

**LANDMARK COMMISSION****JULY 6, 2026**

FILE NUMBER: COA-26-000335  
LOCATION: 3406 Jeffries St.  
STRUCTURE: Non-Contributing  
COUNCIL DISTRICT: 7  
ZONING: PD-595

PLANNER: Rhonda Dunn, Ph.D.  
DATE FILED: June 18, 2026  
DISTRICT: Wheatley Place (H/100)  
MAPSCO: 46-T  
CENSUS TRACT: 0203.00

**APPLICANT:** Franchesca Jennings

**REPRESENTATIVE:** N/A

**OWNER:** GLENBRIDGE HOMES LLC

**REQUEST**

A Certificate of Appropriateness to construct a new main residential building on a vacant interior lot.

**STAFF RECOMMENDATION:**

That the request for a Certificate of Appropriateness to construct a new main residential building on a vacant interior lot be approved in accordance with drawings and specifications dated 06/18/2026 with the following conditions: that exterior siding be all wood horizontal lap-siding millwork pattern #105; that roof eaves be extended to a minimum of 18 inches with exposed rafter tails; that front porch column bottoms be unpainted modular sized brick; that the foundation be pier and beam or crawlspace with a minimum height of eighteen inches; that windows be all-aluminum (not aluminum cladding) with lite configuration of one over one (1 over 1); and that driveway(s), walkway(s) and steps be of brush finished concrete; and that all revisions be noted on drawings and approved by staff. Implementation of the recommended conditions would allow the proposed work to be consistent with preservation criteria Section 3.3 under Building Site and Landscaping, and Sections 9.3, 9.6, and 9.7 under New Construction and Additions; the standards in City Code Section 51A-4.501(g)(6)(C)(ii) for noncontributing structures; and the Secretary of the Interior's Guidelines for Setting (District/Neighborhood).

## **TASK FORCE RECOMMENDATION:**

That the request for a Certificate of Appropriateness to construct a new main residential building on a vacant interior lot be approved with the following condition(s)/comment(s): extend the principal roof to the front exterior wall.

Note: The applicant has made revisions to comply with task force recommendation(s).

## **BACKGROUND / HISTORY:**

3406 Jefferies Street is located within the Wheatley Place Historic District (H/100), a historically African American residential neighborhood characterized by modest 1930s–1940s Craftsman bungalows. These homes typically exhibit side-gabled or front-gabled roofs, deep eaves with exposed rafter tails, louvered gable vents, front porches with tapered wood columns on brick bases, wood siding, and simple one-over-one or multi-light windows. The district's development pattern is defined by small-scale, single-story dwellings, narrow lot widths, regular setbacks, porch-forward massing, and a consistent rhythm of cottage-sized structures.

The subject lot at 3406 Jefferies is presently vacant and therefore classified as non-contributing to the district's historic inventory. The attached survey confirms the lot dimensions and its placement within the interior block of Jefferies Street. The absence of a historic structure does not exempt the property from the standards of the Wheatley Place ordinance (Ordinance No. 24432), which applies to all new construction, including infill development.

The applicant presented preliminary conceptual drawings at the June 1, 2026, Landmark Commission meeting for Courtesy Review. During that review, the Commission and Task Force members responded favorably to the overall design concept; the only feedback provided was that the applicant should move the principal roof form forward so that the main roof aligns with, or more closely relates to, the front exterior wall, to ensure compatibility with the historic porch-forward bungalow massing found throughout Wheatley Place. The revised June 10, 2026, drawings submitted for this COA application incorporate this modification.

Because 3406 Jefferies is new construction within a historic district, it is subject to the same preservation criteria as all new infill within Wheatley Place, including—but not limited to—requirements for:

- appropriate roof form and eave depth
- appropriate front porch configuration (Sec. 9.3)
- compatible scale, massing, detailing, materials, colors, and fenestration (Sec. 9.6, 9.7)
- prohibition of incompatible siding materials (Sec. 9.9)
- accessory structure, if present, meeting Sec. 10 requirements

The present application is the applicant's first formal COA submission for new construction at this site.

## **RELEVANT PRESERVATION CRITERIA:**

### **Wheatley Place Historic District (H-100), Ordinance No.: 24432**

#### **SEC. 9. NEW CONSTRUCTION AND ADDITIONS**

9.2 The elevation of a lot to be used for construction of a new main structure must match the elevation of other lots on the block.

9.3 Construction of new main structures must include a front porch appropriate to the neighborhood.

9.7 New construction and additions must have appropriate color, detailing, fenestration, massing, materials, roof form, shape, and solids-to-voids ratios. New construction should be of the same predominant material. Details can be of other materials, except as otherwise noted.

9.9 Aluminum siding, stucco and vinyl cladding are not permitted.

#### **9.11 Front yard setback for construction of new main structures.**

(a) A main structure on an interior lot must have a front yard setback that is within ten feet of the average front yard setback of other structures in the blockface.

## **RELEVANT SECRETARY OF THE INTERIOR'S STANDARDS FOR THE TREATMENT OF HISTORIC PROPERTIES:**

### **Guidelines for Setting (District / Neighborhood)**

- ***Recommended:*** Identifying, retaining, and preserving building and landscape features that are important in defining the overall historic character of the setting. Such features can include circulation systems, such as roads and streets; furnishings and fixtures, such as light posts or benches; vegetation, gardens and yards; adjacent open space, such as fields, parks, commons, or woodlands; and important views or visual relationships.
- ***Not Recommended:*** Introducing a new building or landscape feature that is visually or otherwise incompatible with the setting's historic character (e.g., replacing low metal fencing with a high wood fence).

## RELEVANT DALLAS CITY CODE:

### Section 51A-4.501. Historic Overlay District

- (g) Certificate of Appropriateness.
  - (6) Standard certificate of appropriateness review procedure.
    - (C) Standard for approval. The landmark commission must grant the application if it determines that:
      - (ii) for noncontributing structures, the proposed work is compatible with the historic overlay district.

## PROJECT DESCRIPTION & ANALYSIS

The applicant proposes construction of a new one-story single-family residence on a vacant interior lot at 3406 Jeffries Street within the Wheatley Place Historic District. The survey confirms the lot dimensions and the required setbacks, including a 20-foot front setback and five-foot side setbacks on both east and west property lines<sup>1</sup>. The lot is currently undeveloped.

The proposed residence follows a rectangular footprint with a front-gabled roof clad in composition shingles. A full-width front porch faces Jeffries Street and includes cedar posts on masonry bases. Exterior materials include horizontal fiber-cement lap siding and 1-over-1 vinyl windows. A brush-finished concrete driveway and walkway connect to the public sidewalk. The plan provides approximately 1,553 square feet of interior space, including three bedrooms, two bathrooms, living and dining areas, and a small rear porch.

The district contains modest 1930s–1940s Craftsman bungalows characterized by porch-forward massing, deep roof eaves with exposed rafter tails, wood siding, and simple one-over-one windows. The proposed building generally reflects the district's low-scale form and massing. The applicant revised the roof design after courtesy review by extending the main roof forward so that it more closely aligns with the front wall plane, improving consistency with the neighborhood's porch-dominant streetscape profile.

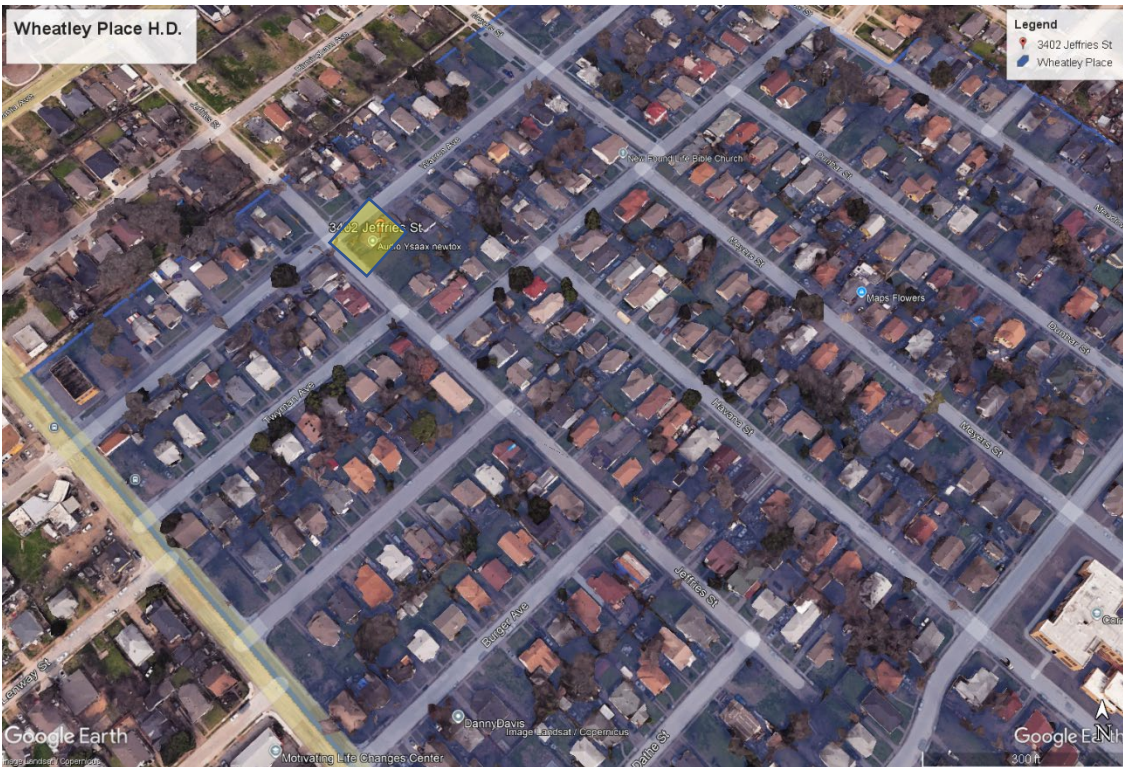
The project meets several base requirements in the Wheatley Place ordinance, including the provision of a front porch and the use of compatible driveway materials. The proposed front setback aligns with the established blockface pattern, and the one-story height is appropriate. The overall massing, roof form, and orientation are consistent with surrounding contributing structures.

Several elements, however, require modification to achieve compatibility with the district. The ordinance calls for maintaining the traditional elevated appearance found throughout Wheatley Place, and staff recommends a pier-and-beam or crawlspace foundation raised at least eighteen inches to reflect that condition<sup>2</sup>. Historic structures in the district display deep eaves with exposed rafter tails, and increasing the eave depth to at least eighteen inches would improve alignment with district patterns. Porch column bases in Wheatley Place are typically unpainted modular brick; staff recommends this revision to align with the ordinance's detailing guidance.

The ordinance identifies wood siding as the predominant material in the district. Staff recommends using wood horizontal lap siding with pattern #105 to maintain this character. The proposed vinyl windows are not consistent with first-generation district construction or ordinance guidance, which recommends aluminum windows with a one-over-one configuration. Revising the window materials would bring the design into alignment with both the district's architectural vocabulary and the ordinance criteria for new construction.

The Secretary of the Interior's Guidelines for Setting encourage compatibility in massing, form, and visual relationships. The proposed residence maintains the small-scale residential character of the street and reinforces the established rhythm of front porches and consistent setbacks. With the recommended modifications to materials, foundation height, roof eaves, porch detailing, and window type, the project would be compatible with the Wheatley Place Historic District and consistent with the standards for the treatment of historic settings as referenced in the staff report

**SITE MAP**  
**3406 Jeffries St.**



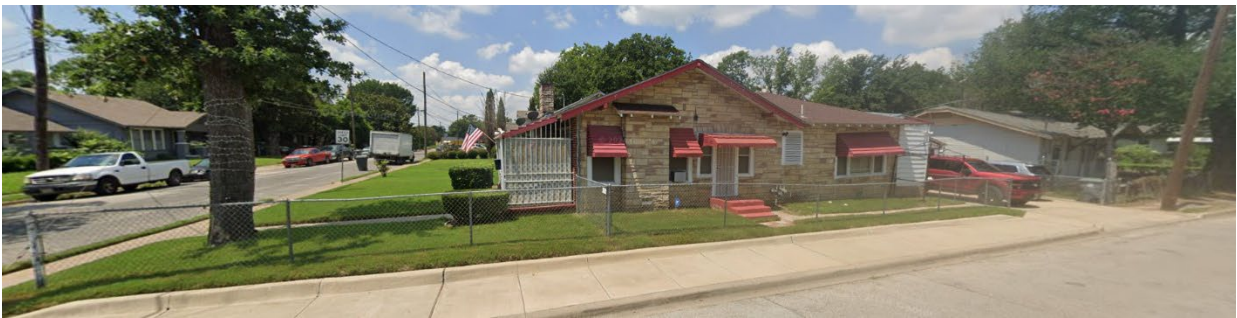
**The yellow rectangle highlights 3406 Jeffries St. The blue shading indicates Wheatley Place Historic District coverage. Basemap Source: Google Earth**

## CURRENT & CONTEXT PHOTOS

3406 Jeffries St.



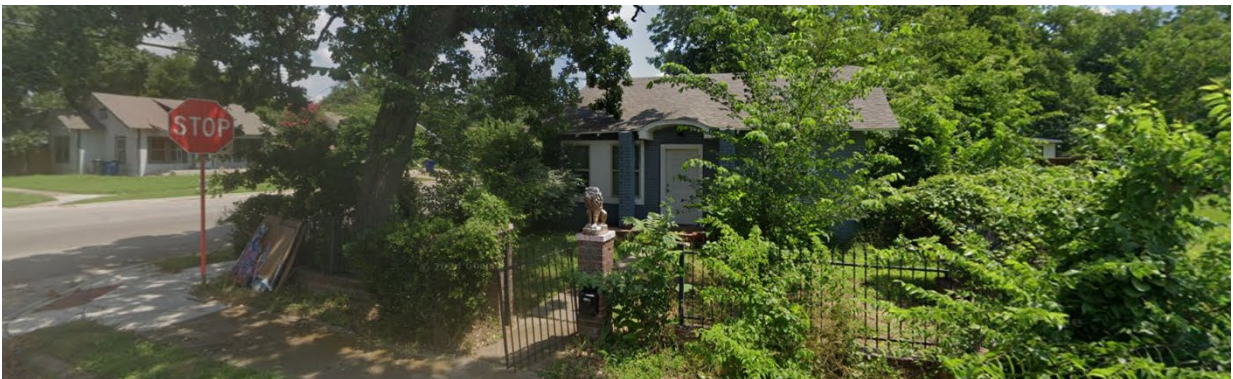
Subject property: front, southwest elevation. *Source: Google Maps, Street View.*



Across the street from the subject property facing southwest. *Source: Google Maps, Street View.*



East of subject property, same blockface. *Source: Google Maps, Street View.*



West of subject property. *Source: Google Maps, Street View.*

**ATTACHMENTS:**

- **Task Force Recommendation Form**
- **Certificate of Appropriateness Application**

**TASK FORCE RECOMMENDATION REPORT**  
**WHEATLEY PLACE / TENTH STREET / QUEEN CITY**

DATE: 06/09/2026

TIME: **4:00 pm**

MEETING PLACE: **Preservation Dallas/Videoconference**

Applicant Name:

Address: 3406 Jeffries St.  
HD / Queen City)

(Wheatley Place/ Tenth St Neighborhood

Date of CA/CD/CR Request: 05/25/2026 (Application Due Date)

**RECOMMENDATION:**

Approve  Approve with conditions  Deny  Deny without prejudice

Recommendation / comments / basis:

Extend the principal roof to the front exterior wall

Task force members present

Barbara Wheeler (Chair)  Alonzo Harris  Benje Feehan  
 Larry Johnson (Vice Chair)  Shaní Dixon  
Jarod Fancher  
 VACANT  VACANT

Ex Officio staff members Present:  Dr. Rhonda Dunn

Simple Majority Quorum:  yes  no

Maker: Larry Johnson

2<sup>nd</sup>: Barbara Wheeler

Task Force members in favor: all

Task Force members opposed: none

Basis for opposition:

