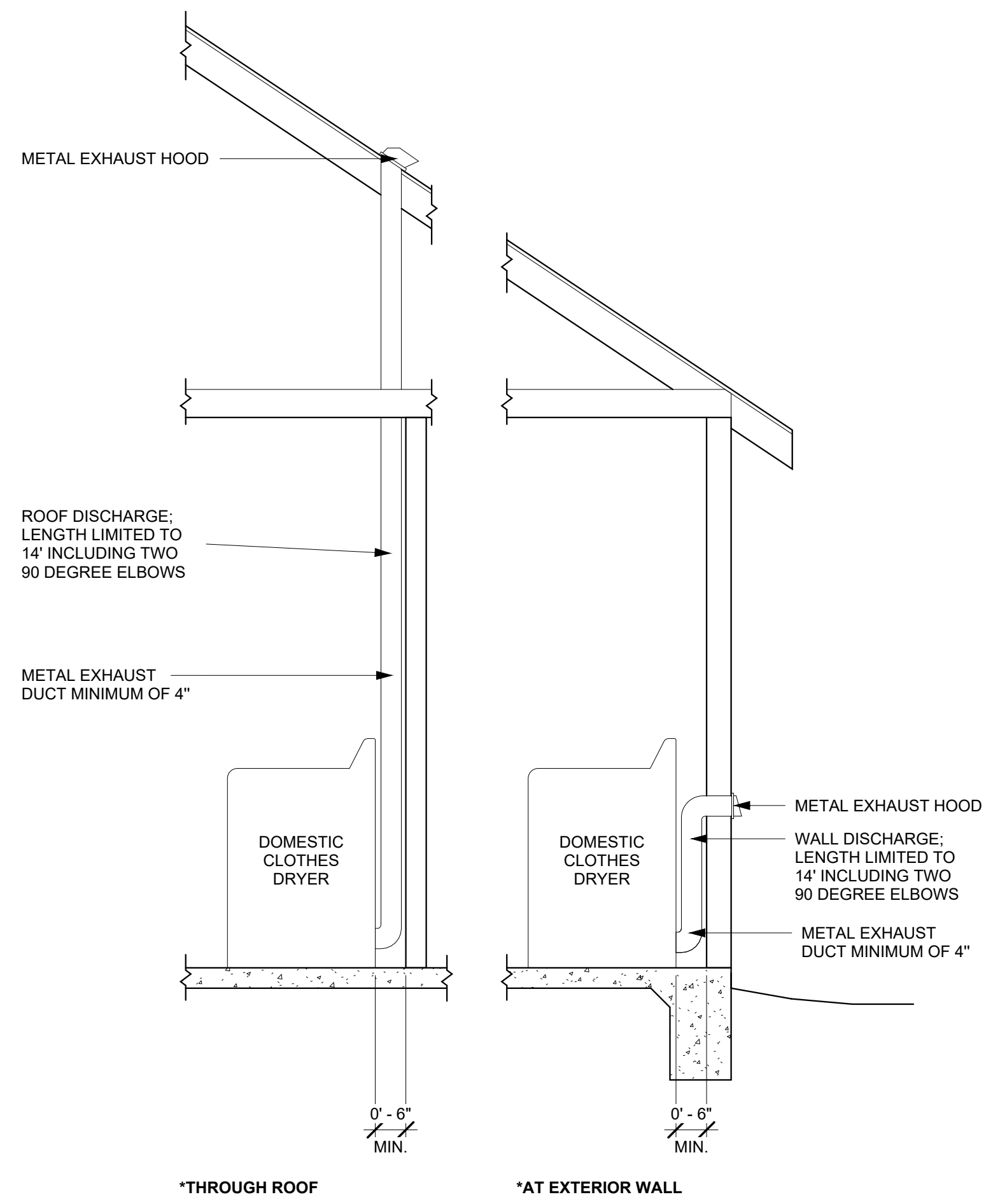
05/19/2026

Title  
ELEVATIONS

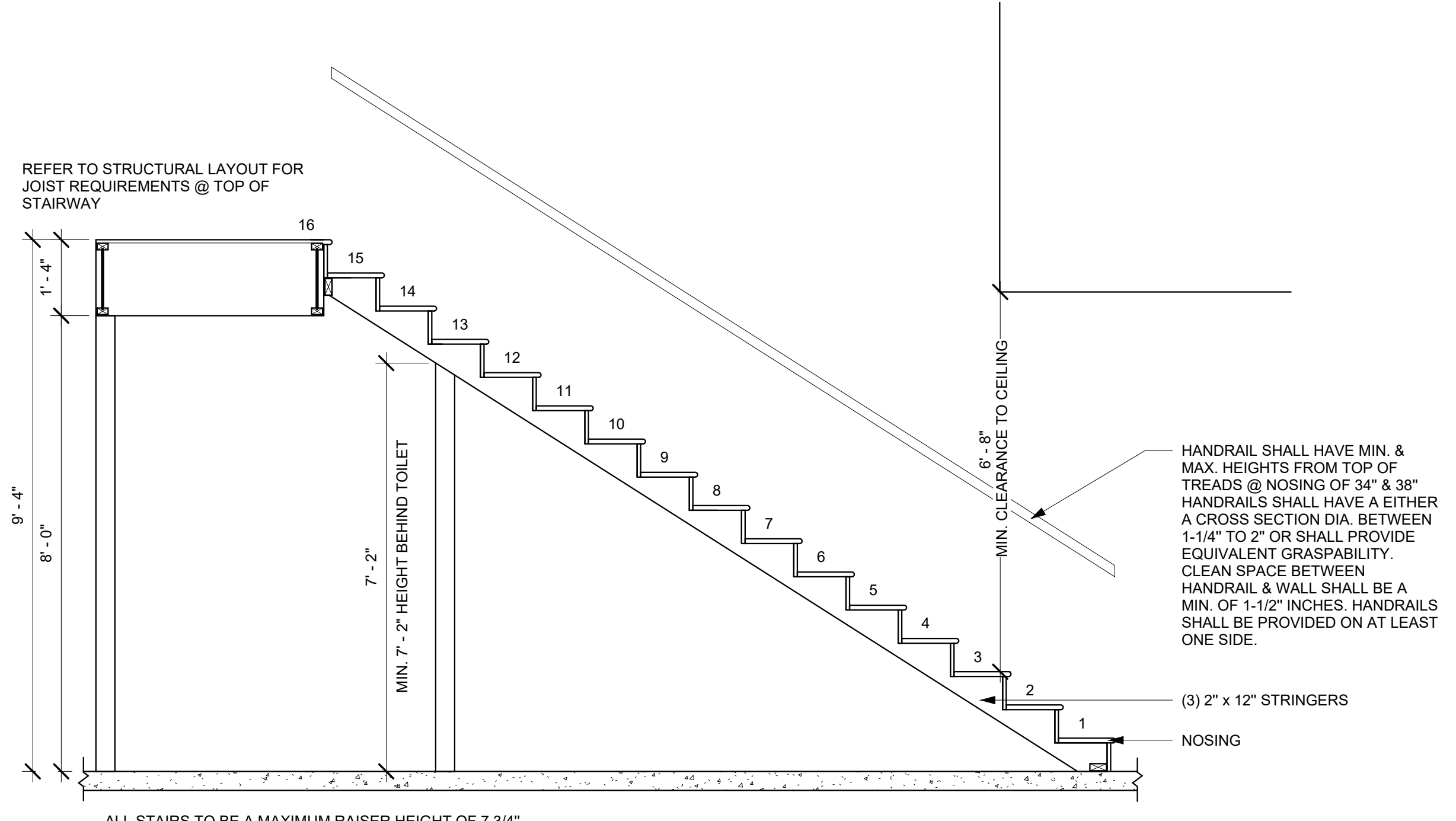
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A-301