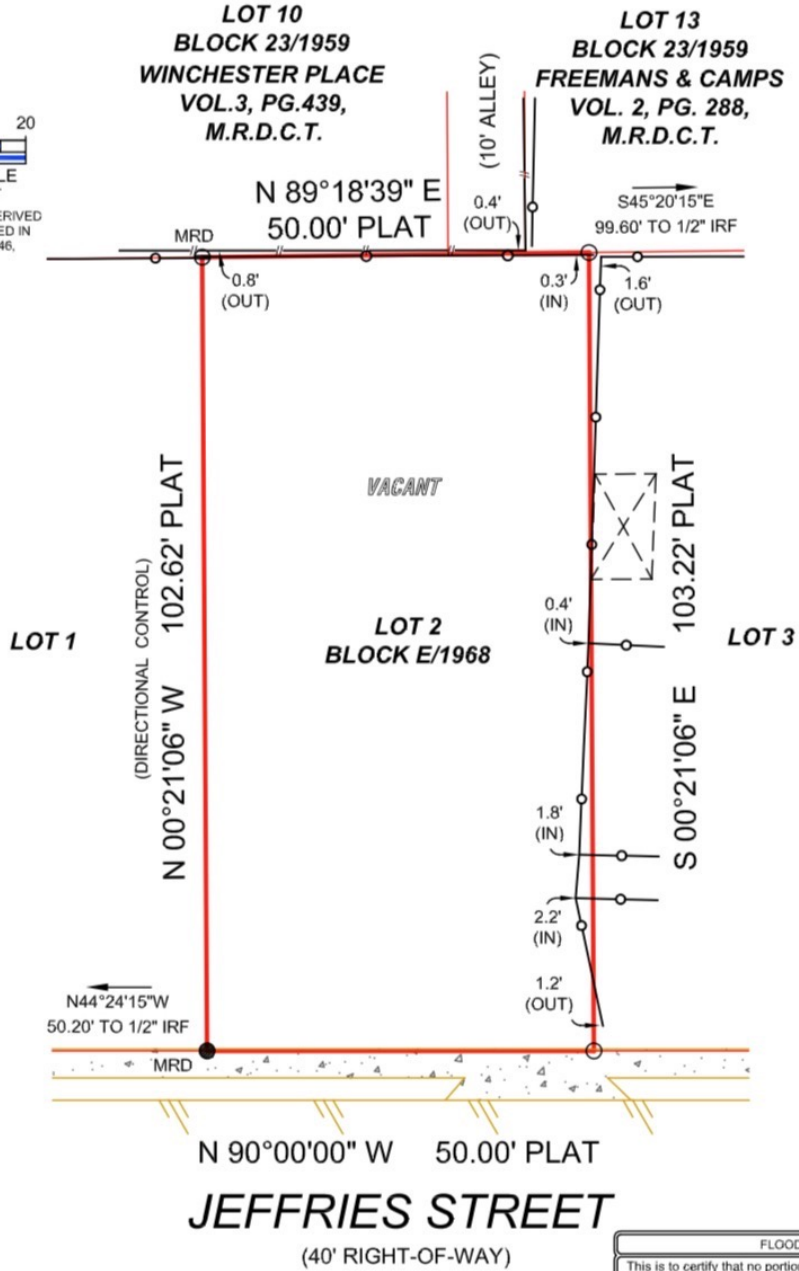
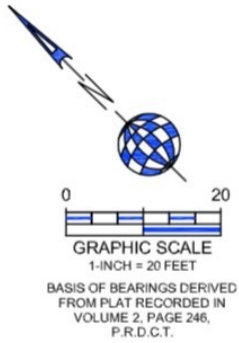
CHAIR, Task Force:

DATE: 06/09/2026

The task force recommendation will be reviewed by the landmark commission in Briefing Room 6ES, starting with a Staff briefing. The Landmark Commission public hearing begins at 1:00 pm in Room 6ES, which allows the applicant and citizens the opportunity to provide public comment(s).

# SURVEY PLAT: 3406 JEFFRIES STREET

Lot 2, Block E/1968, ENGLISH PLACE ADDITION, an Addition to the City of Dallas, Dallas County, Texas, according to the Map or Plat thereof, recorded in Volume 2, Page 246, Plat Records, Dallas County, Texas.



NOTE: All 1/2 IRF are 1/2-inch iron rods with yellow plastic caps stamped "RPLS 5310".  
MRD = Monument of Record Dignity

**FLOOD ZONE**

This is to certify that no portion of the subject property shown hereon lies within the 100 Year Flood Hazard Area as shown on the Flood Insurance Rate Map, Community Panel No. 48113C 0345J, dated 08-23-2001. The property is located in Zone "X".

## LEGEND

● 1/2" IR FOUND	⊙ X-FOUND	☒ TELE. BOX	⊕ UTILITY POLE	—OHU— OVERHEAD UTILITY LINE	▬ BRICK RET. WALL	▨ CONCRETE
○ 1/2" IR SET	⊗ X-SET	☑ CABLE BOX	⊖ WATER METER	—GUY WIRE ANCHOR	▬ STONE RET. WALL	▨ GRAVEL
⊙ 5/8" IR FOUND	⊕ SAN. SEW. MH.	⊗ ELECTRIC BOX	⊕ GAS METER	—X— BARBED WIRE FENCE	▬ BUILDING LINE	▨ BRICK
⊙ 3/8" IR FOUND	⊕ IRRIGATION VALVE	⊕ BRICK COLUMN	⊕ A.C. PAD	—□— IRON FENCE	▬ EASEMENT	▨ STONE
⊙ 60-D NAIL FOUND	⊕ WATER VALVE	⊕ STONE COLUMN	⊕ TRANS. BOX	—○— CHAINLINK FENCE	▬ BOUNDARY	▨ WOOD DECK
⊙ PK NAIL SET	⊕ FIRE HYDRANT	⊕ STORM DRAIN MH.	⊕ POOL EQUIP.	—//— WOOD FENCE	▬ HIGH BANK LINE	▨ BUILDING WALL
⊙ 1/2" IP FOUND	⊕ LIGHT POLE	⊕ SAN. SEW. CO.		▬ ASPHALT	▬ COVERED AREA	▨ TILE

I, John S. Turner, Registered Professional Land Surveyor of the State of Texas, do certify that this Survey Plat is a true, correct and accurate representation of the property shown hereon as determined by survey on the ground under my supervision. The lines and dimensions of said property being indicated by the plat. The improvements are within the boundaries of the property lines at the distances indicated and there are no visible and apparent easements, encroachments, conflicts or protrusions, except as shown. This survey meets or exceeds the minimum standards required by the Texas Board of Professional Land Surveying.

This survey was performed exclusively for the parties in connection with the G. F. Number shown hereon and is licensed for a single use. This survey remains the property of the Surveyor. Unauthorized reuse is not permitted without the expressed written permission of the Surveyor. This survey is an original work protected by United States Copyright law and international treaties. All rights reserved. Do not make illegal copies.

*John S. Turner*  
JOHN S. TURNER RPLS 5310

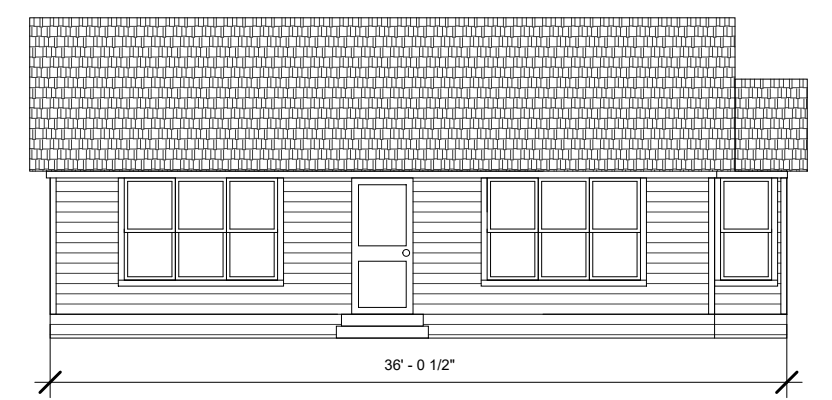
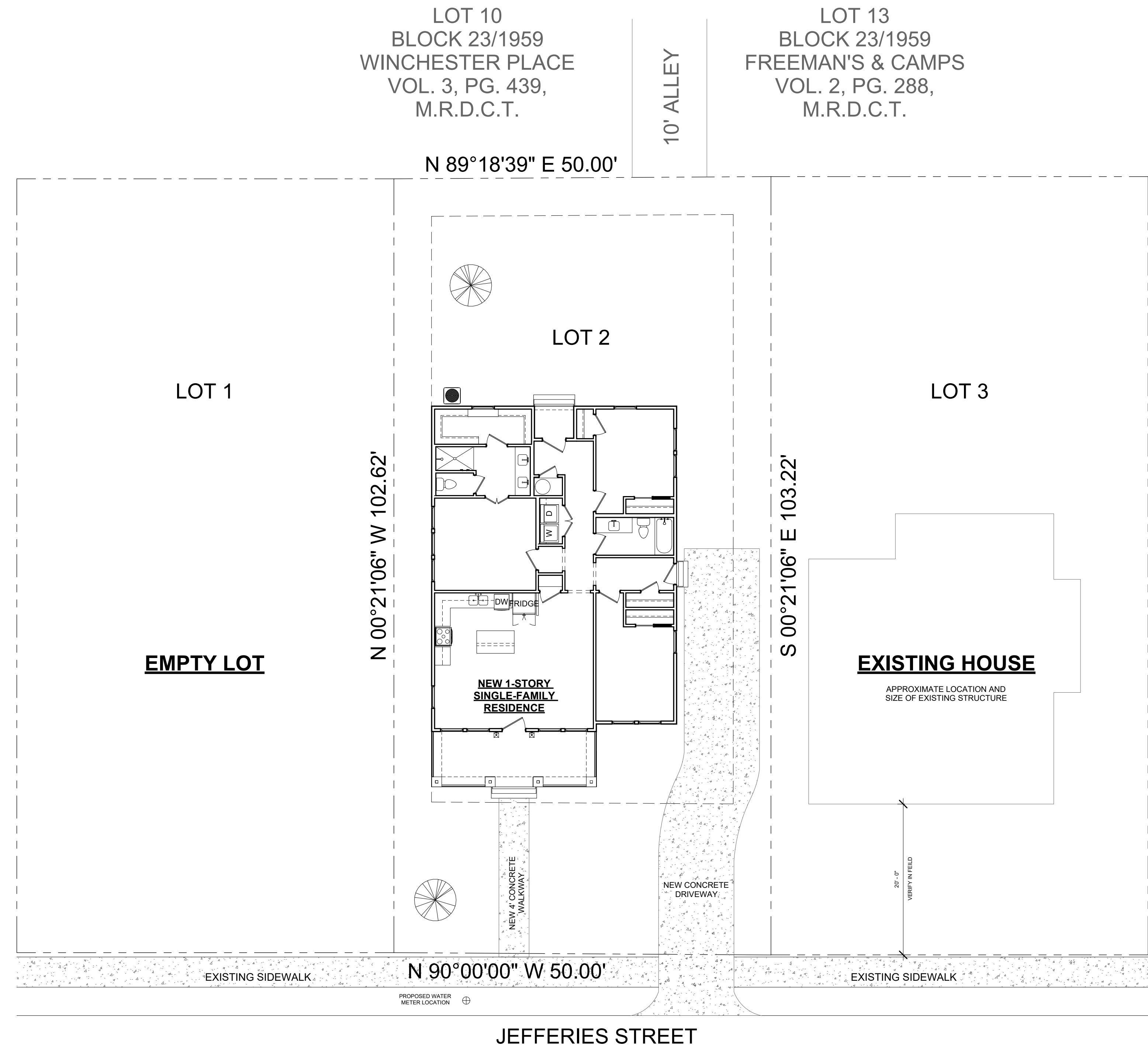
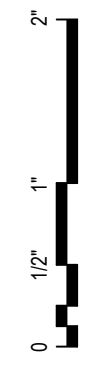


**A&W SURVEYORS, INC.**  
*Professional Land Surveyors*

TEXAS REGISTRATION NO. 100174-00  
P.O. BOX 870029, MESQUITE, TX. 75187  
PHONE: (972) 681-4975 FAX: (972) 681-4954  
WWW.AWSURVEY.COM

JOB NO: 20-2429 TITLE CO: INDEPENDENCE TITLE  
DATE: 11-25-2020 G.F. NO: 2064865-MEDA  
DRAWN BY: 600 CERTIFY TO: BLUE OCEAN INVESTMENTS LLC.

*"A professional company operating in your best interest"*



**GENERAL NOTES:**  
 1) These plans are intended to provide the basic construction information necessary to substantially complete this structure. These plans must be verified and checked completely by the builder. Any discrepancy, error, and/or omission found is to be brought to the attention of the designer before any construction work or purchases have been made.  
 2) These plans are designed to be in substantial compliance with current city adopted International Residential Code. The construction shall conform to all national, state, and local building codes and ordinances. These codes shall take precedence over anything noted in these drawings.  
 3) Contractor must verify all dimensions and scale drawings.

1 CONTEXTUAL SITE PLAN  
 1/8" = 1'-0"



Ogbeide

3406 Jeffries Street  
 English Place Addition  
 Block E/1968, Lot 2  
 Dallas, TX 75215

ISSUE FOR PERMIT  
 June 10, 2026

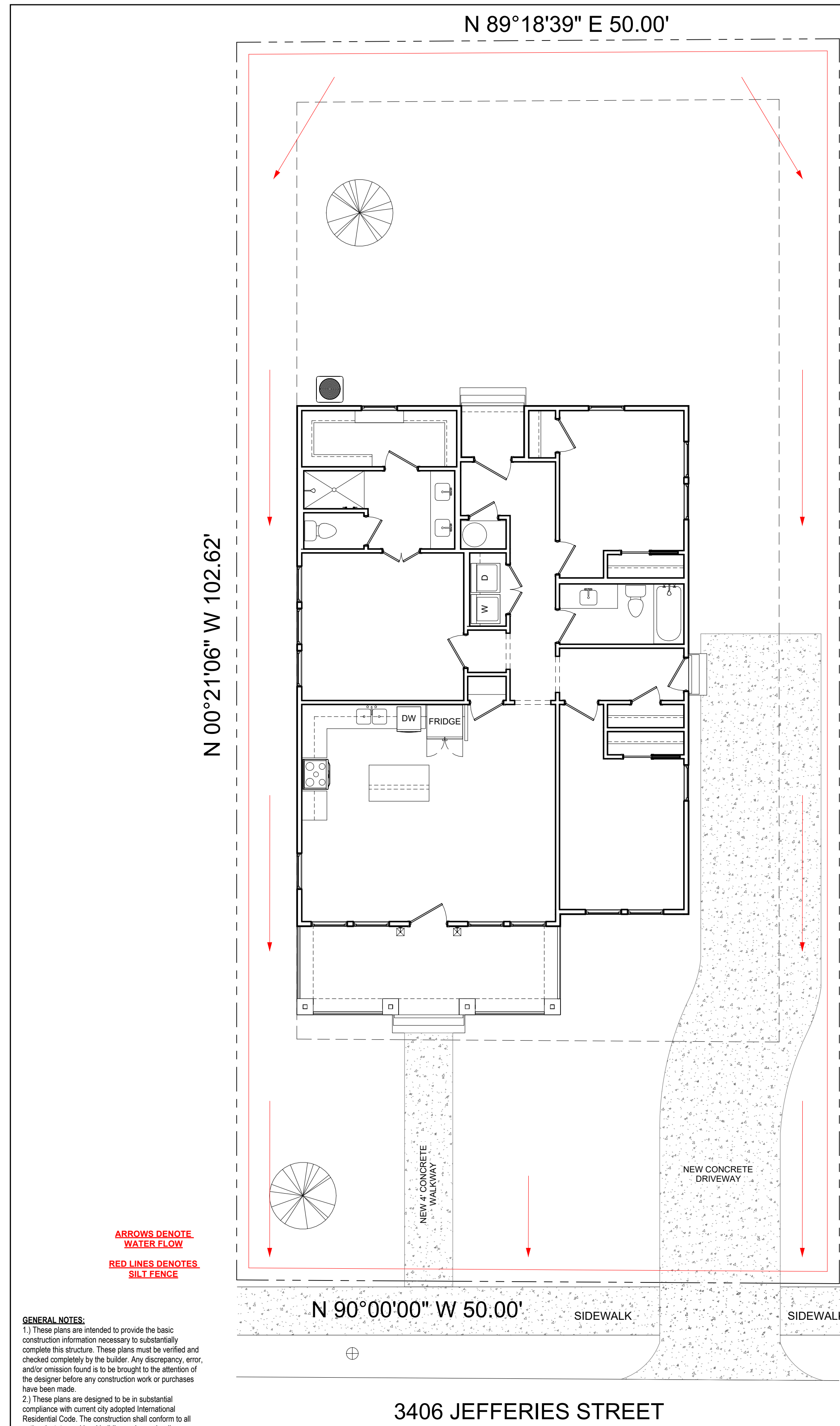
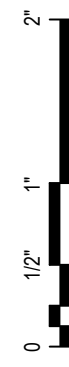


06/10/2026

Title  
 CONTEXTUAL SITE PLAN

Sheet  
 A-002

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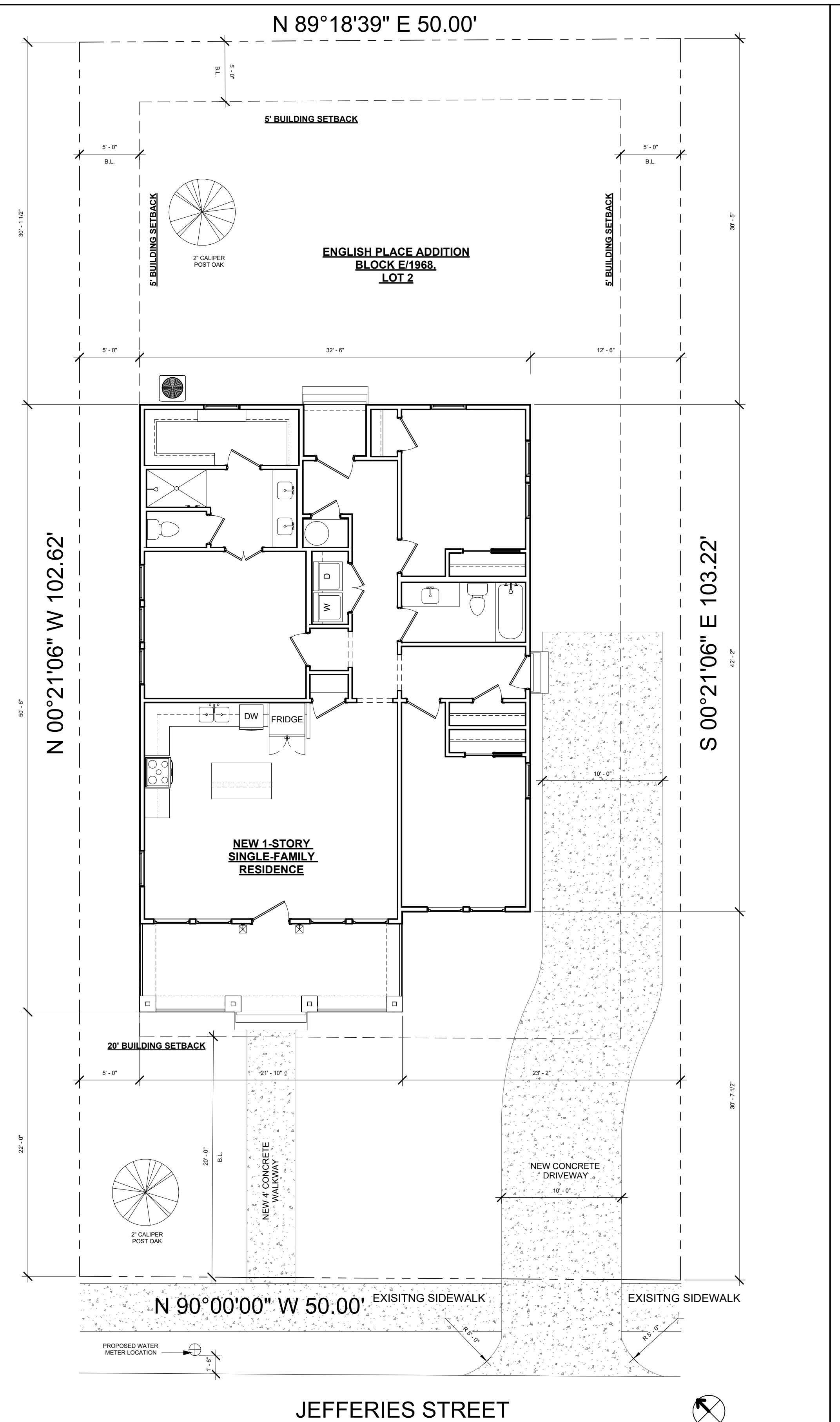
ARROWS DENOTE WATER FLOW  
RED LINES DENOTES SILT FENCE

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ZONING: R-5(A)  
 LOT COVERAGE PER ZONING: 45%  
 LOT AREA: 5.148  
 HOUSE AREA: 1.553  
 LOT COVERAGE: 30.2%

**GENERAL SITE PLAN NOTES:**  
 1) LOT DRAINAGE TO COMPLY WITH THE INTERNATIONAL RESIDENTIAL CODE.  
 2) BUILDING AREA TO BE CLEARED OF ALL HUMUS, ROOTS, AND VEGETATION. CUT STUMPS A MINIMUM OF 8" BELOW GRADE, AND 4" BELOW BEAMS.  
 3) CONTRACTOR TO FIELD VERIFY BUILDING ELEVATIONS AND EXISTING CONDITIONS.

TRUE NORTH  
 ② DRAINAGE PLAN  
 3/16" = 1'-0"



06/10/2026  
 Title  
 SITE & DRAINAGE PLAN

Sheet  
 A-001

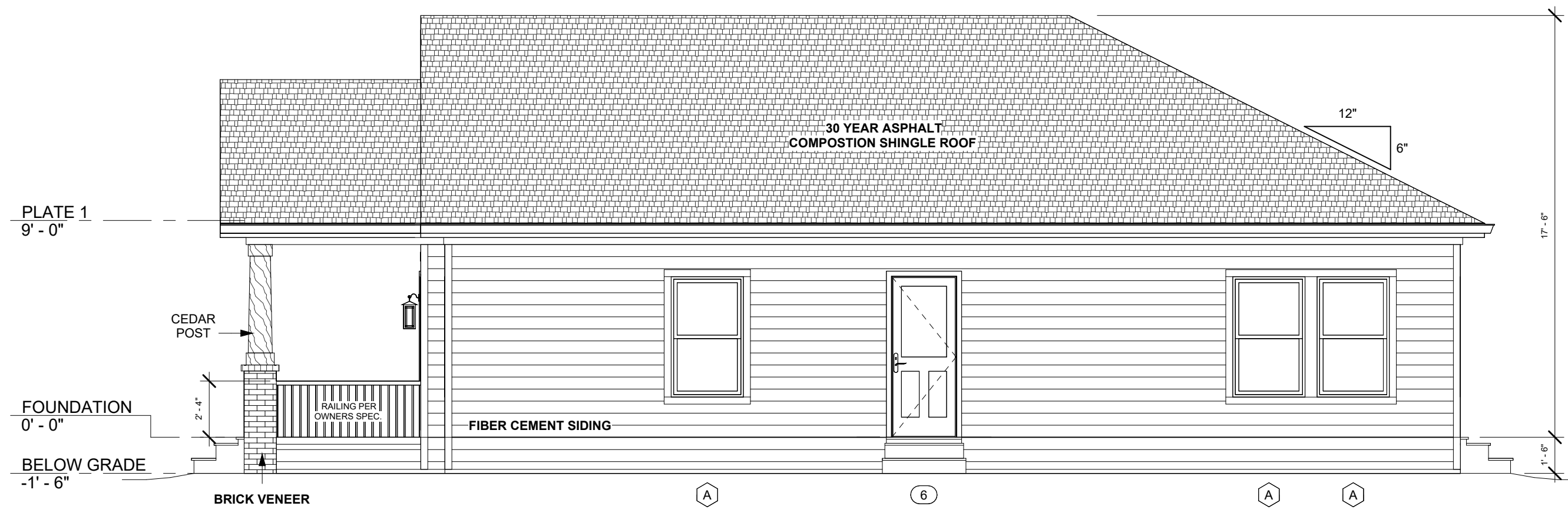
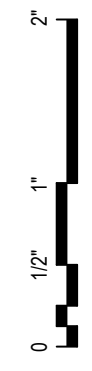
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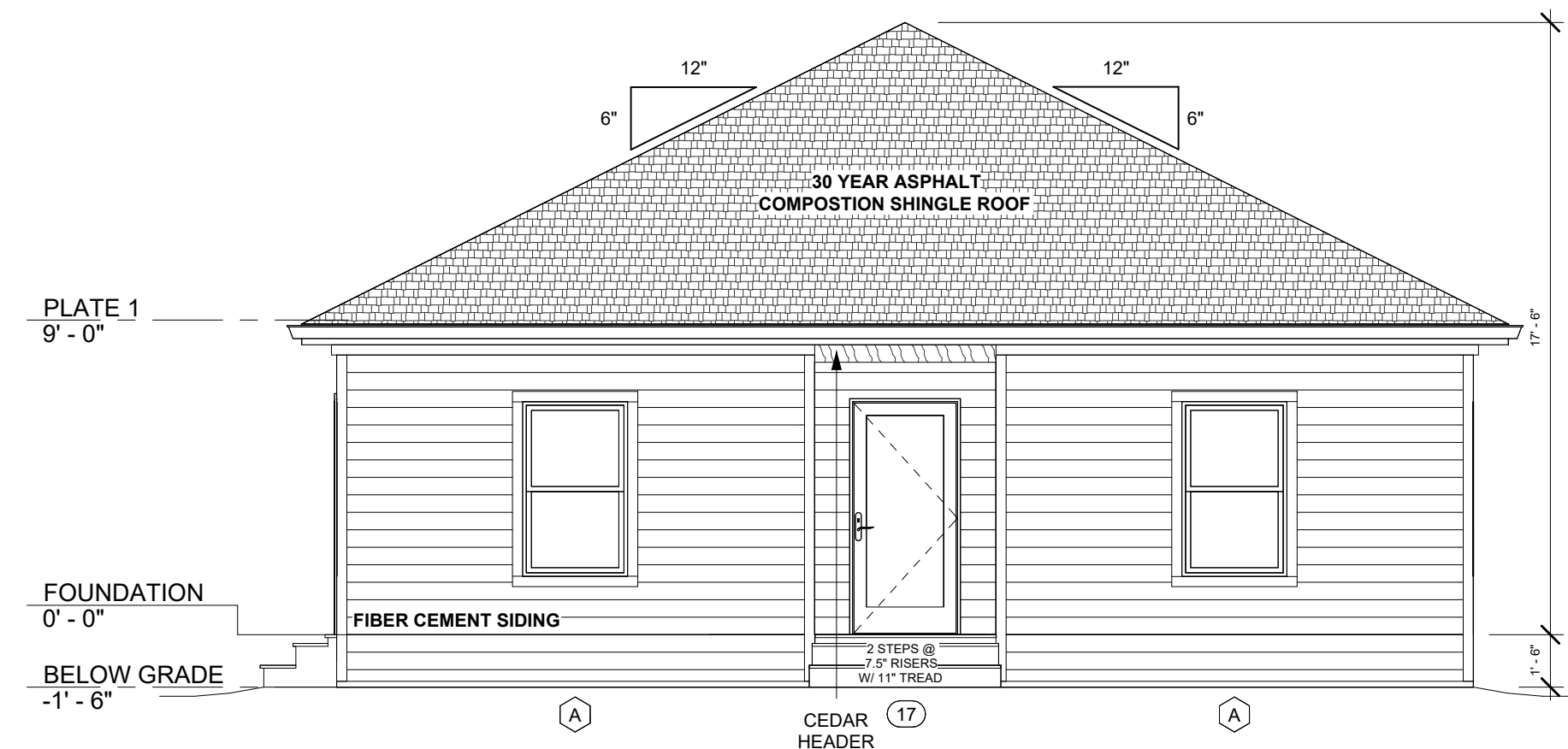
Ogbeide