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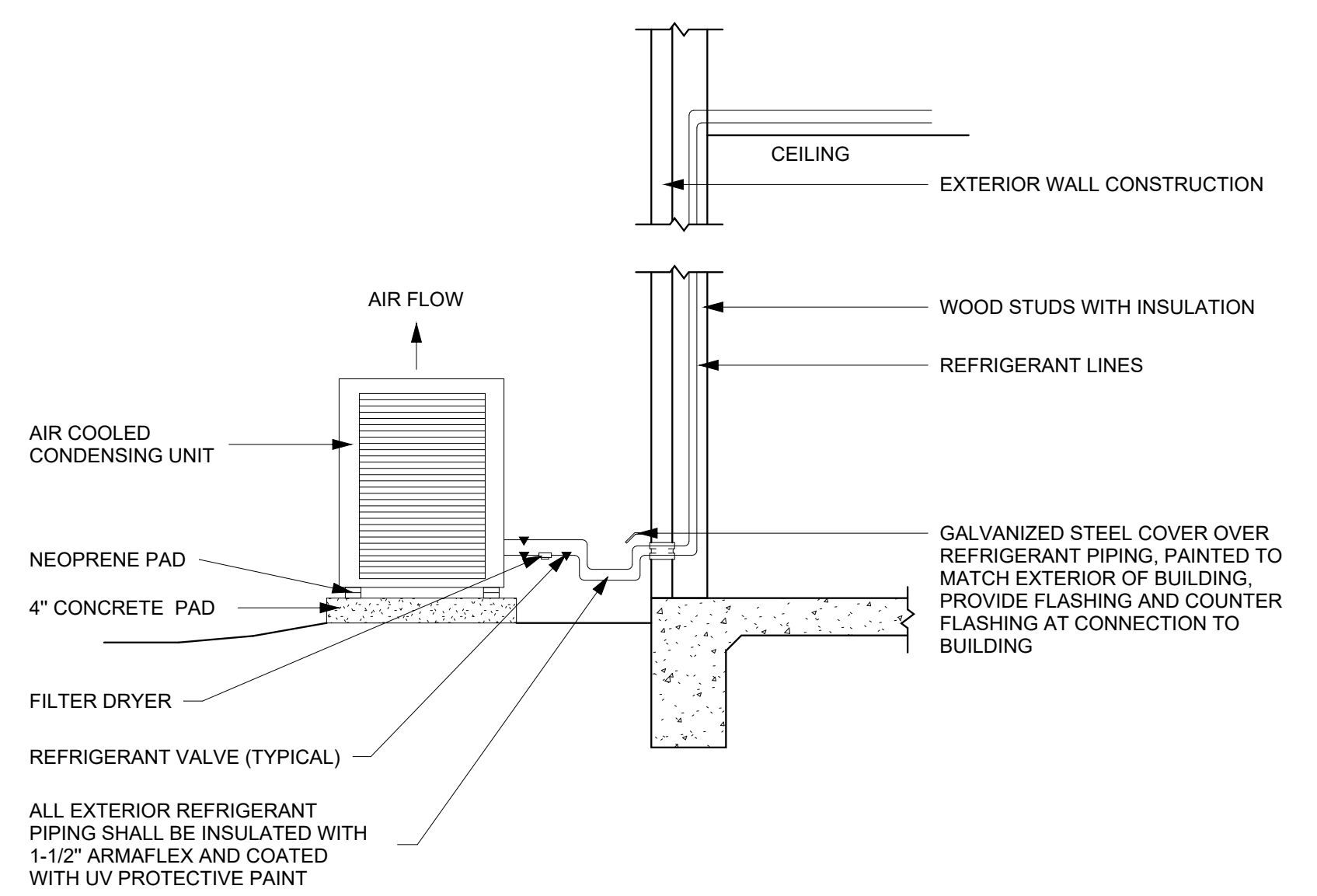
0 1/2" 1" 2"