3406 Jefferies Street  
 English Place Addition  
 Block E/1968, Lot 2  
 Dallas, TX 75215

ISSUE FOR PERMIT  
 June 10, 2026

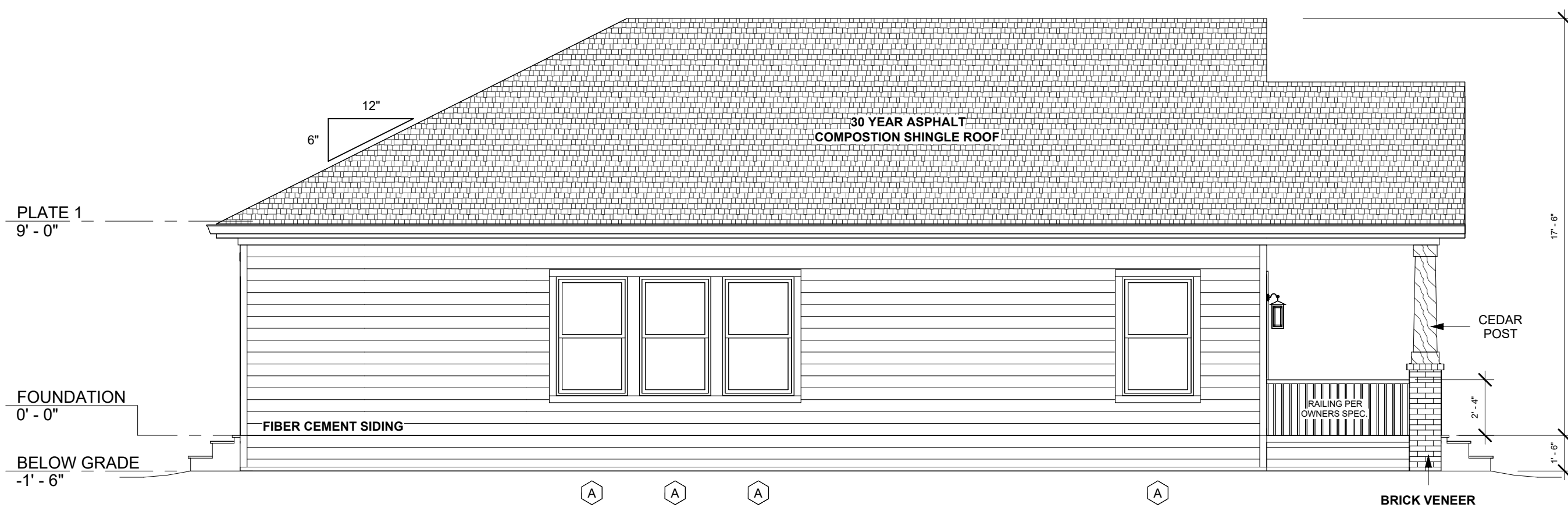


4 RIGHT ELEVATION  
1/4" = 1'-0"

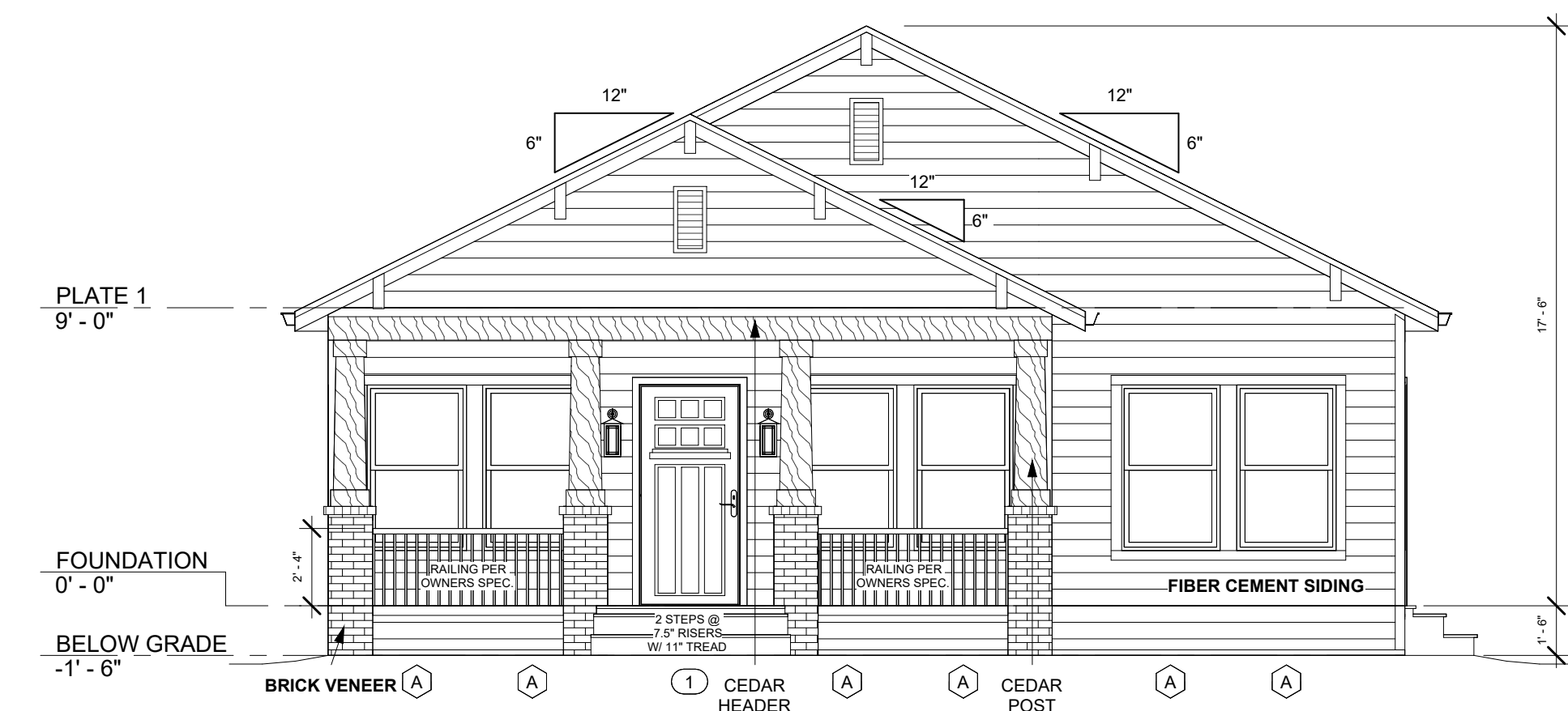


3 REAR ELEVATION  
1/4" = 1'-0"

**GENERAL ELEVATION NOTES:**  
1) REFER TO DOOR AND WINDOW SCHEDULE ON SHEET A-101.



2 LEFT ELEVATION  
1/4" = 1'-0"



1 FRONT ELEVATION  
1/4" = 1'-0"

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2) These plans are designed to be in substantial compliance with current city adopted International Residential Code. The construction shall conform to all national, state, and local building codes and ordinances. These codes shall take precedence over anything noted in these drawings.  
3) Contractor must verify all dimensions and scale drawings.



Ogbeide

3406 Jeffries Street  
English Place Addition  
Block E/1968, Lot 2  
Dallas, TX 75215

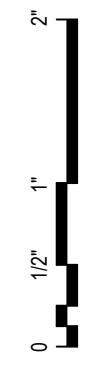
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June 10, 2026



06/10/2026  
Title  
ELEVATIONS

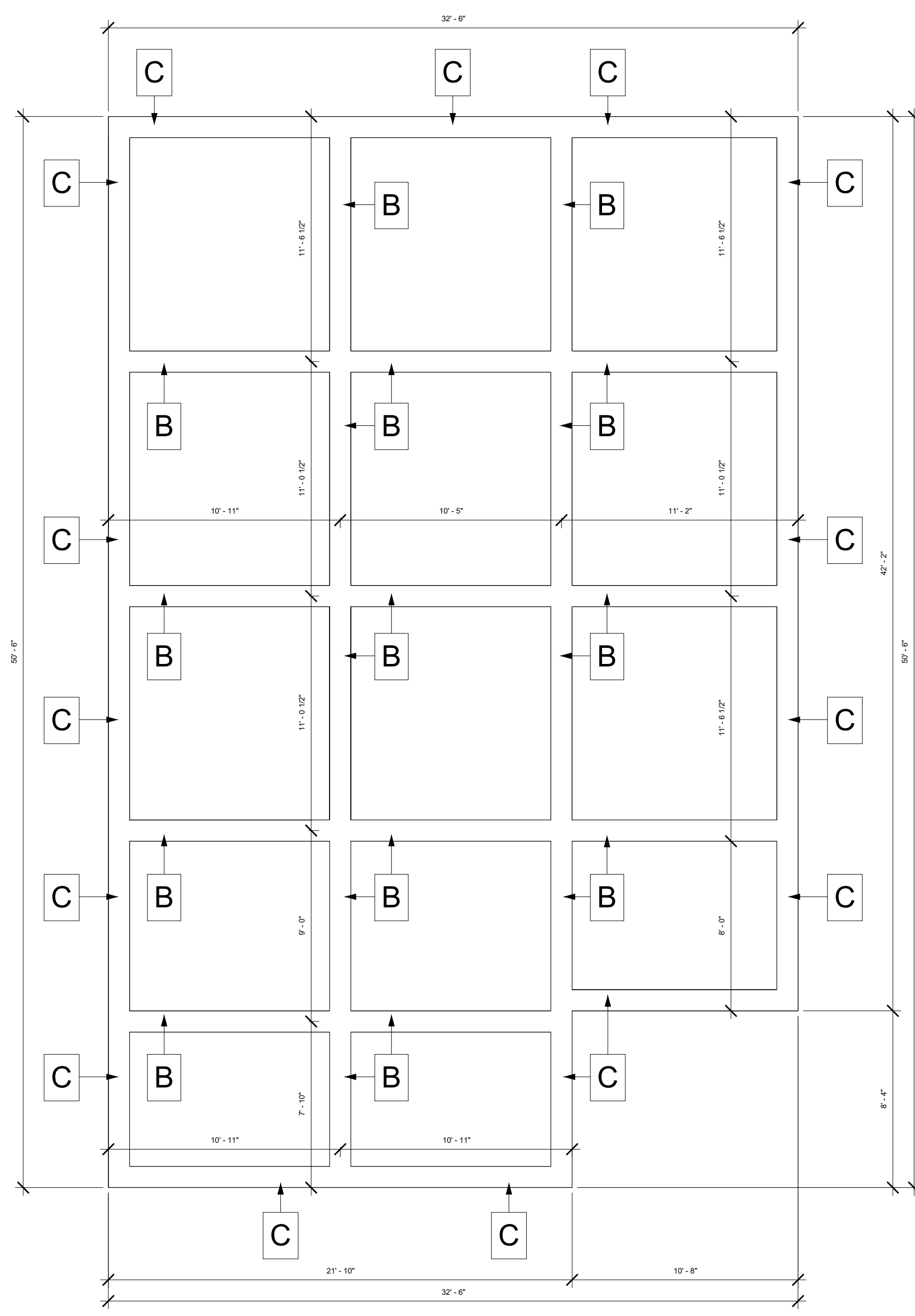
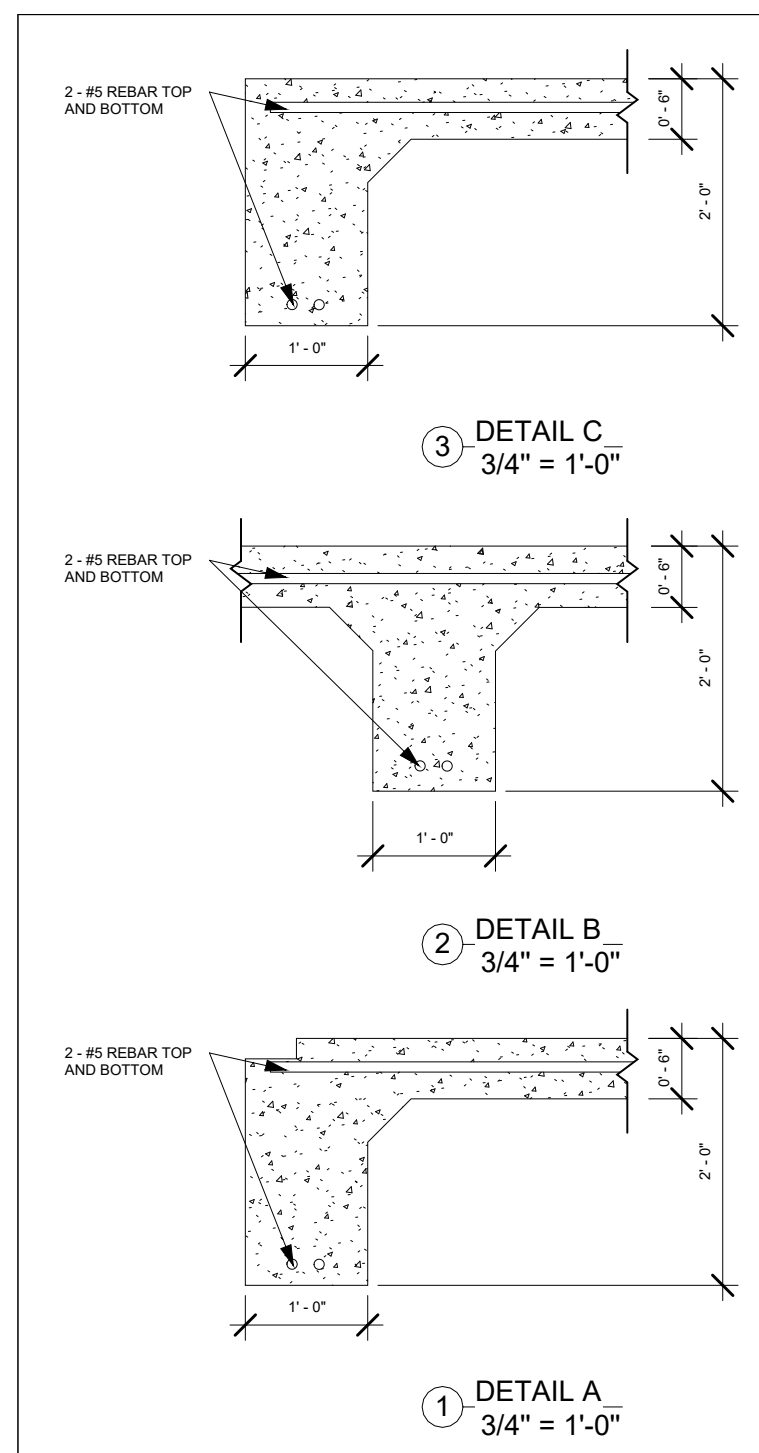
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A-301

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 3) Contractor must verify all dimensions and scale drawings.

**GENERAL FOUNDATION PLAN NOTES:**  
 1. ALL EXTERIOR BEAMS 12" x 24" W/ 2 #5 REBAR TOP & BOTTOM (INTERIOR 12" x 24")  
 2. ALL CONCRETE TO BE 3500 P.S.I. MIN.  
 3. 4" CUSHION SAND UNDER SLAB W/ MILL POLY COVER BETWEEN SAND & CONCRETE.  
 4. SEE SECTIONS FOR DETAILS.  
 5. REBAR IN SLAB TO BE #3 @ 16" O.C. EACH WAY.  
 6. MINIMUM REBAR OVERLAP 30 x DIA.  
 7. SLAB THICKNESS 6" MINIMUM.  
 8. ALL BEAMS MUST BE MINIMUM 14" INTO UNDISTURBED SOIL.



1 ARCHITECTURAL FOUNDATION PLAN  
 1/4" = 1'-0"



Ogbeide

3406 Jeffries Street  
 English Place Addition  
 Block E/1968, Lot 2  
 Dallas, TX 75215

ISSUE FOR PERMIT  
 June 10, 2026

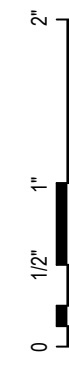


06/10/2026

Title  
 ARCHITECTURAL FOUNDATION PLAN

Sheet  
 A-003

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WINDOW TYPE SCHEDULE				
WINDOW TYPE	WIDTH	HEIGHT	TYPE	HEAD HEIGHT
A	3'-0"	5'-0"	SINGLE-HUNG	6'-8"

**NOTE:**  
 ALL WINDOWS ARE VINYL WITH LOW-E GLASS, DOUBLE GLAZED. IN VALUE TO MEET CODE.  
 WINDOWS MUST BE TEMPERED GLASS IF ALL OF THE FOLLOWING CRITERIA ARE MET: PANE IS LARGER THAN 9 SF, LESS THAN 18" FROM FLOOR, THE TOP EDGE OF THE GLASS IS GREATER THAN 36" ABOVE THE FLOOR, AND HAS A 36" WALKWAY ON EITHER SIDE OF THE GLASS. WINDOW MUST BE TEMPERED IF ADJACENT TO A DOOR IN A HAZARDOUS LOCATION.

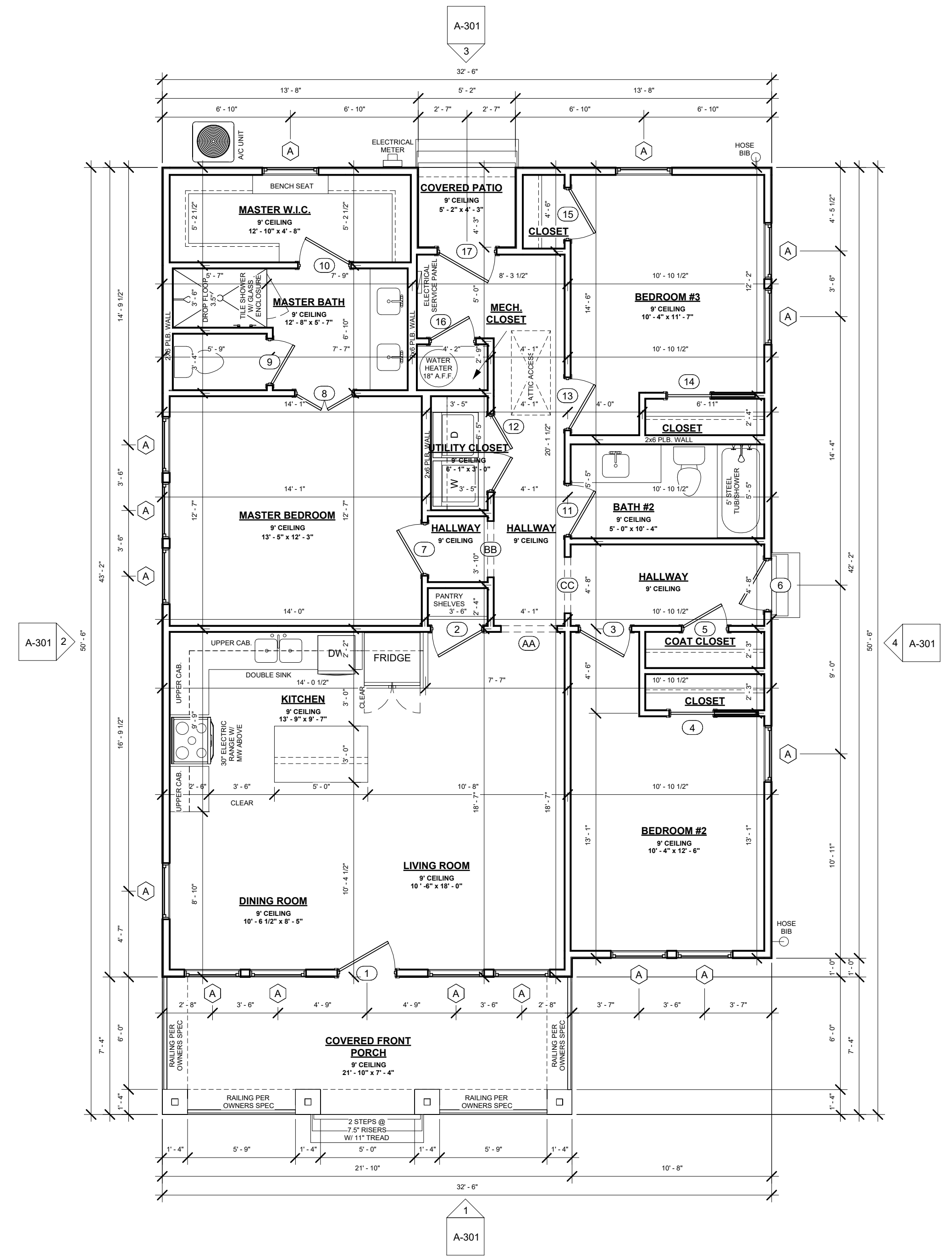
DOOR SCHEDULE				
NUMBER	WIDTH	HEIGHT	HINGE	TYPE
1	3'-0"	6'-8"	LEFT	EXT. SOLID CORE
2	2'-8"	6'-8"	LEFT	HOLLOW CORE
3	2'-8"	6'-8"	RIGHT	HOLLOW CORE
4	2'-4"	6'-8"	POCKET	HOLLOW CORE
5	2'-4"	6'-8"	LEFT	HOLLOW CORE
6	2'-8"	6'-8"	RIGHT	EXT. HALF LITE
7	2'-8"	6'-8"	LEFT	HOLLOW CORE
8	3'-0"	6'-8"	LEFT/RIGHT	HOLLOW CORE
9	2'-4"	6'-8"	RIGHT	HOLLOW CORE
10	2'-8"	6'-8"	RIGHT	HOLLOW CORE
11	2'-8"	6'-8"	RIGHT	HOLLOW CORE
12	4'-0"	6'-8"	LEFT/RIGHT	HOLLOW CORE
13	2'-8"	6'-8"	RIGHT	HOLLOW CORE
14	2'-4"	6'-0"	POCKET	HOLLOW CORE
15	2'-8"	6'-8"	LEFT	HOLLOW CORE
16	2'-4"	6'-8"	LEFT	HOLLOW CORE
17	3'-0"	6'-8"	RIGHT	EXT. FULL LITE
AA	3'-0"	6'-8"		EB ARCH
BB	3'-0"	6'-8"		EB ARCH
CC	3'-0"	6'-8"		EB ARCH