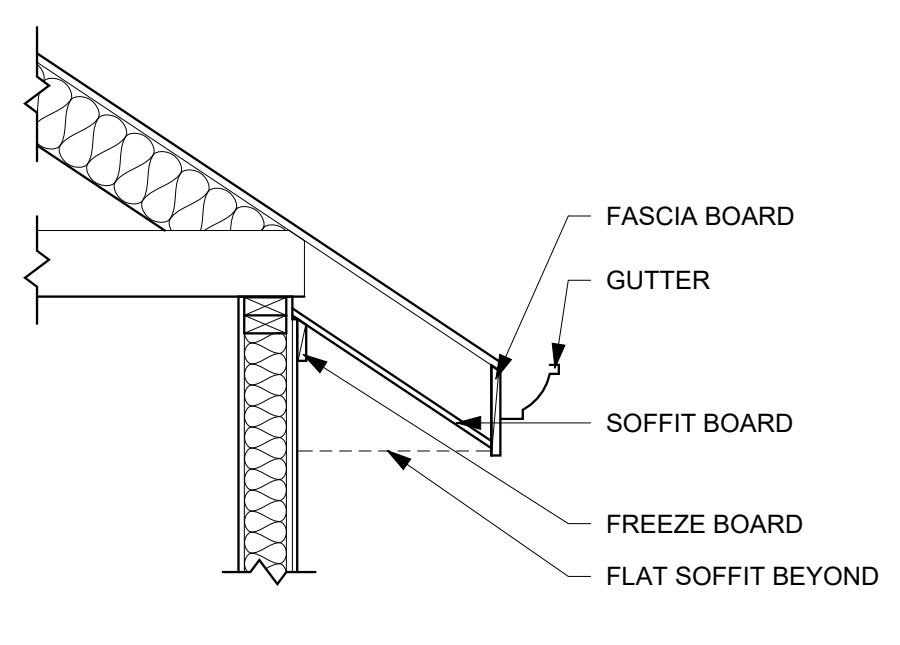
7 TYPICAL DRYER VENT DETAIL  
1/2" = 1'-0"



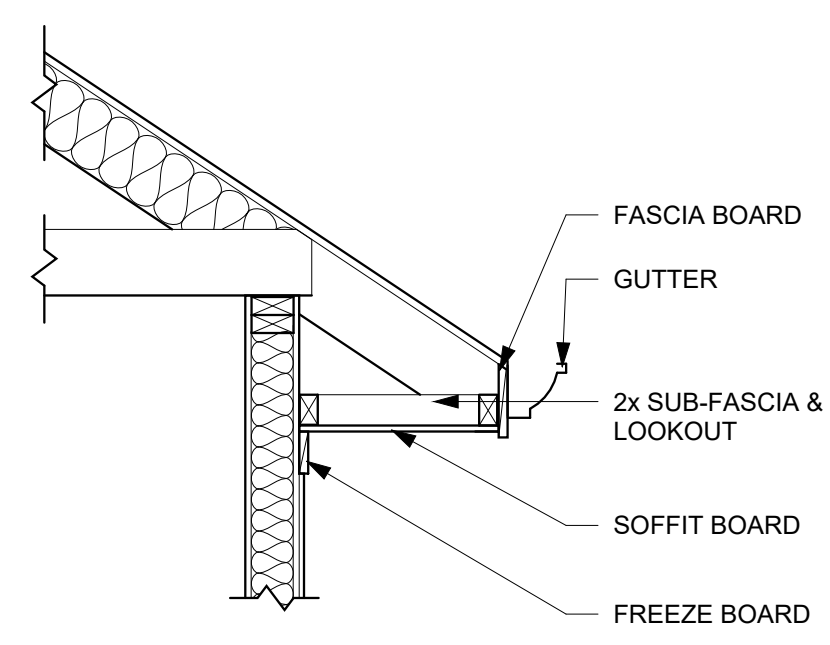
6 TYPICAL STAIRWAY DETAIL  
1/2" = 1'-0"



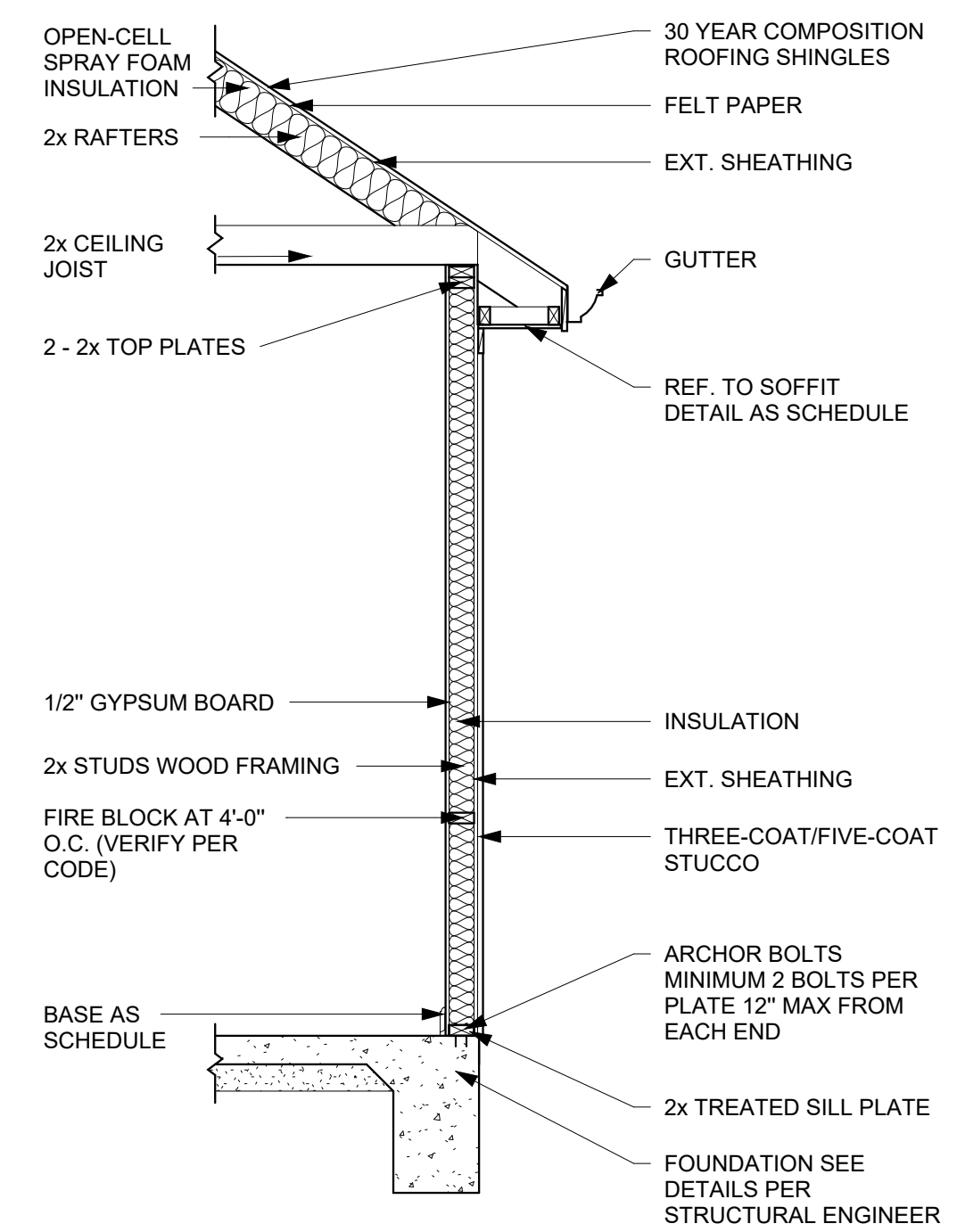
5 TYPICAL AIR COOLED CONDENSING UNIT DETAIL  
1/2" = 1'-0"



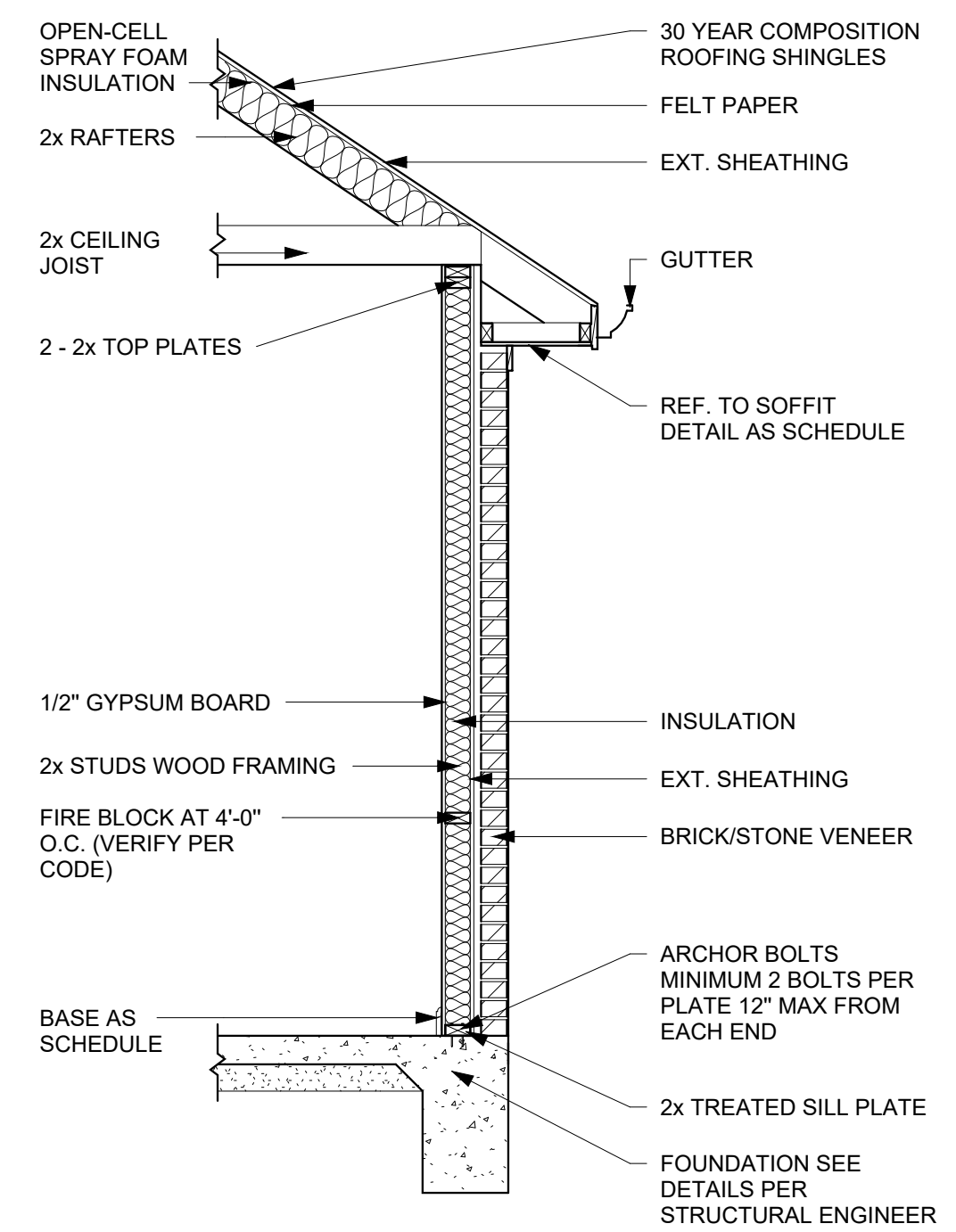
9 TYPICAL OPEN SOFFIT DETAIL  
3/4" = 1'-0"