**ABBREVIATIONS:**  
 DW - DRY WALL  
 EB ARCH - EYEBROW ARCH  
 EXT - EXTERIOR  
**NOTE:**  
 GLASS IN DOORS MUST BE TEMPERED.

- GENERAL FLOOR PLAN NOTES:**
- GLAZING IN HAZARDOUS LOCATIONS SHALL MEET REQUIREMENT OF IRC CODE SECTION R608.4 WHICH SHALL BE VERIFIED BY INSPECTOR IN FIELD.
  - ALL SLEEPING ROOM EGRESS WINDOWS ARE TO MEET THE REQUIREMENTS OF SECTION R602 AND SHALL BE FIELD VERIFIED.
  - CASED DOOR OPENINGS PER BUILDER/OWNER SPEC.
  - ALL UPPER CABINETS PER BUILDER/OWNER SPEC.
  - TILE SHOWER WITH GLASS SURROUND UNLESS NOTED OTHERWISE.
  - CLOSET SHELVES PER BUILDER/OWNER SPEC.
  - ALL WALLS ARE 2X4 IN LESS OTHERWISE NOTED.
  - PROVIDE 3/8" WATER LINE TO REFRIGERATOR.
  - ALL WATER HEATERS ARE TO BE 18" A.F.F.
  - AIR CONDITIONER CONDENSER MUST BE 3" ABOVE GRADE.
  - IN ABSENCE OF STRUCTURAL ENGINEER PREPARED BY BUILDER, USE TABLE R602.3 IN THE INTERNATIONAL RESIDENTIAL CODE.
  - REFER TO ENGINEER DRAWINGS FOR ALL FOUNDATIONS.
  - CHECK PLANS FOR LEVEL CHANGES, FLOOR OUTLETS, AND PLUMBING FIXTURE LOCATIONS.
  - ALL WORK MUST COMPLY WITH THE CURRENT CITY-ADOPTED BUILDING CODES.

AREA TOTALS	
LIVING	1371 SF
COVERED FRONT PORCH	160 SF
COVERED BACK PATIO	22 SF
FOUNDATION	1553 SF
FOUNDATION	1553 SF
<b>TOTAL UNDER ROOF:</b>	<b>1,487 SF</b>

- GENERAL NOTES:**
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  - These plans are designed to be in substantial compliance with current city adopted International Residential Code. The construction shall conform to all national, state, and local building codes and ordinances. These codes shall take precedence over anything noted in these drawings.
  - Contractor must verify all dimensions and scale drawings.



1 FIRST FLOOR PLAN  
 1/4" = 1'-0"

**DC TEXAS**  
 ARCHITECTURE  
 DESIGN ■ INTERIORS ■ PLANNING ■ PROJECT MANAGEMENT  
 1340 West US-207, Suite 100  
 Waco, Texas 76795  
 1-214-699-7063  
 www.dctexasarch.com

Ogbeide

3406 Jeffries Street  
 English Place Addition  
 Block E/1968, Lot 2  
 Dallas, TX 75215

**ISSUE FOR PERMIT**  
 June 10, 2026

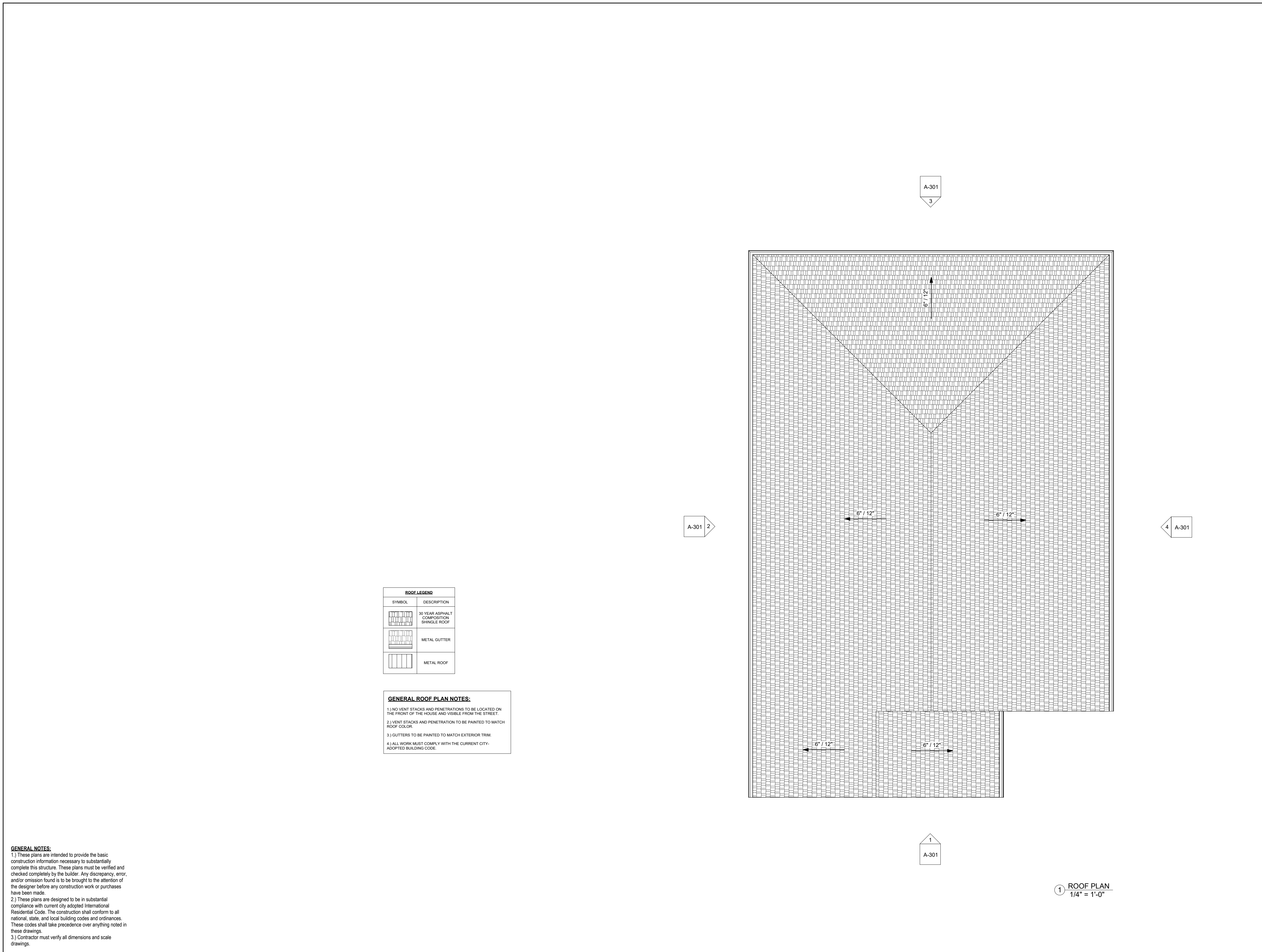
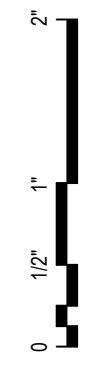


06/10/2026

Title  
**FLOOR PLAN**

Sheet  
**A-101**

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ROOF LEGEND	
SYMBOL	DESCRIPTION
	30 YEAR ASPHALT COMPOSITION SHINGLE ROOF
	METAL GUTTER
	METAL ROOF

**GENERAL ROOF PLAN NOTES:**

- 1.) NO VENT STACKS AND PENETRATIONS TO BE LOCATED ON THE FRONT OF THE HOUSE AND VISIBLE FROM THE STREET.
- 2.) VENT STACKS AND PENETRATIONS TO BE PAINTED TO MATCH ROOF COLOR.
- 3.) GUTTERS TO BE PAINTED TO MATCH EXTERIOR TRIM.
- 4.) ALL WORK MUST COMPLY WITH THE CURRENT CITY-ADOPTED BUILDING CODE.

**GENERAL NOTES:**

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1 ROOF PLAN  
1/4" = 1'-0"



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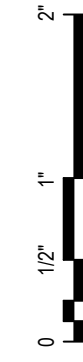


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Title  
**ROOF PLAN**

Sheet  
**A-102**

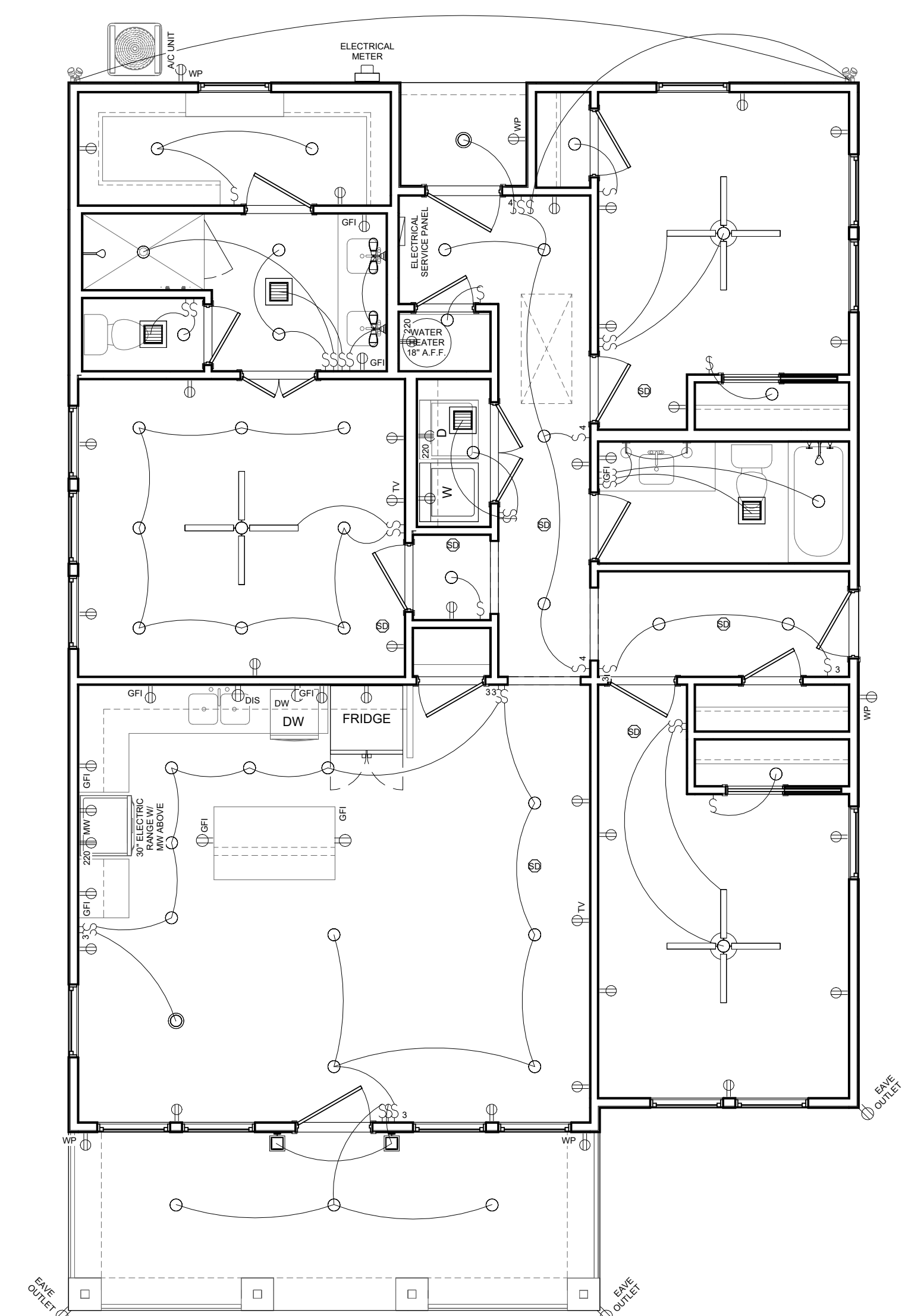
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- GENERAL ELECTRICAL PLAN NOTES:**
- 1) VERIFY ALL EXTERIOR ELECTRICAL, FLOOR PLUGS, PHONE & TV JACKS, SECURITY & SOUND SYSTEM WIRING WITH THE OWNER BEFORE THE CONSTRUCTION PROJECT.
  - 2) INSTALL ARC-FAULT CIRCUIT INTERRUPTER PROTECTION FOR ALL SLEEPING ROOMS.
  - 3) DEDICATED CIRCUITS FOR ALL APPLIANCES.
  - 4) PROVIDE SWITCHED LIGHTING & 110 VOLT RECEPTACLE IN THE ATTIC @ MECHANICAL PLATFORM.
  - 5) INSTALL OUTSIDE EMERGENCY DISCONNECT THAT IS CLEARLY LABELED.
  - 6) ALL OUTDOOR OUTLETS TO BE GFCI.
  - 7) ALL OUTLETS IN THE KITCHEN, AREAS WITH A SINK, AND FOOD PREPARATION AREAS TO BE GFCI.
  - 8) ALL WORK MUST COMPLY WITH THE CURRENT CITY-ADOPTED ELECTRICAL CODE.
  - 9) ELECTRICAL PANELS SHALL NOT BE LOCATED IN CLOTHES CLOSETS, BATHROOMS, OR OVER STEPS OF STAIRWAYS.