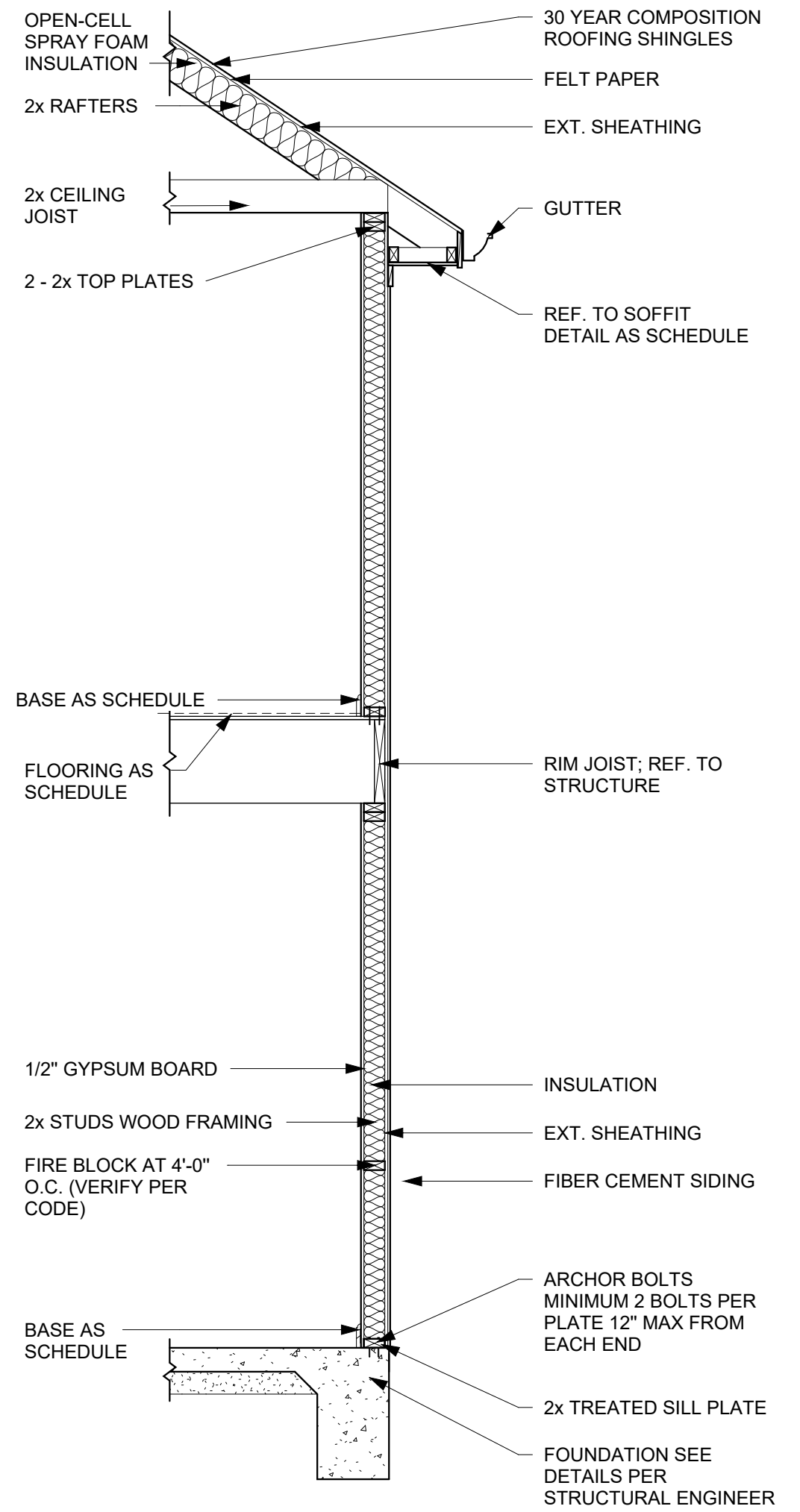
8 TYPICAL FLAT SOFFIT DETAIL  
3/4" = 1'-0"



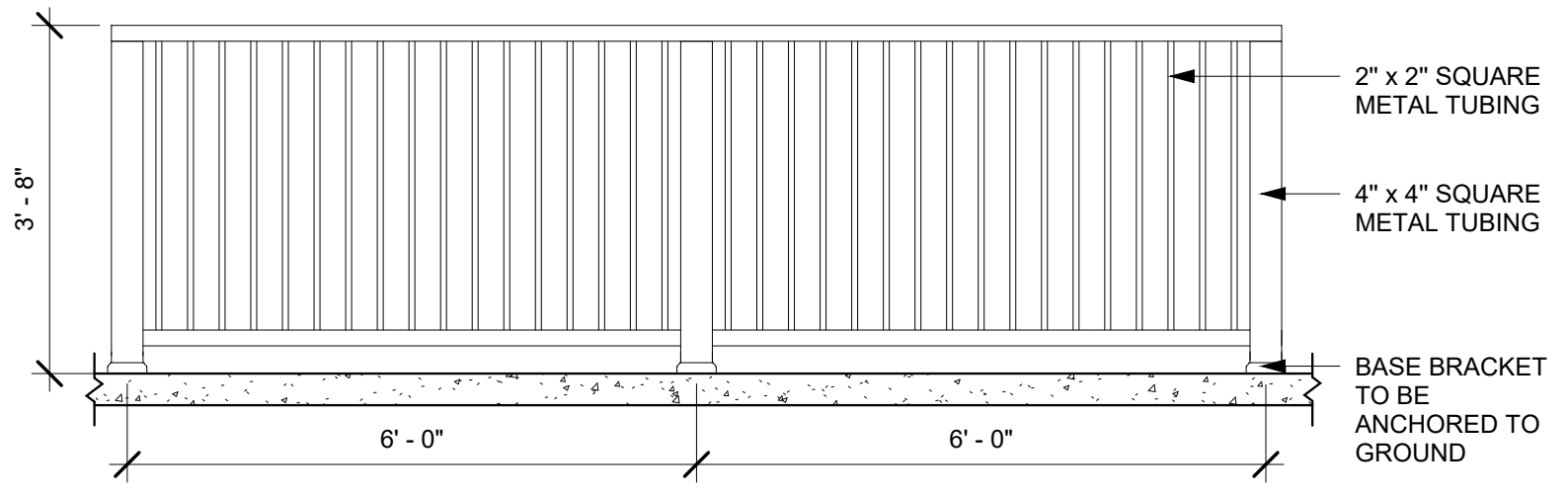
3 TYPICAL STUCCO WALL SECTION  
1/2" = 1'-0"



2 TYPICAL BRICK/STONE WALL SECTION  
1/2" = 1'-0"



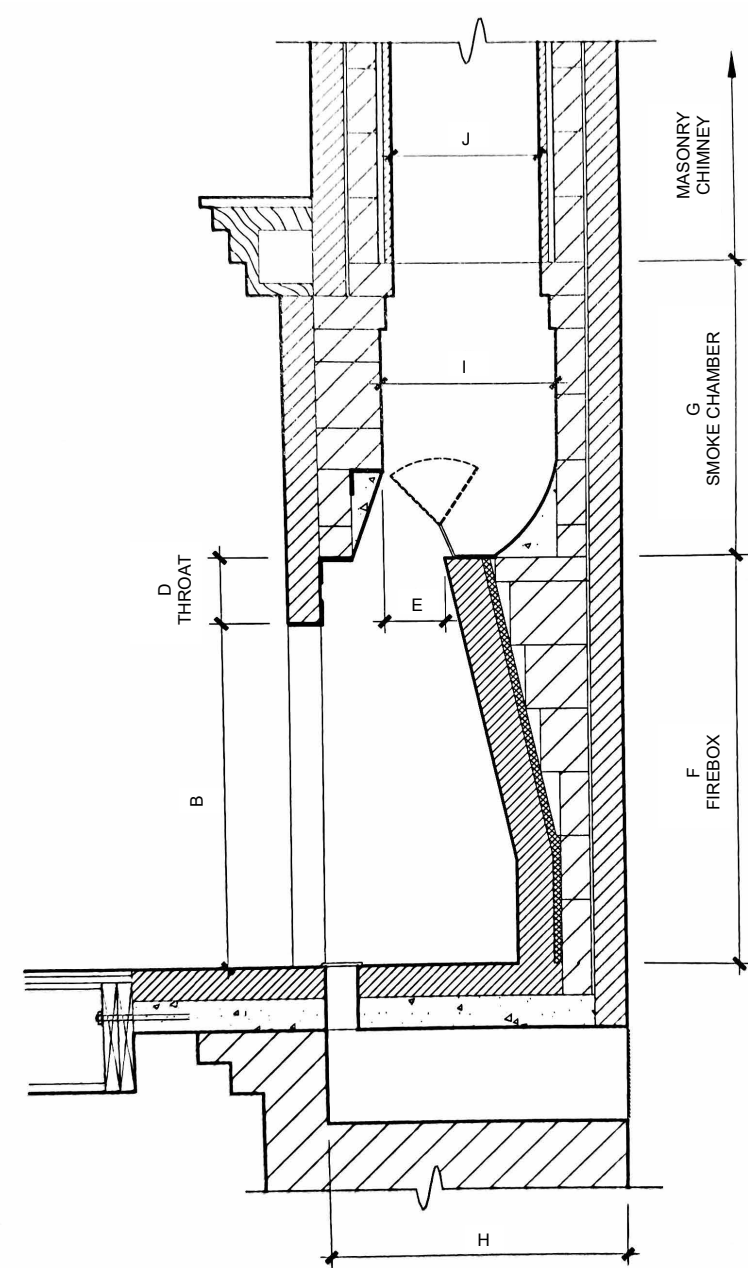
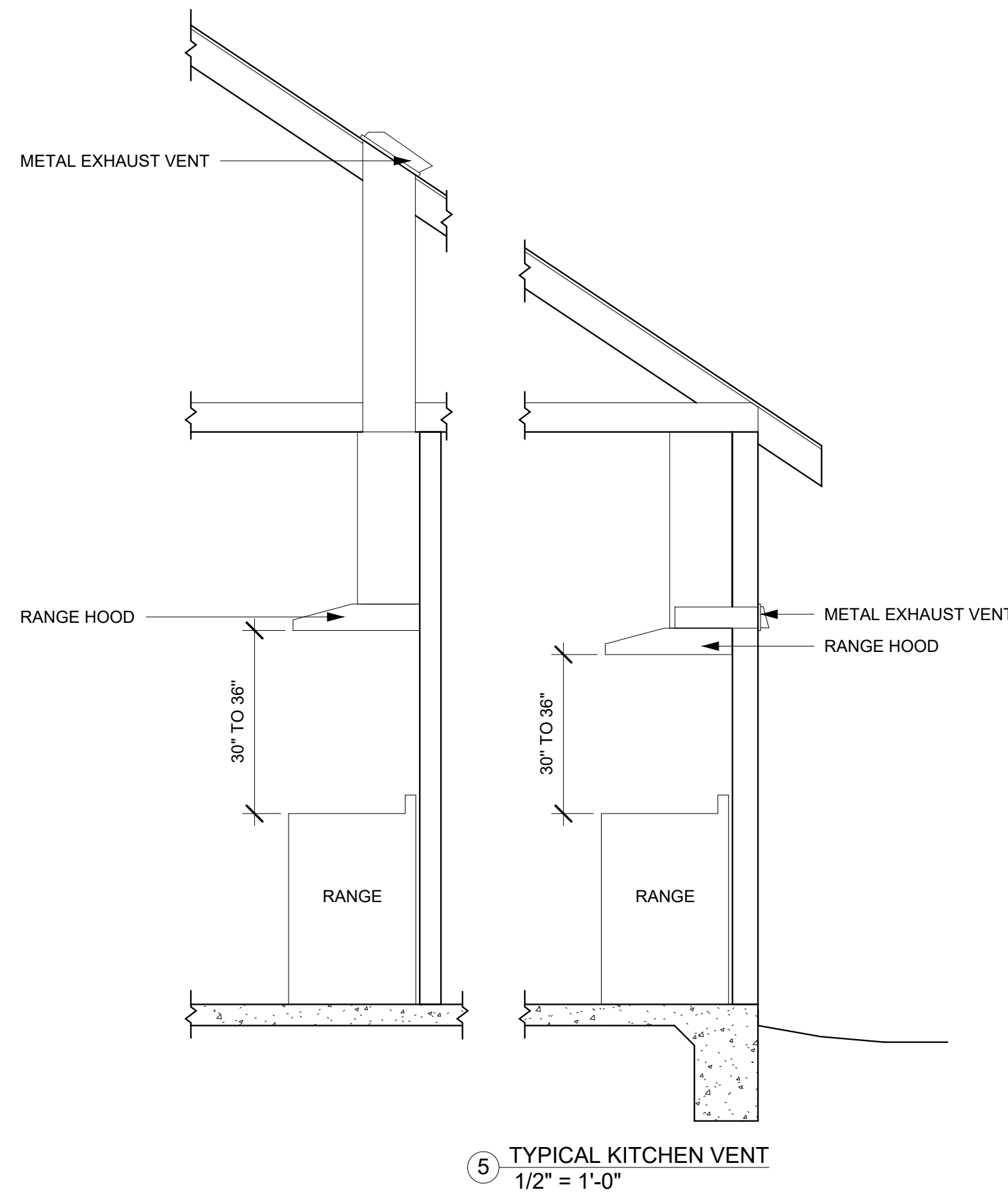
1 TYPICAL SIDING WALL SECTION  
1/2" = 1'-0"