ELECTRICAL SYMBOLS			
	SWITCH		LED 6\" RECESSED CAN LIGHT
	3-WAY SWITCH		SURFACE MOUNT LIGHT
	DUPLEX RECEPTACLE		LED WALL MOUNT SCONCE
	GROUND FAULT CIRCUIT INTERRUPTER DUPLEX RECEPTACLE		SINGLE LED WALL SCONCE
	POP-UP GFCI		UNDER CABINET ROPE LIGHTS
	220 VOLT DUPLEX RECEPTACLE		FLOOD LIGHT
	WEATHER PROOF GFCI DUPLEX RECEPTACLE		EXTERIOR LED UPLIGHT
	42\" ABOVE FINISH FLOOR GFCI		EXTERIOR LED SCONCES
	FLOOR DUPLEX RECEPTACLE		EXTERIOR GOOSENECK LIGHT
	ELECTRICAL PANEL		LED CHANDELIER
	ELECTRICAL METER		CEILING FAN
	SMOKE/CARBON MONOXIDE DETECTOR COMBO		CEILING FAN WITH LIGHT KIT
	EXHAUST FAN		
	LED STRIP LIGHT		
	LED PENDANT LIGHT		

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1 ELECTRICAL PLAN  
1/4" = 1'-0"

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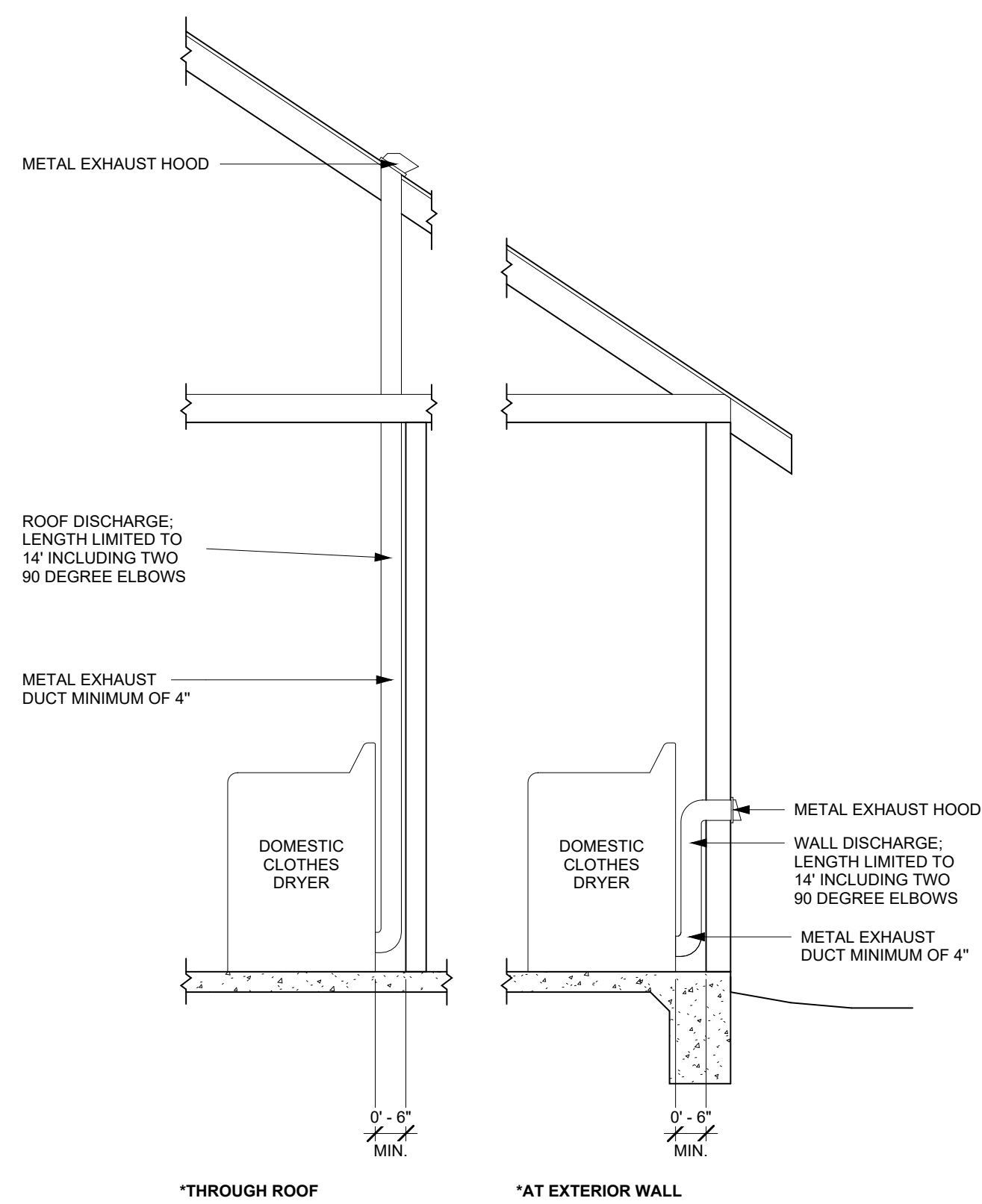
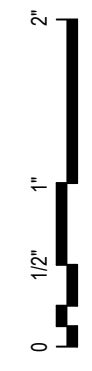
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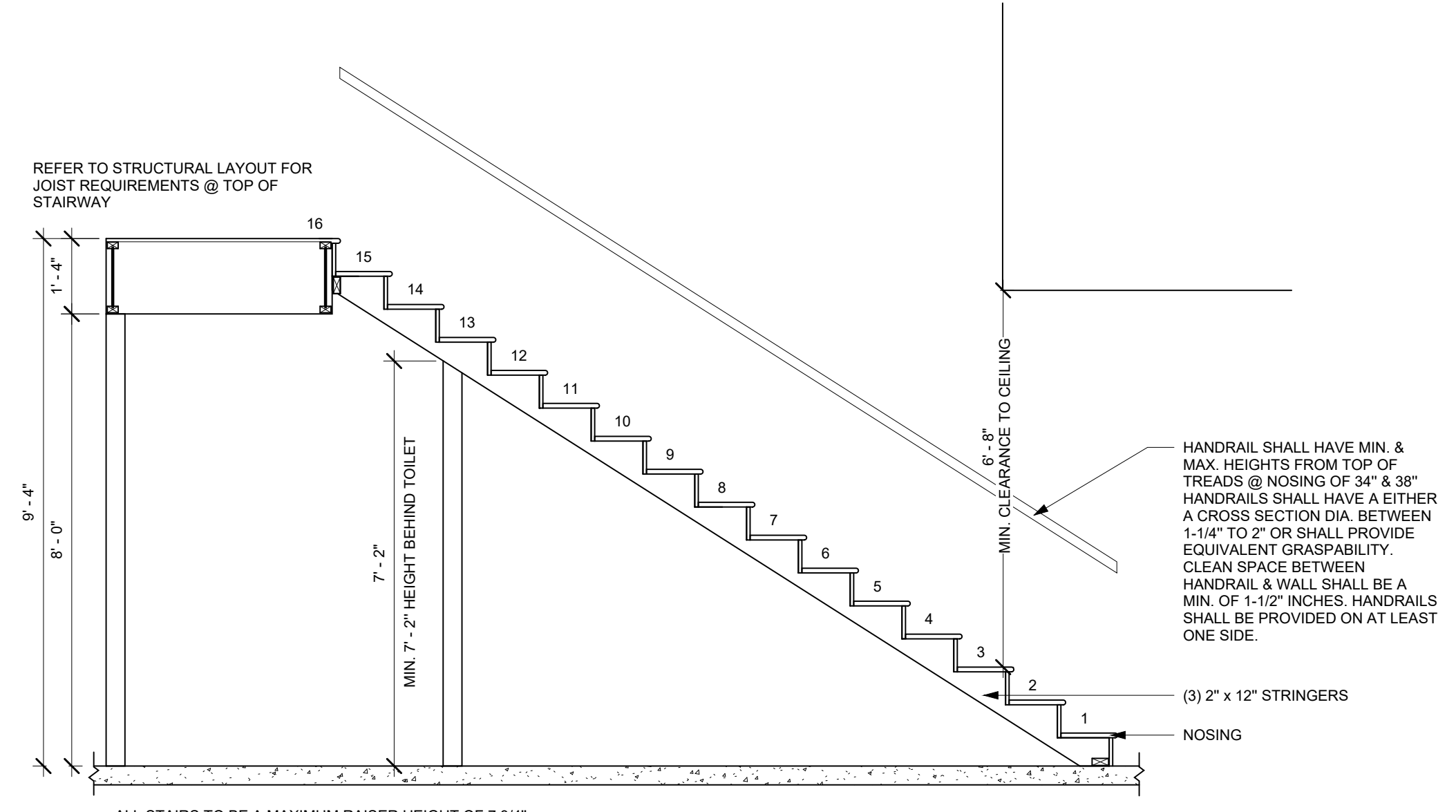
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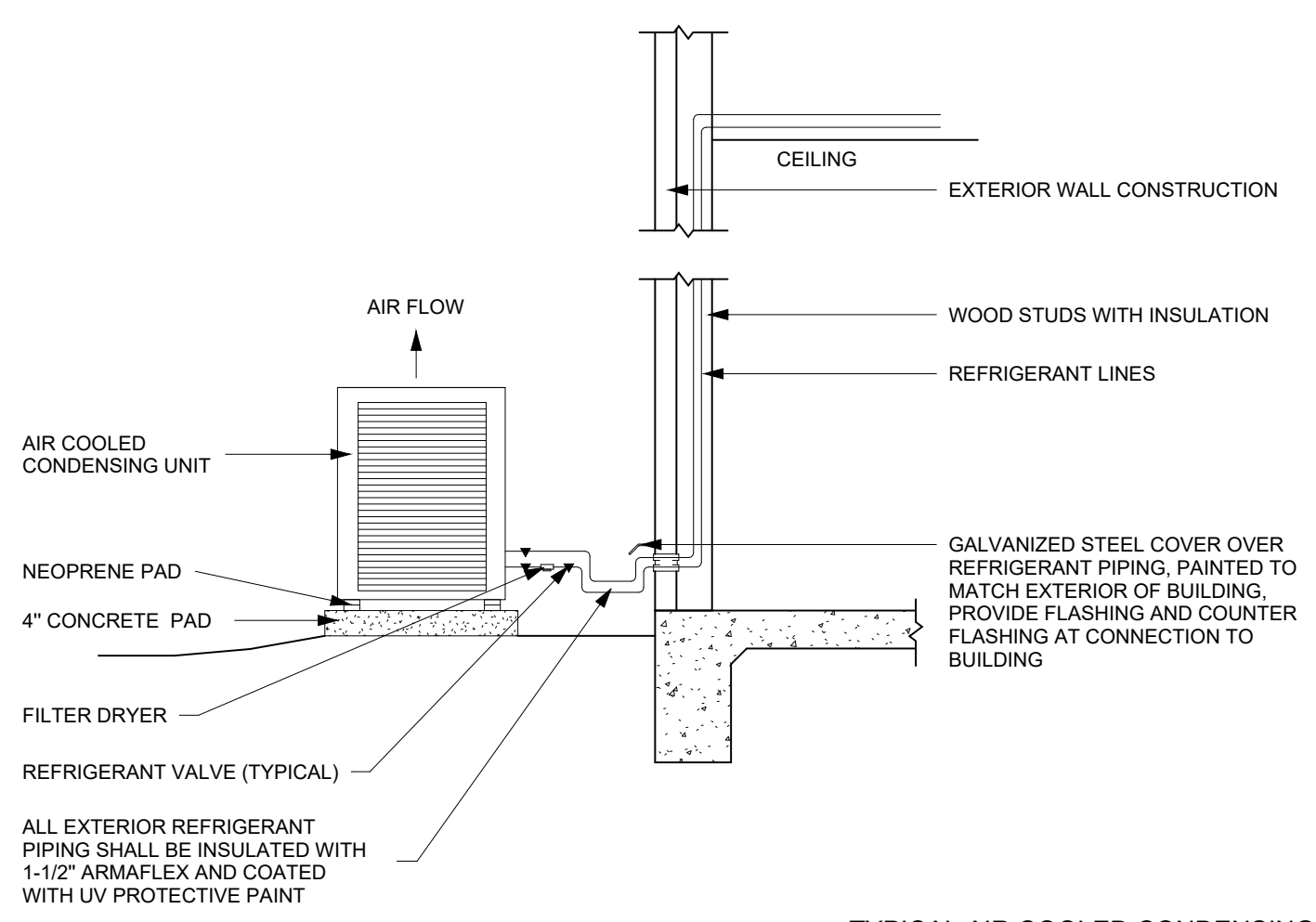
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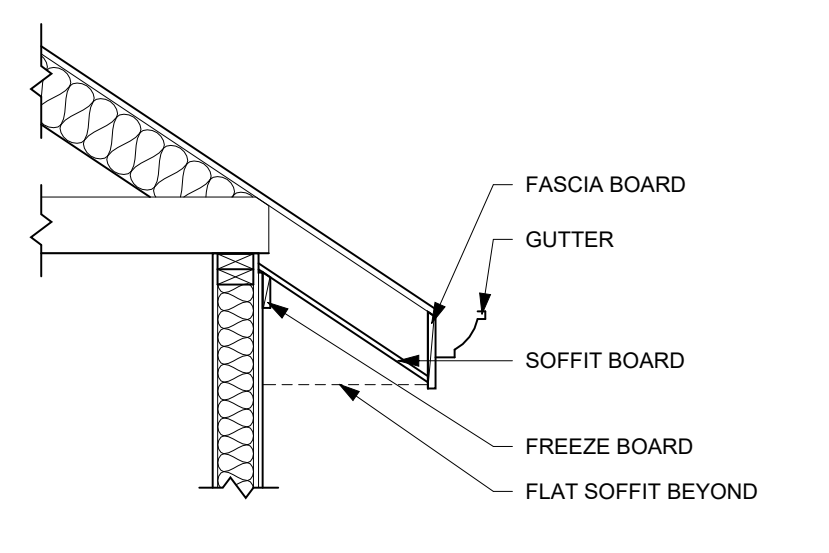
7 TYPICAL DRYER VENT DETAIL  
1/2" = 1'-0"



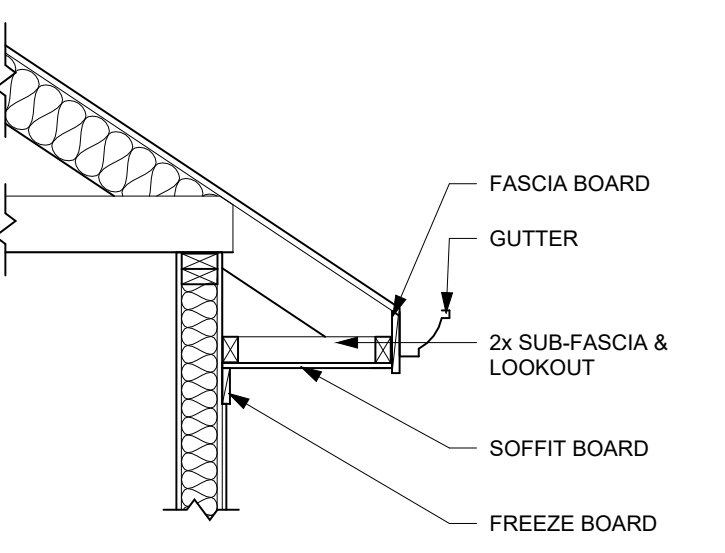
6 TYPICAL STAIRWAY DETAIL  
1/2" = 1'-0"