4 TYPICAL RAILING DETAIL  
1/2" = 1'-0"

**GENERAL NOTES:**  
 1.) These plans are intended to provide the basic construction information necessary to substantially complete this structure. These plans must be verified and checked completely by the builder. Any discrepancy, error, and/or omission found is to be brought to the attention of the designer before any construction work or purchases have been made.  
 2.) These plans are designed to be in substantial compliance with current city adopted International Residential Code. The construction shall conform to all national, state, and local building codes and ordinances. These codes shall take precedence over anything noted in these drawings.  
 3.) Contractor must verify all dimensions and scale drawings.





RIGID COAXIAL DIRECT VENT

FIRE-RESISTANCE RATED DIRECT VENT APPLIANCE

COMBUSTION AIR FROM OUTSIDE

APPROVED CAP

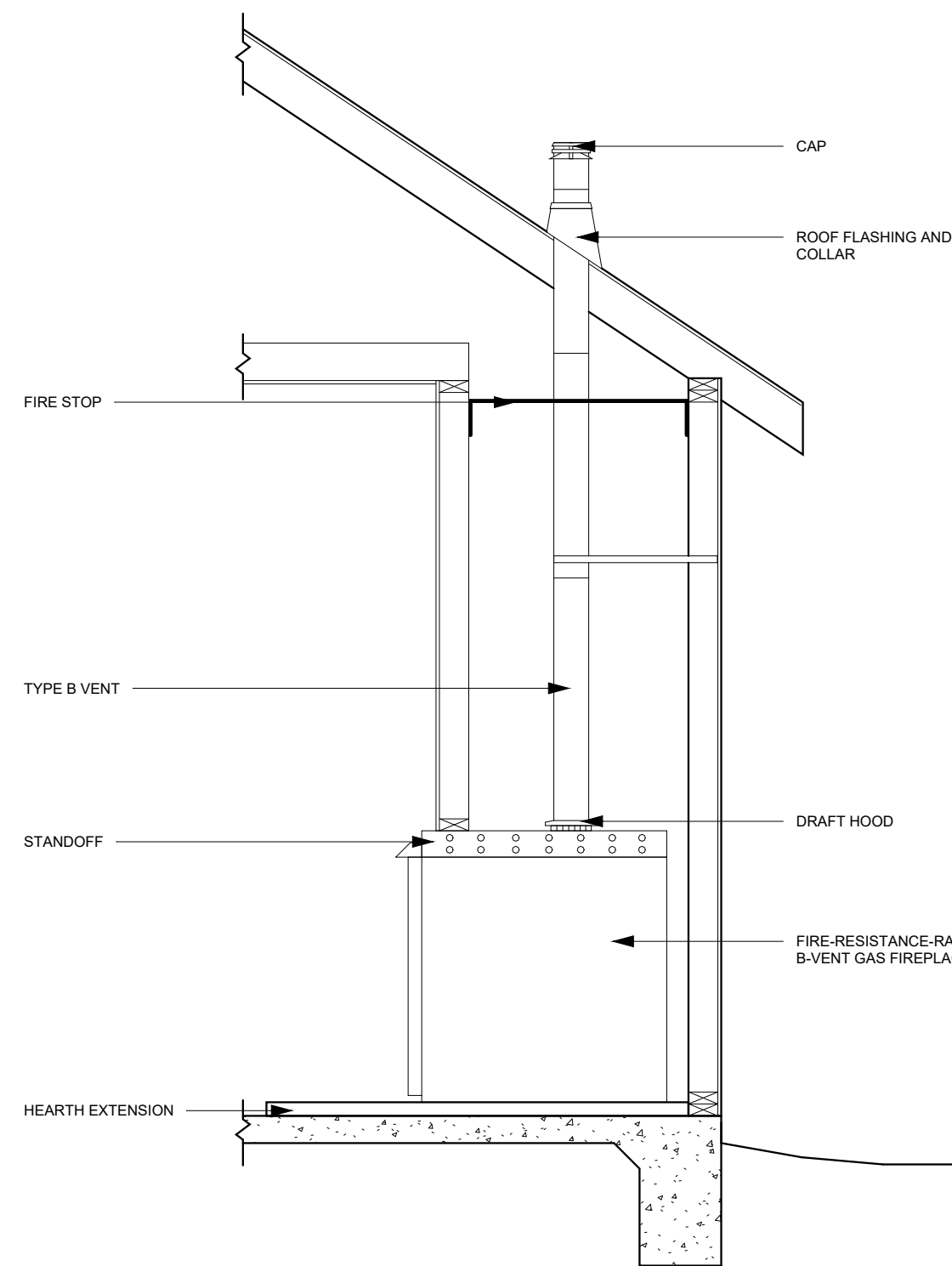
COMBUSTION PRODUCTS VENTED TO OUTSIDE

**SOLID-FUEL APPLIANCES**

Unlisted appliances should be installed according to the provisions of NFPA 211. Acceptable floor protection materials and minimum size for these stoves are generally specified by the manufacturer; if they are not follow NFPA 211 or local code requirements.

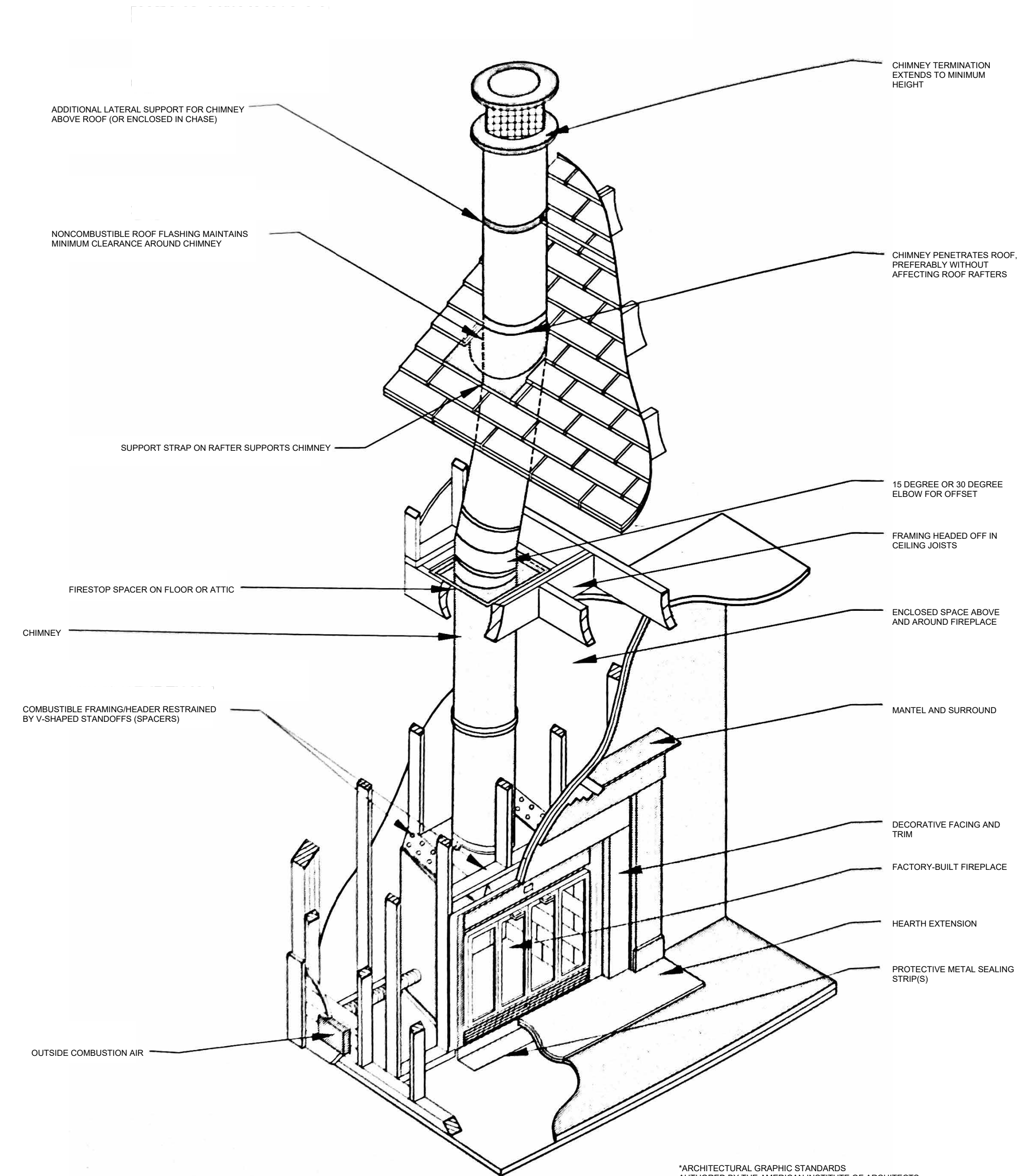
\*ARCHITECTURAL GRAPHIC STANDARDS AUTHORED BY THE AMERICAN INSTITUTE OF ARCHITECTS TWELFTH EDITION

3 TYPICAL GAS FIREPLACE HORIZONTAL  
1/2" = 1'-0"



\*ARCHITECTURAL GRAPHIC STANDARDS AUTHORED BY THE AMERICAN INSTITUTE OF ARCHITECTS TWELFTH EDITION

2 TYPICAL GAS VERTICAL FIREPLACE  
1/2" = 1'-0"



\*ARCHITECTURAL GRAPHIC STANDARDS AUTHORED BY THE AMERICAN INSTITUTE OF ARCHITECTS TWELFTH EDITION

1 TYPICAL WOOD FIREPLACE  
1/2" = 1'-0"

**GENERAL NOTES:**  
1.) These plans are intended to provide the basic construction information necessary to substantially complete this structure. These plans must be verified and checked completely by the builder. Any discrepancy, error, and/or omission found is to be brought to the attention of the designer before any construction work or purchases have been made.  
2.) These plans are designed to be in substantial compliance with current city adopted International Residential Code. The construction shall conform to all national, state, and local building codes and ordinances. These codes shall take precedence over anything noted in these drawings.  
3.) Contractor must verify all dimensions and scale drawings.

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4 TYPICAL MASONRY FIREPLACE SECTION  
1/2" = 1'-0"

Ogbeide

3406 Jeffries Street  
English Place Addition  
Block E/1968, Lot 2  
Dallas, TX 75215

ISSUE FOR PERMIT  
May 19, 2026



05/19/2026

Title  
TYPICAL DETAILS

Sheet  
A-402

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