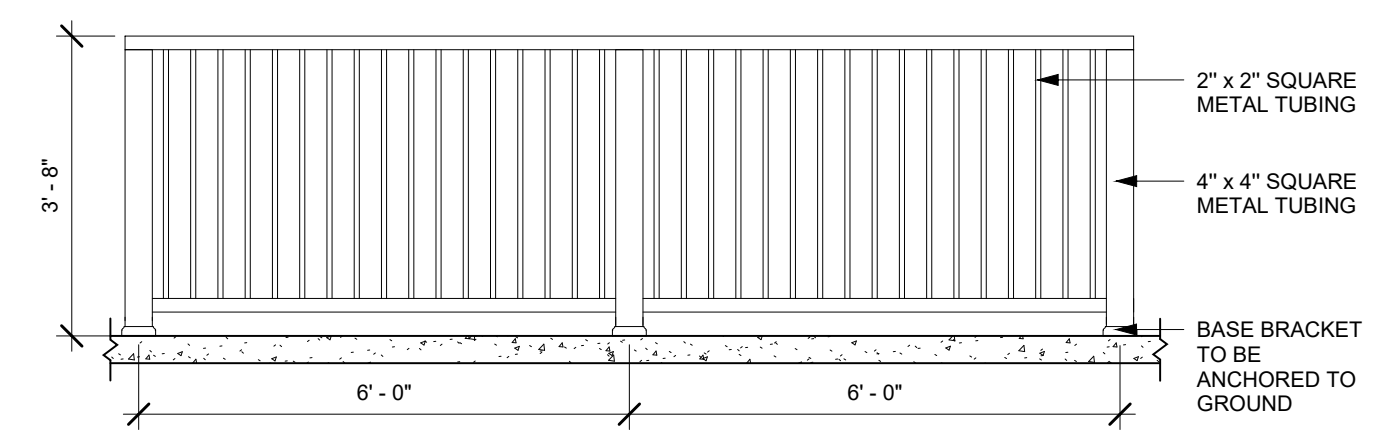
5 TYPICAL AIR COOLED CONDENSING UNIT DETAIL  
1/2" = 1'-0"



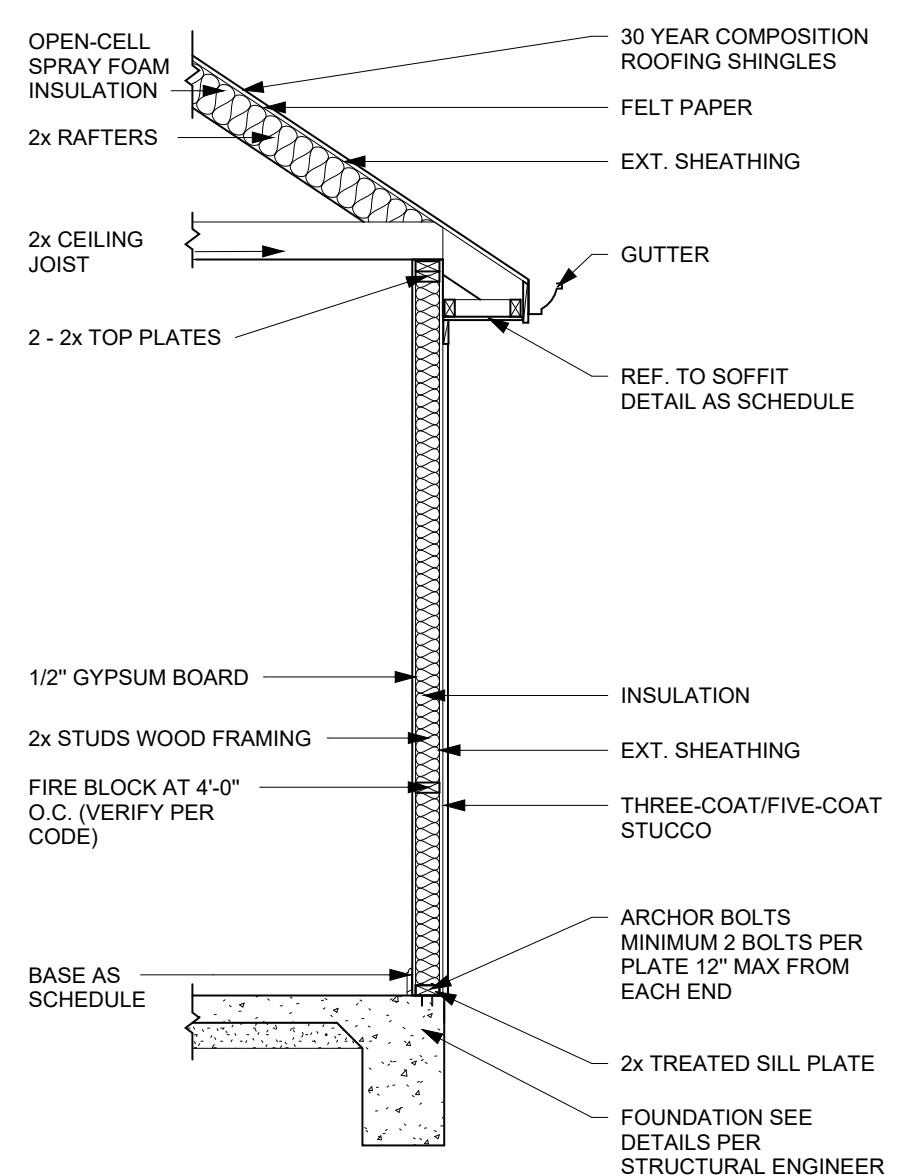
9 TYPICAL OPEN SOFFIT DETAIL  
3/4" = 1'-0"



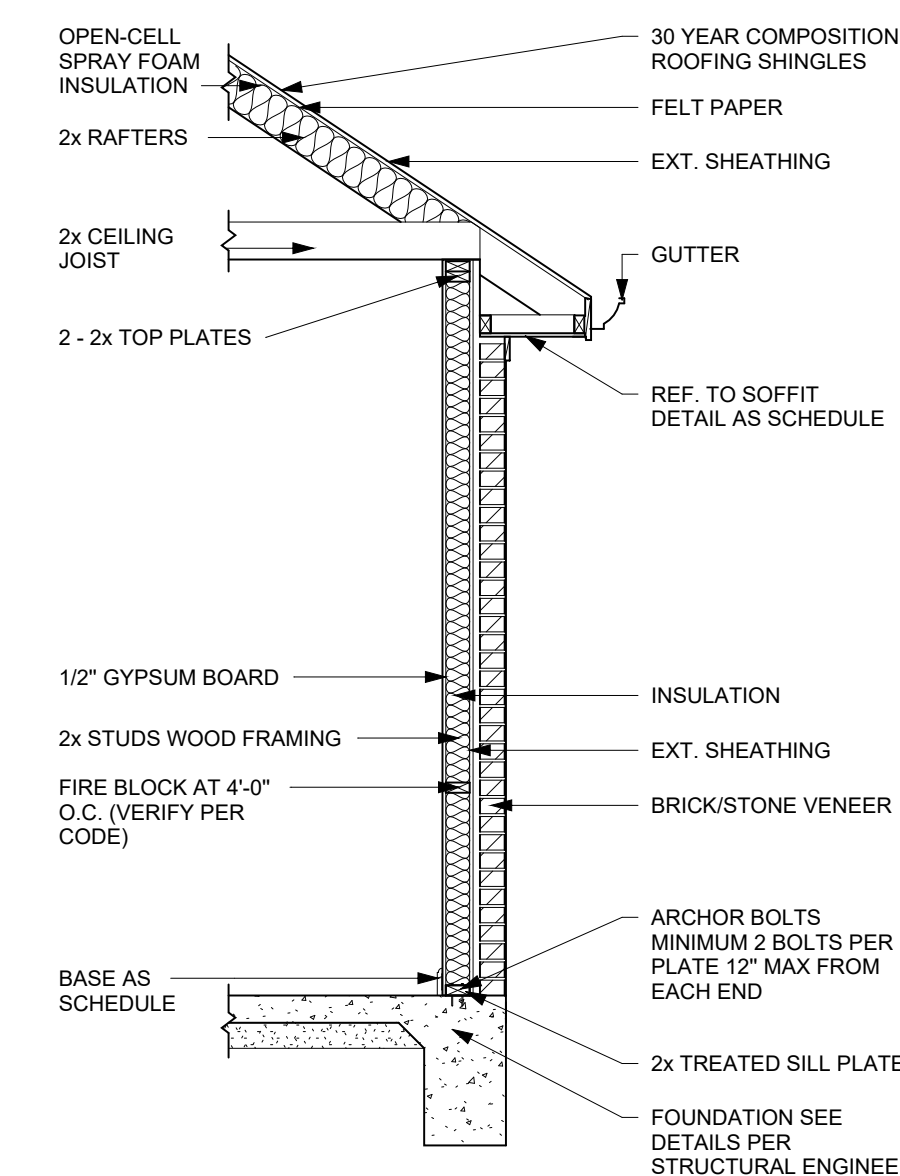
8 TYPICAL FLAT SOFFIT DETAIL  
3/4" = 1'-0"



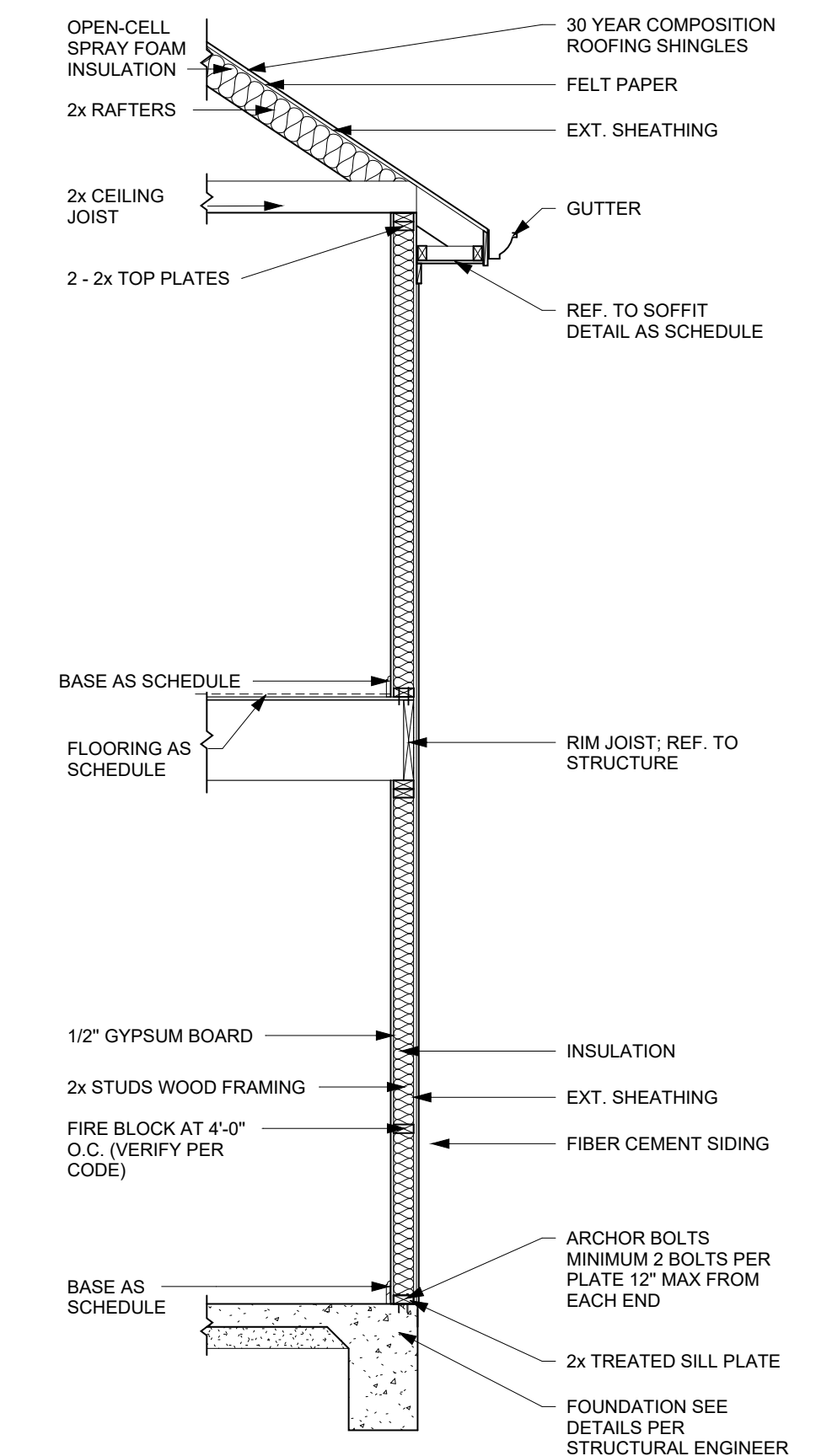
4 TYPICAL RAILING DETAIL  
1/2" = 1'-0"



3 TYPICAL STUCCO WALL SECTION  
1/2" = 1'-0"



2 TYPICAL BRICK/STONE WALL SECTION  
1/2" = 1'-0"



1 TYPICAL SIDING WALL SECTION  
1/2" = 1'-0"

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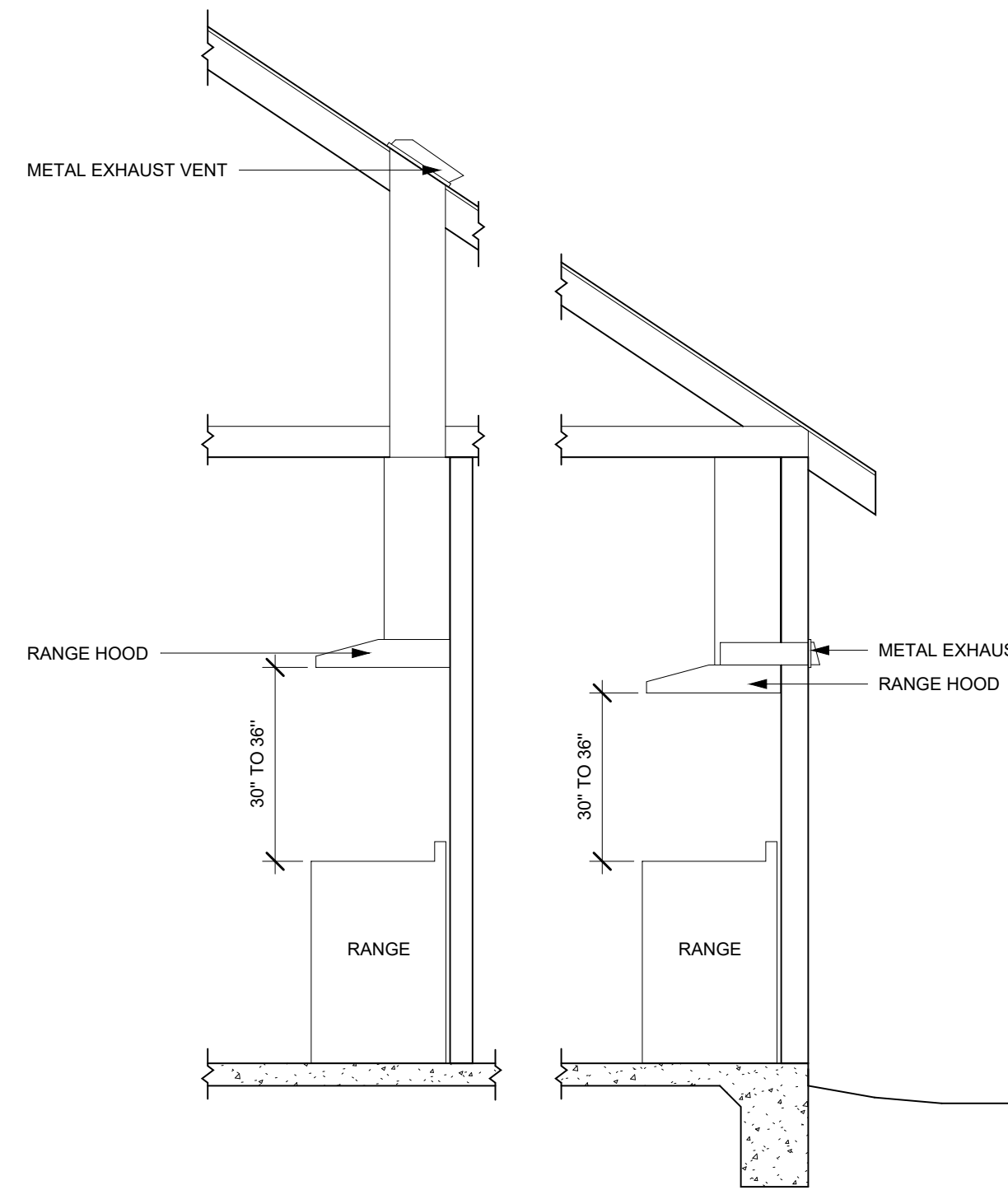
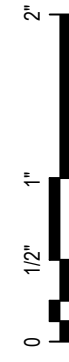
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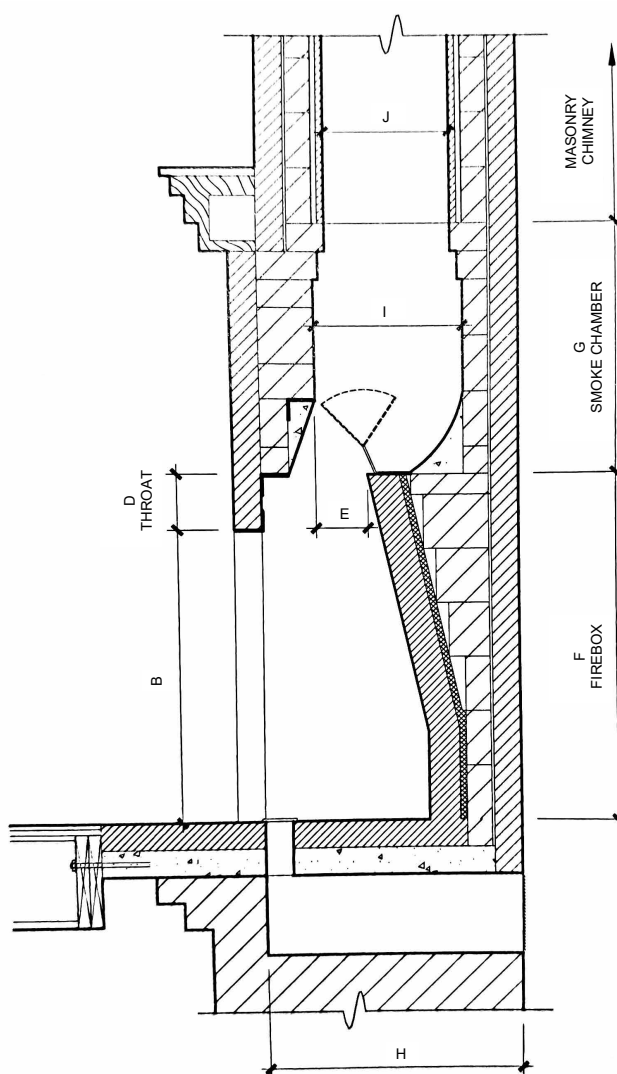
Title  
 TYPICAL DETAILS

Sheet  
 A-401

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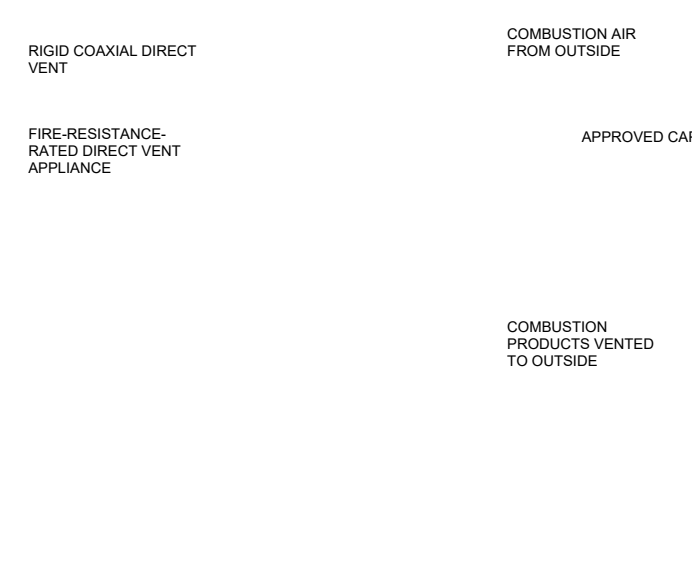


5 TYPICAL KITCHEN VENT  
1/2" = 1'-0"



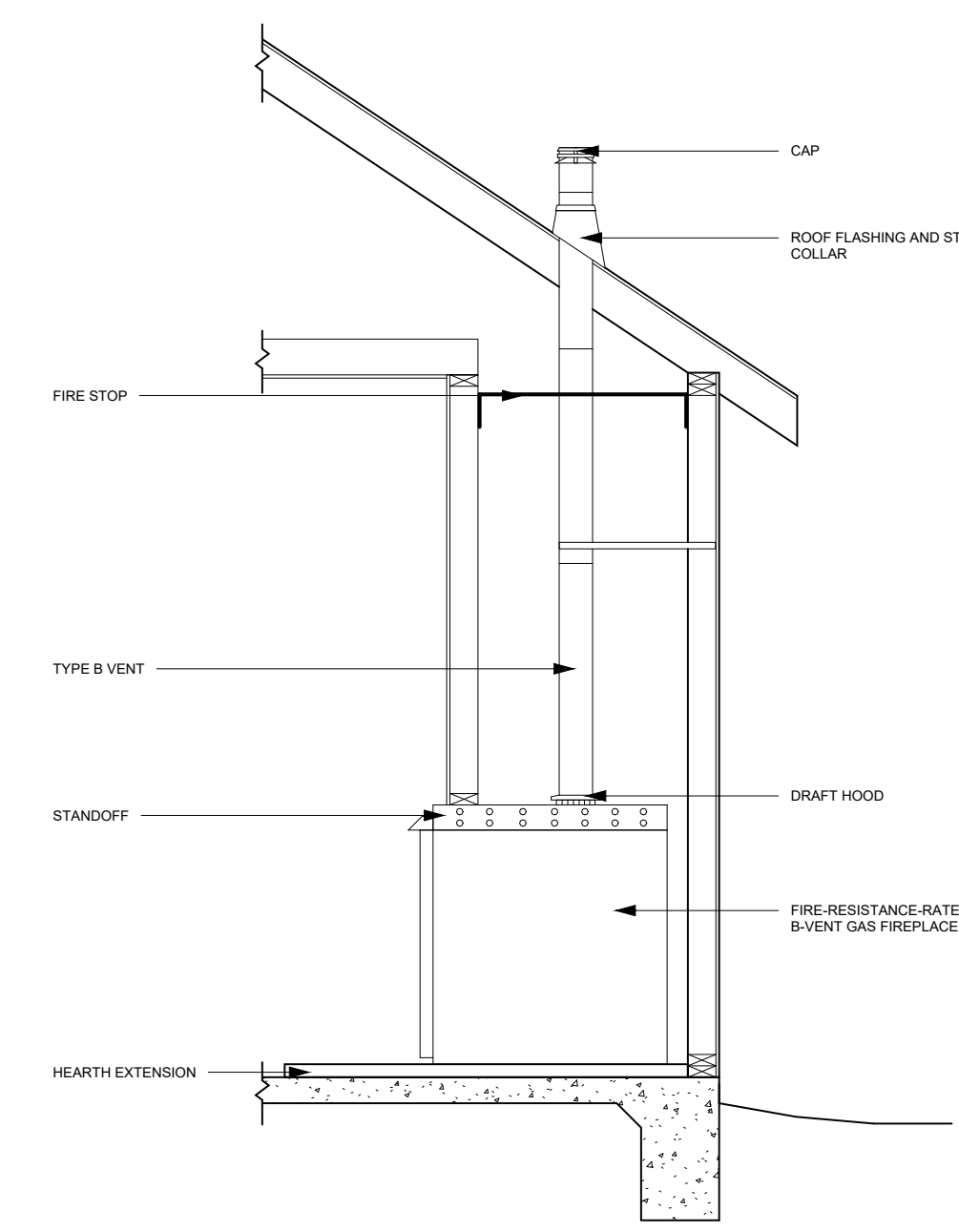
4 TYPICAL MASONRY FIREPLACE SECTION  
1/2" = 1'-0"

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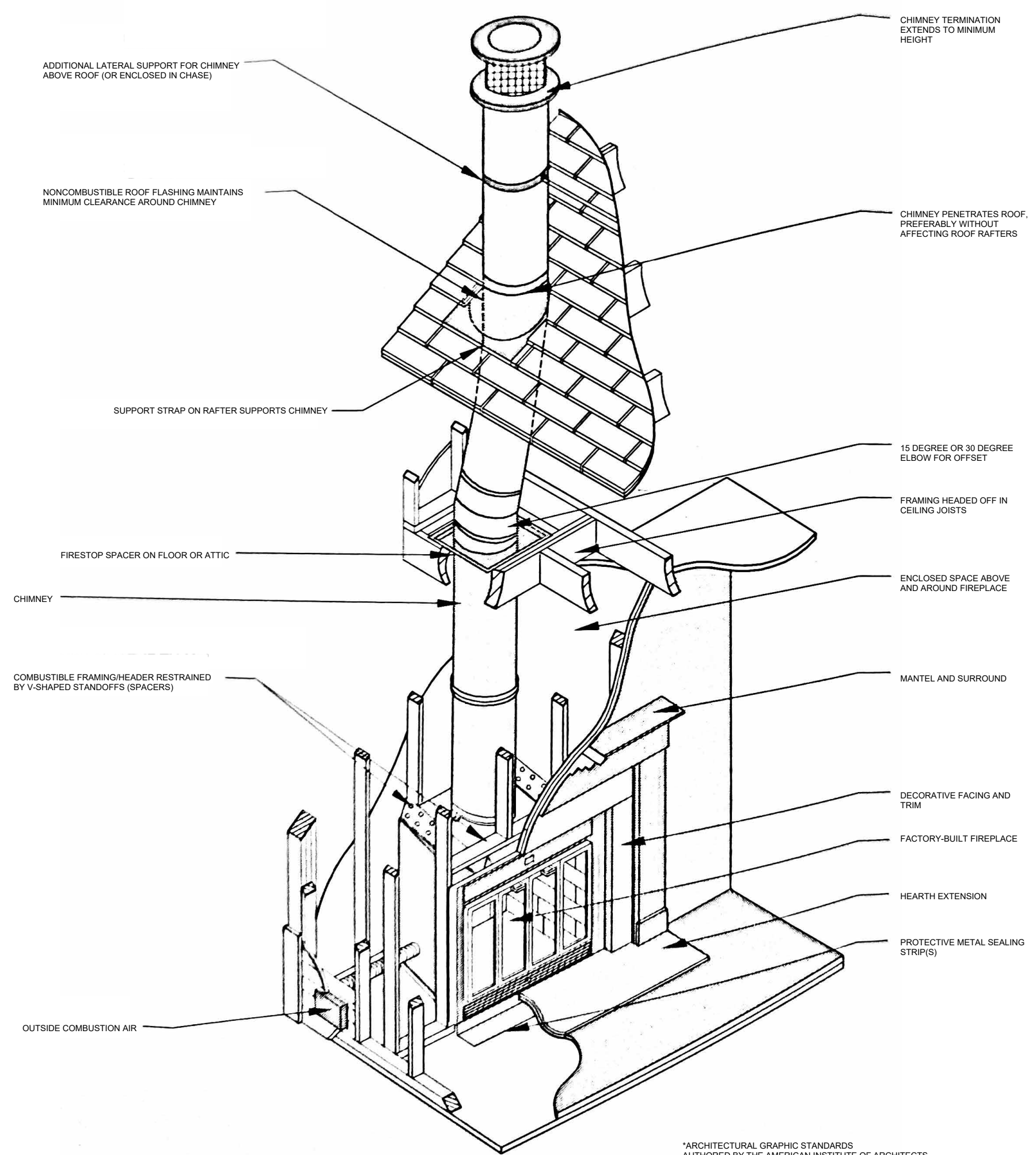
3 TYPICAL GAS FIREPLACE HORIZONTAL  
1/2" = 1'-0"

**SOLID-FUEL APPLIANCES**  
 Unlisted appliances should be installed according to the provisions of NFPA 211. Acceptable floor protection materials and minimum size for these spaces are generally specified by the manufacturers. If they are not follow NFPA 211 or local code requirements.  
 \*ARCHITECTURAL GRAPHIC STANDARDS AUTHORED BY THE AMERICAN INSTITUTE OF ARCHITECTS TWELFTH EDITION



2 TYPICAL GAS VERTICAL FIREPLACE  
1/2" = 1'-0"

\*ARCHITECTURAL GRAPHIC STANDARDS AUTHORED BY THE AMERICAN INSTITUTE OF ARCHITECTS TWELFTH EDITION



1 TYPICAL WOOD FIREPLACE  
1/2" = 1'-0"

\*ARCHITECTURAL GRAPHIC STANDARDS AUTHORED BY THE AMERICAN INSTITUTE OF ARCHITECTS TWELFTH EDITION



# MATERIAL SCHEDULE

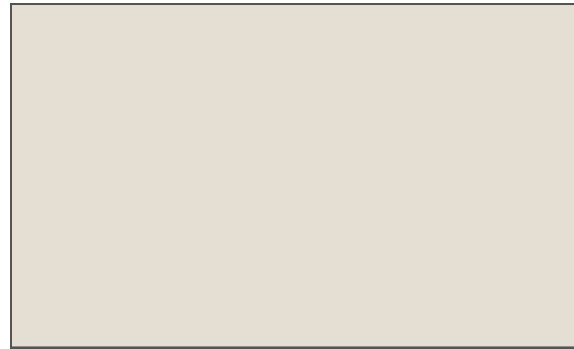


# MATERIAL SCHEDULE



## HORIZONTAL SIDING

MORRIS ROOM GREY - SW 0037  
Sherwin Williams



## TRIM, FASCIA & SOFFIT

SHOJI WHITE - SW 7042  
Sherwin Williams



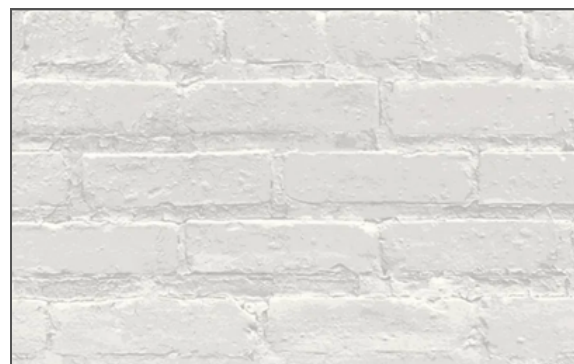
## ROOF

TIMBERLINE SHINGLE  
Color: Weathered Wood



## OPTION 1: BASE OF COLUMN POSTS

AUSTIN WHITE STONE  
Metro Brick or Rocky's Stone



## OPTION 2: BASE OF COLUMN POSTS

PAINTED BRICK  
\*Match to Same Color as Trim/Fascia/Soffit



## CEDAR COLUMN POSTS

MEDIUM RICH STAIN (BX 1Y + 4, CX 10, FX 18)  
Flood ProSeries

## CRAFTSMAN STYLE FRONT DOOR

MEDIUM RICH STAIN (BX 1Y + 4, CX 10, FX 18)  
Flood ProSeries

# MATERIAL SCHEDULE



## WHITE WINDOWS

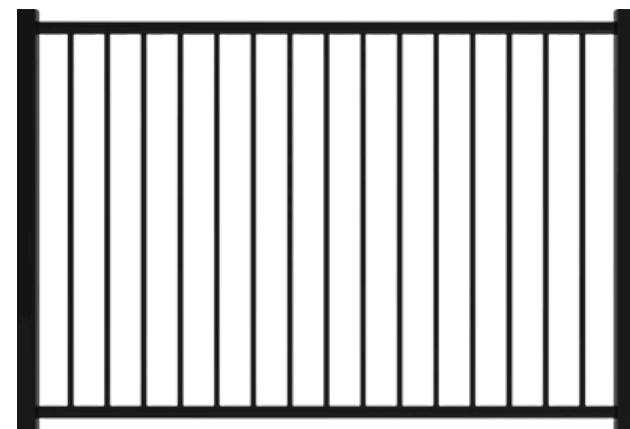
1 OVER 1 WINDOWS (NO GRILL)

\*Includes 4" wood trim around the windows



BLACK LANTERN WALL SCONCES (2)

FLUSH MOUNT CEILING LIGHT (1)



BLACK METAL RAILING



FRONT DOOR HARDWARE